

PRELIMINARY DEVELOPMENT PLAN
 CIVIL & LANDSCAPE
MEADOWBROOK PARK
 IN THE CITY OF PRAIRIE VILLAGE, JOHNSON COUNTY, KANSAS



INDEX

C0.0	COVER SHEET
C1.0	SITE PLAN - EXISTING CONDITIONS
C1.1	SITE PLAN - OVERALL
C1.2	SITE PLAN - WEST RESIDENTIAL LOTS
C1.3	SITE PLAN - SENIOR LIVING
C1.4	SITE PLAN - ROSEWOOD CONNECTION
C1.5	SITE PLAN - EAST RESIDENTIAL LOTS
C1.6	SITE PLAN - LUXURY APARTMENTS & INN
C1.7	SITE PLAN - ROE CONNECTION
C1.8	SITE PLAN - PARKING
C1.9	TYPICAL SECTIONS
C1.10	FIRE TRUCK TURNING MOVEMENT PLAN
C2.1	GRADING PLAN - OVERALL
C2.2	GRADING PLAN - WEST RESIDENTIAL LOTS
C2.3	GRADING PLAN - SENIOR LIVING
C2.4	GRADING PLAN - ROSEWOOD CONNECTION
C2.5	GRADING PLAN - EAST RESIDENTIAL LOTS
C2.6	GRADING PLAN - LUXURY APARTMENTS & INN
C2.7	GRADING PLAN - ROE CONNECTION
C2.8	TREE SURVEY
C3.1	UTILITY PLAN - OVERALL
C3.2	UTILITY PLAN - WEST RESIDENTIAL LOTS
C3.3	UTILITY PLAN - SENIOR LIVING
C3.4	UTILITY PLAN - ROSEWOOD CONNECTION
C3.5	UTILITY PLAN - EAST RESIDENTIAL LOTS
C3.6	UTILITY PLAN - LUXURY APARTMENTS & INN
C3.7	UTILITY PLAN - ROE CONNECTION
L1.1	LANDSCAPE PLAN - W
L1.2	LANDSCAPE PLAN - SE
L1.3	LANDSCAPE PLAN - NE
L1.4	LANDSCAPE PLAN - SENIOR LIVING

ISSUE DATES:

OCTOBER 2, 2015	PRELIMINARY DEVELOPMENT PLAN SUBMITTAL
OCTOBER 26, 2015	REVISED PRELIMINARY DEVELOPMENT PLAN SUBMITTAL
NOVEMBER 6, 2015	REVISED PRELIMINARY DEVELOPMENT PLAN SUBMITTAL



Legend Senior Living
 8415 East 21st Street North, Suite 100
 Wichita, Kansas 67206
 (316) 616-6288



Looney Ricks Kiss
 182 Nassau Street, Suite 302
 Princeton, New Jersey 08542
 (609) 683-3600



WOM Architects
 105 North Washington
 Wichita, Kansas 67202
 (316) 262-4700



PHELPS ENGINEERING, INC.

Phelps Engineering Inc.
 1270 North Winchester Street
 Clothe, Kansas 66061
 (913) 393-1155



BBN Architects Inc.
 411 Nichols Road, Suite 246
 Kansas City, Missouri 64112
 (816) 753-2550



VanTrust Real Estate LLC
 4900 Main Street, Suite 400
 Kansas City, Missouri 64112
 (816) 569-1441



EXISTING SITE AREA = 135.9 ACRES

BENCH MARK - 5000 (NORTHWEST CORNER OF HEADWALL IN THE NORTHWEST QUADRANT OF 95TH STREET AND 90E AVENUE (1411' WEST OF CENTERLINE OF 95E AVENUE))
ELEVATION = 815.80

SITE PLAN - EXISTING CONDITIONS
MEADOWBROOK PARK
PRAIRIE VILLAGE, KANSAS



PEP ENGINEERING, INC.
PLANNING,
ENGINEERING,
ARCHITECTURE
1100 N. WILSON
SUITE 100
PRAIRIE VILLAGE, MO 64075
www.pepengineering.com

NO.	DATE	DESCRIPTION	BY	CHK

SHEET
C1.0





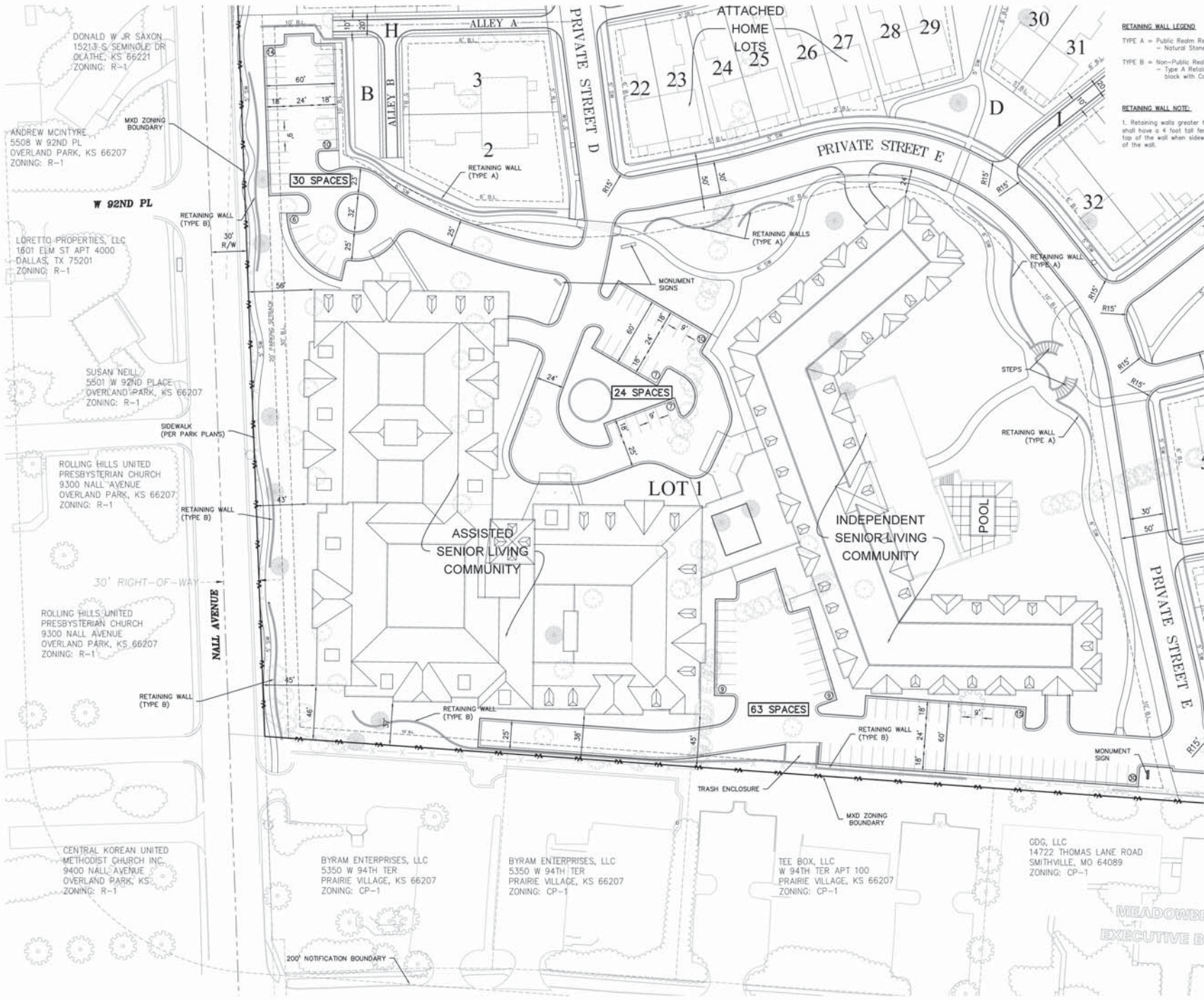
SITE PLAN - WEST RESIDENTIAL LOTS
MEADOWBROOK PARK
PRAIRIE VILLAGE, KANSAS

SHEET
C1.2

PREPARED BY: PREP ENGINEERING, INC.
 1400 W. 10th St., Suite 100
 Overland Park, KS 66207
 PHONE: (913) 241-1111
 WWW: www.prepengineering.com



2/27/2014 10:40 AM, Project: 130713, User: Leland, WKS: RESIDENTIAL_SITES, Date: 02/27/2014, 2:23:04 PM, Jack, Newburg



RETAINING WALL LEGEND

- TYPE A = Public Realm Retaining Wall
 - Natural Stone Masonry Wall
- TYPE B = Non-Public Realm Retaining Wall
 - Type A Retaining Wall or Modular block with Cast Stone Finish

RETAINING WALL NOTE:

1. Retaining walls greater than 30 inches in height shall have a 4-foot tall fence/railing installed at the top of the wall when sidewalk is adjacent to the top of the wall.

SITE PLAN - SENIOR LIVING

MEADOWBROOK PARK
PRAIRIE VILLAGE, KANSAS

PROJECT NO. 2024-010

DATE: 11/15/24

SCALE: 1"=30'

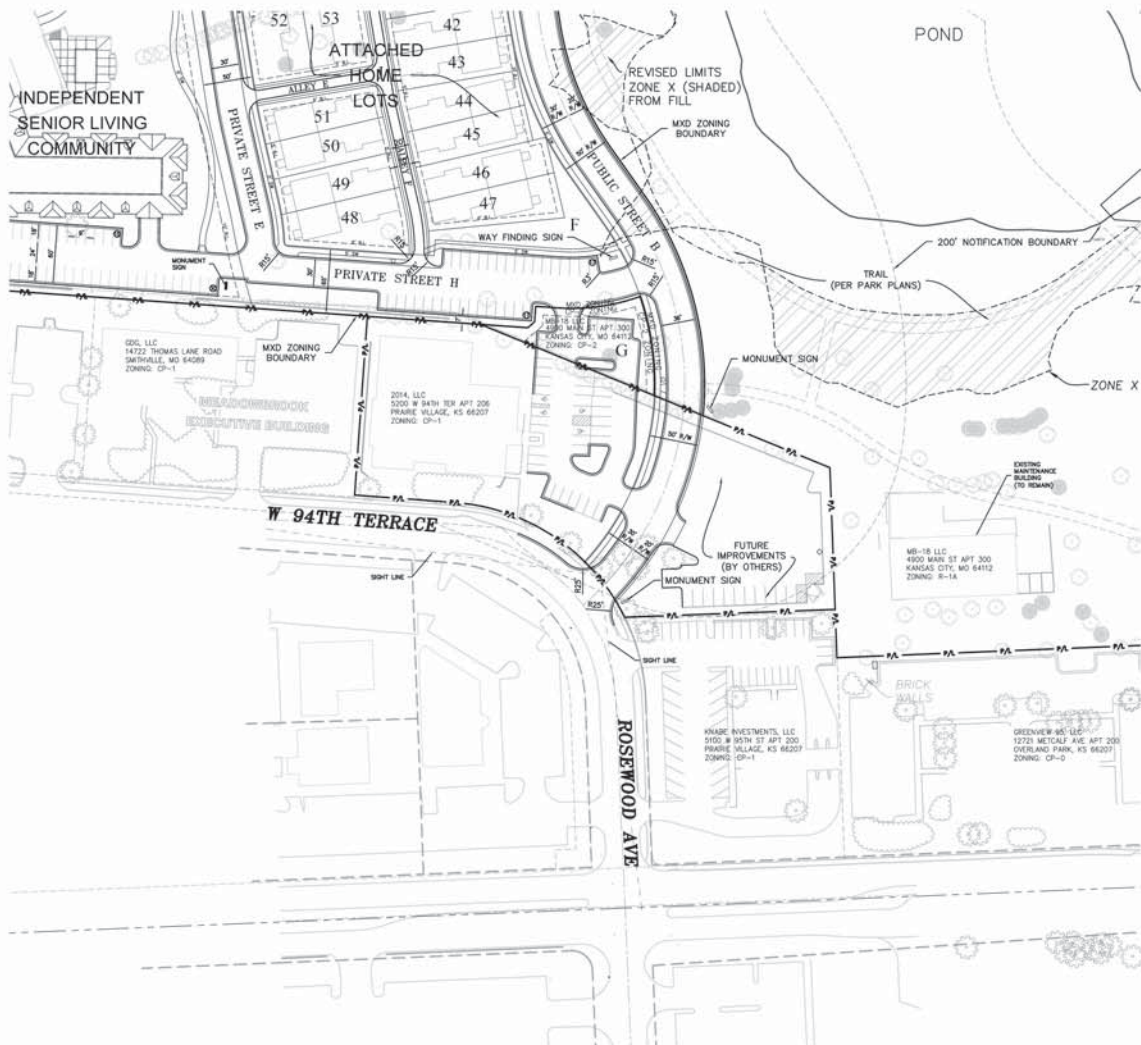
DESIGNED BY: [Signature]

CHECKED BY: [Signature]

APPROVED BY: [Signature]

SHEET
C1.3

1. All dimensions are in feet and inches. All dimensions are rounded to the nearest 1/4 inch. All dimensions are subject to change without notice.



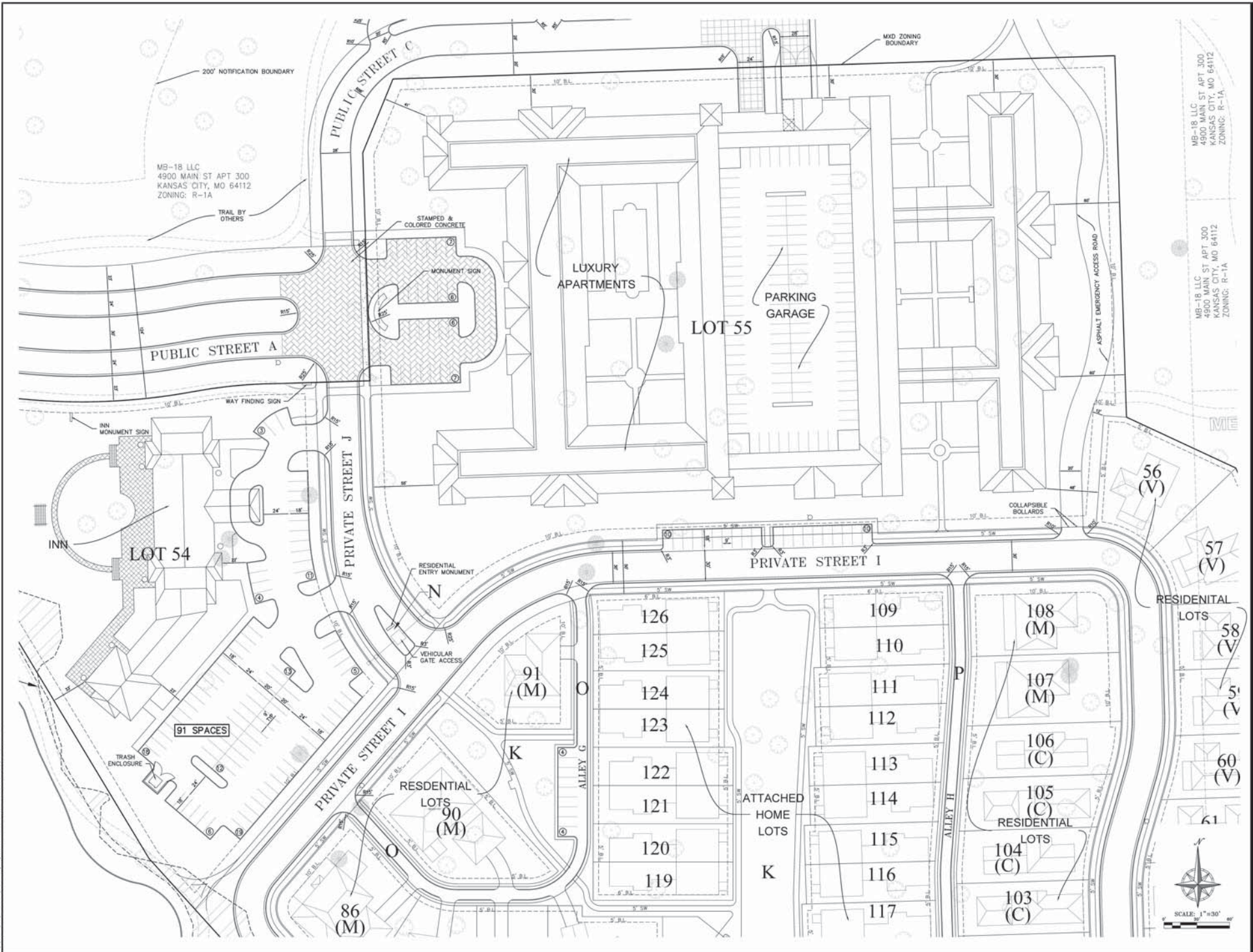
PREP ENGINEERING, INC.
PLANNING
ARCHITECTURE
CONSTRUCTION

SITE PLAN - ROSEWOOD SOUTH CONNECTION
MEADOWBROOK PARK
PRAIRIE VILLAGE, KANSAS

PROJECT NO.	CONTRACT NO.	SHEET NO.
DATE	SCALE	DATE
DESIGNED	CHECKED	DATE
DRAWN	DATE	
APPROVED	DATE	

SHEET
C1.4

3/1/2021 10:43 AM C:\Users\james\Desktop\101010.dwg | Localized Project | 08/25/2021 | 11:54 AM | 2/20/21 | 1/21/21 | 1/21/21 | 1/21/21



MB-18 LLC
4900 MAIN ST APT 300
KANSAS CITY, MO 64112
ZONING: R-1A

MB-18 LLC
4900 MAIN ST APT 300
KANSAS CITY, MO 64112
ZONING: R-1A

MB-18 LLC
4900 MAIN ST APT 300
KANSAS CITY, MO 64112
ZONING: R-1A

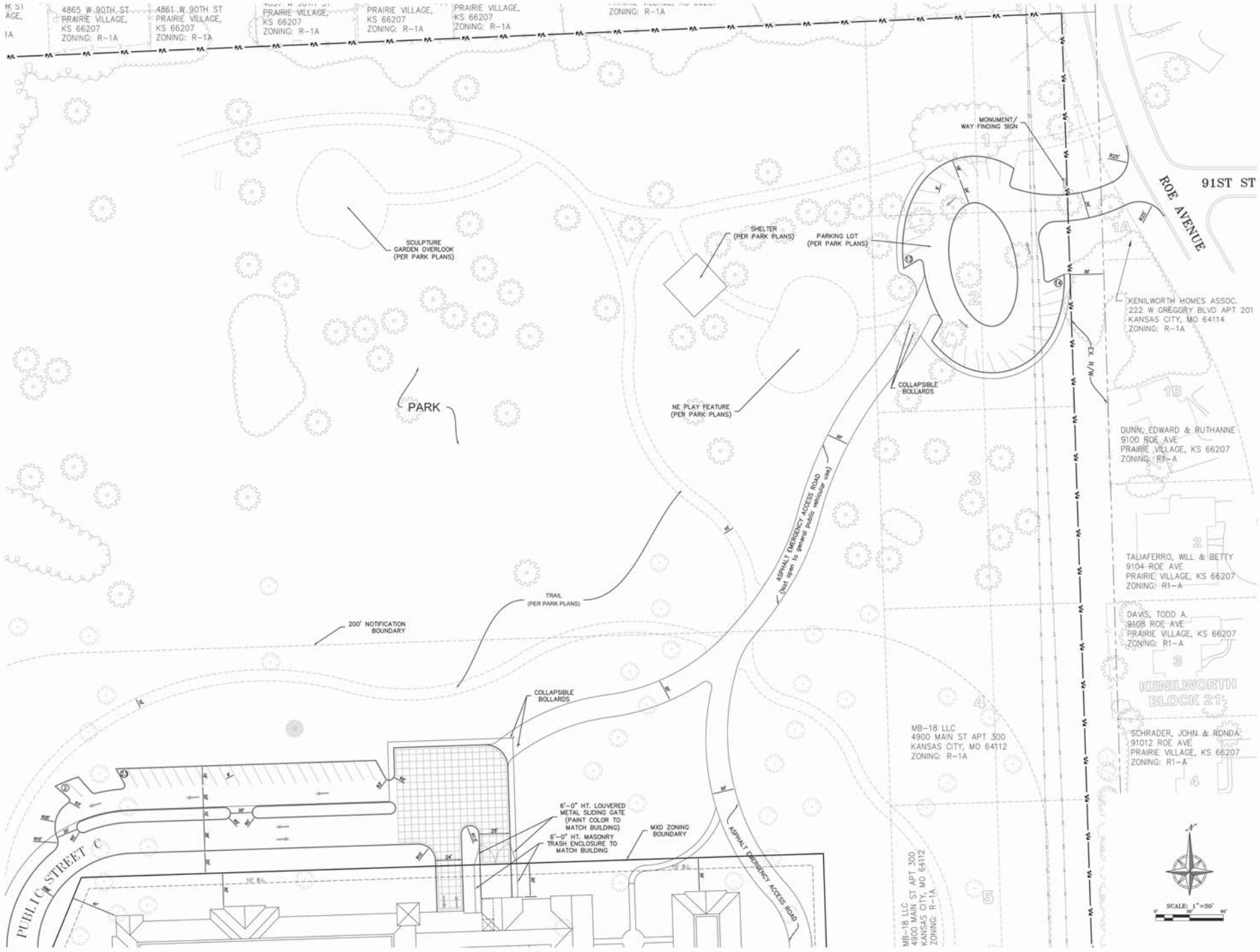


SITE PLAN - LUXURY APARTMENTS & INN
MEADOWBROOK PARK
PRAIRIE VILLAGE, KANSAS



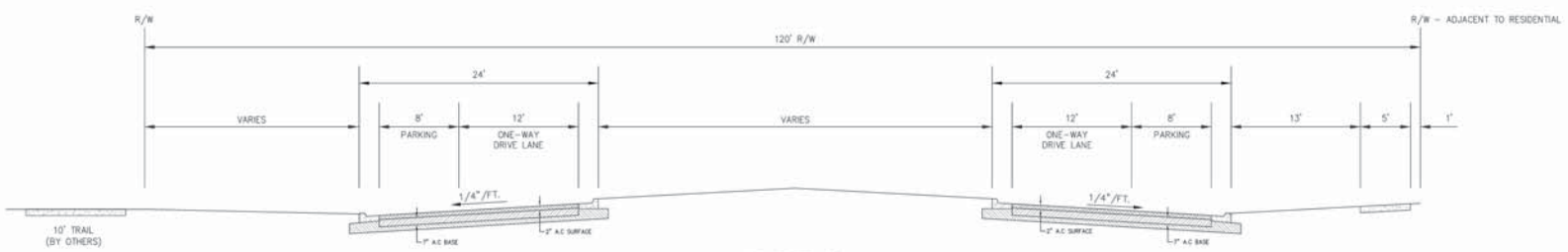
NO.	DATE	DESCRIPTION
1	11/15/15	PRELIMINARY
2	01/20/16	REVISED
3	02/02/16	REVISED
4	02/02/16	REVISED
5	02/02/16	REVISED
6	02/02/16	REVISED
7	02/02/16	REVISED
8	02/02/16	REVISED
9	02/02/16	REVISED
10	02/02/16	REVISED
11	02/02/16	REVISED
12	02/02/16	REVISED
13	02/02/16	REVISED
14	02/02/16	REVISED
15	02/02/16	REVISED
16	02/02/16	REVISED
17	02/02/16	REVISED
18	02/02/16	REVISED
19	02/02/16	REVISED
20	02/02/16	REVISED
21	02/02/16	REVISED
22	02/02/16	REVISED
23	02/02/16	REVISED
24	02/02/16	REVISED
25	02/02/16	REVISED
26	02/02/16	REVISED
27	02/02/16	REVISED
28	02/02/16	REVISED
29	02/02/16	REVISED
30	02/02/16	REVISED
31	02/02/16	REVISED
32	02/02/16	REVISED
33	02/02/16	REVISED
34	02/02/16	REVISED
35	02/02/16	REVISED
36	02/02/16	REVISED
37	02/02/16	REVISED
38	02/02/16	REVISED
39	02/02/16	REVISED
40	02/02/16	REVISED
41	02/02/16	REVISED
42	02/02/16	REVISED
43	02/02/16	REVISED
44	02/02/16	REVISED
45	02/02/16	REVISED
46	02/02/16	REVISED
47	02/02/16	REVISED
48	02/02/16	REVISED
49	02/02/16	REVISED
50	02/02/16	REVISED
51	02/02/16	REVISED
52	02/02/16	REVISED
53	02/02/16	REVISED
54	02/02/16	REVISED
55	02/02/16	REVISED
56	02/02/16	REVISED
57	02/02/16	REVISED
58	02/02/16	REVISED
59	02/02/16	REVISED
60	02/02/16	REVISED
61	02/02/16	REVISED
62	02/02/16	REVISED
63	02/02/16	REVISED
64	02/02/16	REVISED
65	02/02/16	REVISED
66	02/02/16	REVISED
67	02/02/16	REVISED
68	02/02/16	REVISED
69	02/02/16	REVISED
70	02/02/16	REVISED
71	02/02/16	REVISED
72	02/02/16	REVISED
73	02/02/16	REVISED
74	02/02/16	REVISED
75	02/02/16	REVISED
76	02/02/16	REVISED
77	02/02/16	REVISED
78	02/02/16	REVISED
79	02/02/16	REVISED
80	02/02/16	REVISED
81	02/02/16	REVISED
82	02/02/16	REVISED
83	02/02/16	REVISED
84	02/02/16	REVISED
85	02/02/16	REVISED
86	02/02/16	REVISED
87	02/02/16	REVISED
88	02/02/16	REVISED
89	02/02/16	REVISED
90	02/02/16	REVISED
91	02/02/16	REVISED
92	02/02/16	REVISED
93	02/02/16	REVISED
94	02/02/16	REVISED
95	02/02/16	REVISED
96	02/02/16	REVISED
97	02/02/16	REVISED
98	02/02/16	REVISED
99	02/02/16	REVISED
100	02/02/16	REVISED
101	02/02/16	REVISED
102	02/02/16	REVISED
103	02/02/16	REVISED
104	02/02/16	REVISED
105	02/02/16	REVISED
106	02/02/16	REVISED
107	02/02/16	REVISED
108	02/02/16	REVISED
109	02/02/16	REVISED
110	02/02/16	REVISED
111	02/02/16	REVISED
112	02/02/16	REVISED
113	02/02/16	REVISED
114	02/02/16	REVISED
115	02/02/16	REVISED
116	02/02/16	REVISED
117	02/02/16	REVISED
118	02/02/16	REVISED
119	02/02/16	REVISED
120	02/02/16	REVISED
121	02/02/16	REVISED
122	02/02/16	REVISED
123	02/02/16	REVISED
124	02/02/16	REVISED
125	02/02/16	REVISED
126	02/02/16	REVISED
127	02/02/16	REVISED
128	02/02/16	REVISED
129	02/02/16	REVISED
130	02/02/16	REVISED
131	02/02/16	REVISED
132	02/02/16	REVISED
133	02/02/16	REVISED
134	02/02/16	REVISED
135	02/02/16	REVISED
136	02/02/16	REVISED
137	02/02/16	REVISED
138	02/02/16	REVISED
139	02/02/16	REVISED
140	02/02/16	REVISED
141	02/02/16	REVISED
142	02/02/16	REVISED
143	02/02/16	REVISED
144	02/02/16	REVISED
145	02/02/16	REVISED
146	02/02/16	REVISED
147	02/02/16	REVISED
148	02/02/16	REVISED
149	02/02/16	REVISED
150	02/02/16	REVISED
151	02/02/16	REVISED
152	02/02/16	REVISED
153	02/02/16	REVISED
154	02/02/16	REVISED
155	02/02/16	REVISED
156	02/02/16	REVISED
157	02/02/16	REVISED
158	02/02/16	REVISED
159	02/02/16	REVISED
160	02/02/16	REVISED
161	02/02/16	REVISED
162	02/02/16	REVISED
163	02/02/16	REVISED
164	02/02/16	REVISED
165	02/02/16	REVISED
166	02/02/16	REVISED
167	02/02/16	REVISED
168	02/02/16	REVISED
169	02/02/16	REVISED
170	02/02/16	REVISED
171	02/02/16	REVISED
172	02/02/16	REVISED
173	02/02/16	REVISED
174	02/02/16	REVISED
175	02/02/16	REVISED
176	02/02/16	REVISED
177	02/02/16	REVISED
178	02/02/16	REVISED
179	02/02/16	REVISED
180	02/02/16	REVISED
181	02/02/16	REVISED
182	02/02/16	REVISED
183	02/02/16	REVISED
184	02/02/16	REVISED
185	02/02/16	REVISED
186	02/02/16	REVISED
187	02/02/16	REVISED
188	02/02/16	REVISED
189	02/02/16	REVISED
190	02/02/16	REVISED
191	02/02/16	REVISED
192	02/02/16	REVISED
193	02/02/16	REVISED
194	02/02/16	REVISED
195	02/02/16	REVISED
196	02/02/16	REVISED
197	02/02/16	REVISED
198	02/02/16	REVISED
199	02/02/16	REVISED
200	02/02/16	REVISED

SHEET
C1.6

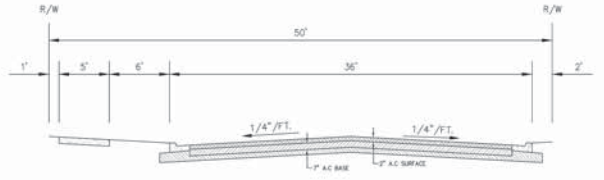


SITE PLAN - NORTH EAST PARK & APARTMENT ENTRY
MEADOWBROOK PARK
 PRAIRIE VILLAGE, KANSAS

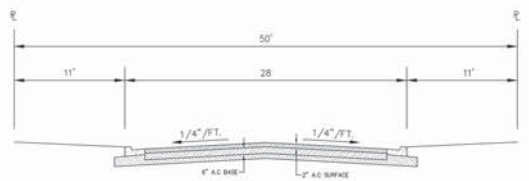
NO.	DATE	DESCRIPTION



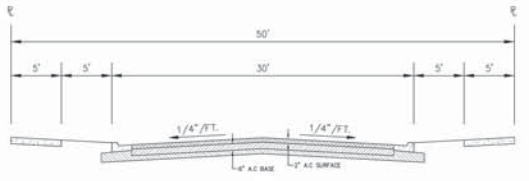
**PARKWAY
(PUBLIC STREET A)**



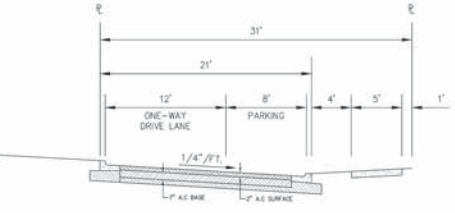
**PARK EDGE CONNECTOR STREET
(PUBLIC STREET B)**



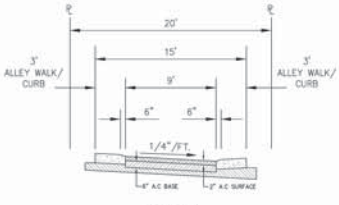
**RESIDENTIAL STREET
(PUBLIC STREET C)**



**RESIDENTIAL STREET
(PRIVATE STREETS D-E, H-J)**



**RESIDENTIAL STREET - ONE WAY
(PRIVATE STREETS F-G)**



**ALLEY
(ALLEYS A-M)**

PREENGINEERING, INC.
PLANNING
ENGINEERING
SURVEYING



TYPICAL SECTIONS
MEADOWBROOK PARK
PRAIRIE VILLAGE, KANSAS

NO.	DATE	BY	CHKD	APP	DESCRIPTION

2:10 (2024) 04/26/2024 08:51:03 AM C:\Users\jls\OneDrive\Documents\CADD\MEADOWBROOK PARK\ALLEYS A-M.dwg JLS 2024.04.26 10:51:03 AM



2:07 (10/27/2017)\\pds\share\pds\107072.dwg - Load/Off - 10/27/2017 10:27:00 AM - 1:13pm - Jack Rasmussen

PROJECT NO. 107072 Date: 10/27/17
 DATE: 10/27/17
 DRAWN BY: JAR
 CHECKED BY: JAR
 APPROVED BY: JAR



PPI ENGINEERING, INC.
 1501 S. WOODWARD
 OVERLAND PARK, KS 66209
 WWW.PPIENGINEERING.COM

SITE PLAN - FIRE TRUCK TURNING MOVEMENT PLAN

MEADOWBROOK PARK
PRAIRIE VILLAGE, KANSAS

NO.	REVISION	DATE	BY

SHEET
C1.10



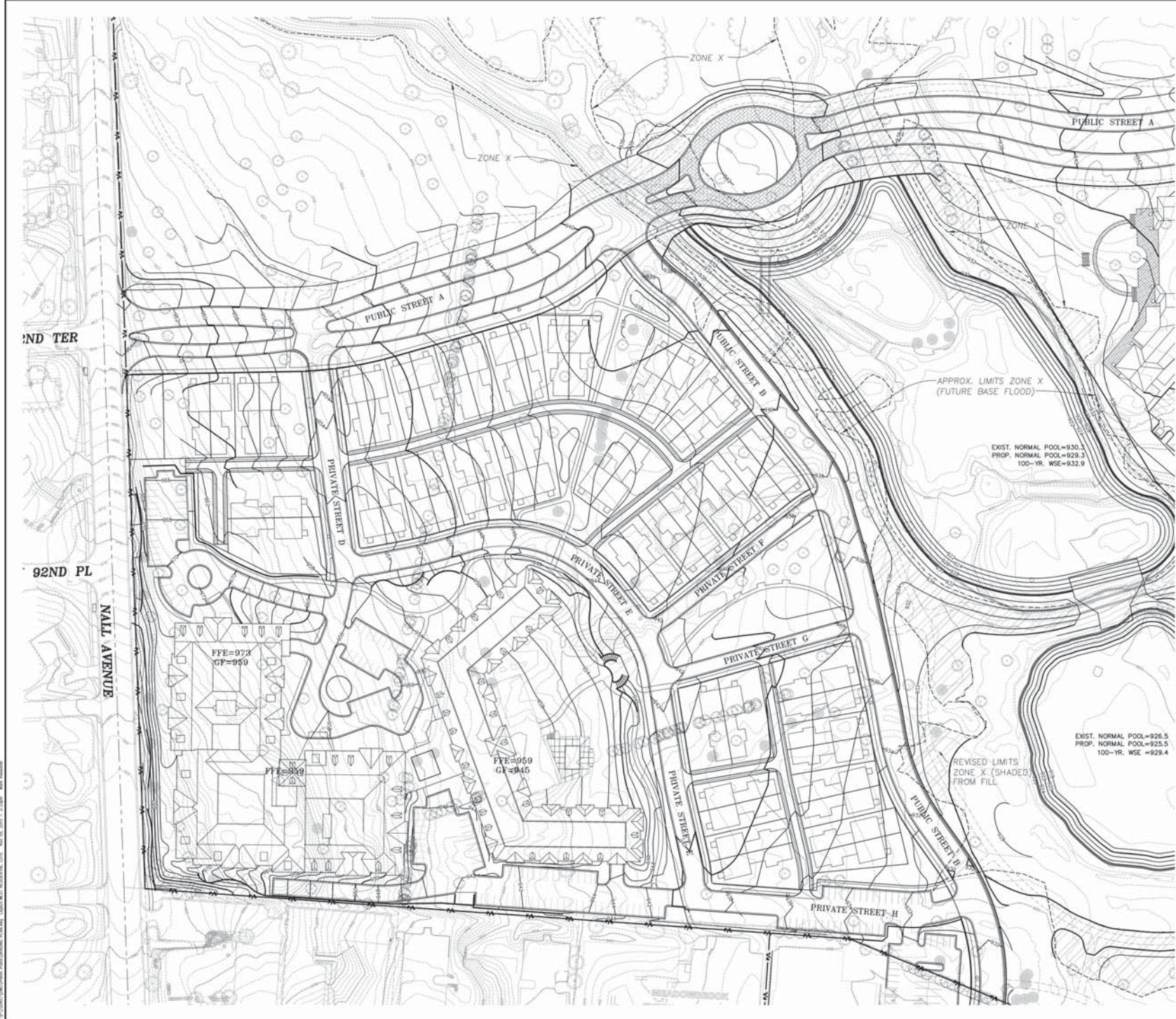
GRADING PLAN - OVERALL
MEADOWBROOK PARK
 PRAIRIE VILLAGE, KANSAS

PHILIPS ENGINEERING, INC.
 PLANNING
 CIVIL, SURVEY, LAND
 9315 W 151st
 OVERLAND PARK, KS 66207
 www.philips-engineering.com

PROJECT NO.	DATE	BY	CHKD.

SHEET
C2.1

2/17/2024 10:40 AM Project: Meadowbrook Park, Overland Park, KS. Date: 02/17/2024 10:40 AM. User: jk. Scale: 1"=100'



PROJECT NO.	DATE	BY	CHKD.
DATE	BY	CHKD.	
REVISION	DATE	BY	CHKD.



RETAINING WALL LEGEND

TYPE A - Public Redm Retaining Wall
 - Natural Stone Masonry Wall

TYPE B - Non-Public Redm Retaining Wall
 - Type A Retaining Wall or Modular block with Cast Stone Finish

RETAINING WALL NOTE

1. Retaining walls adjacent to the sidewalks are greater than 30 inches in height shall have a 4 foot tall fence/railing installed at the top of the wall.

JD PL

NAIL AVENUE

PRIVATE STREET D

PRIVATE STREET E

PRIVATE STREET F

FFE=973
GF=959

FFE=949

FFE=959
GF=945

PRIVATE STREET G

MEADOWBROOK
EXECUTIVE RUMI TR



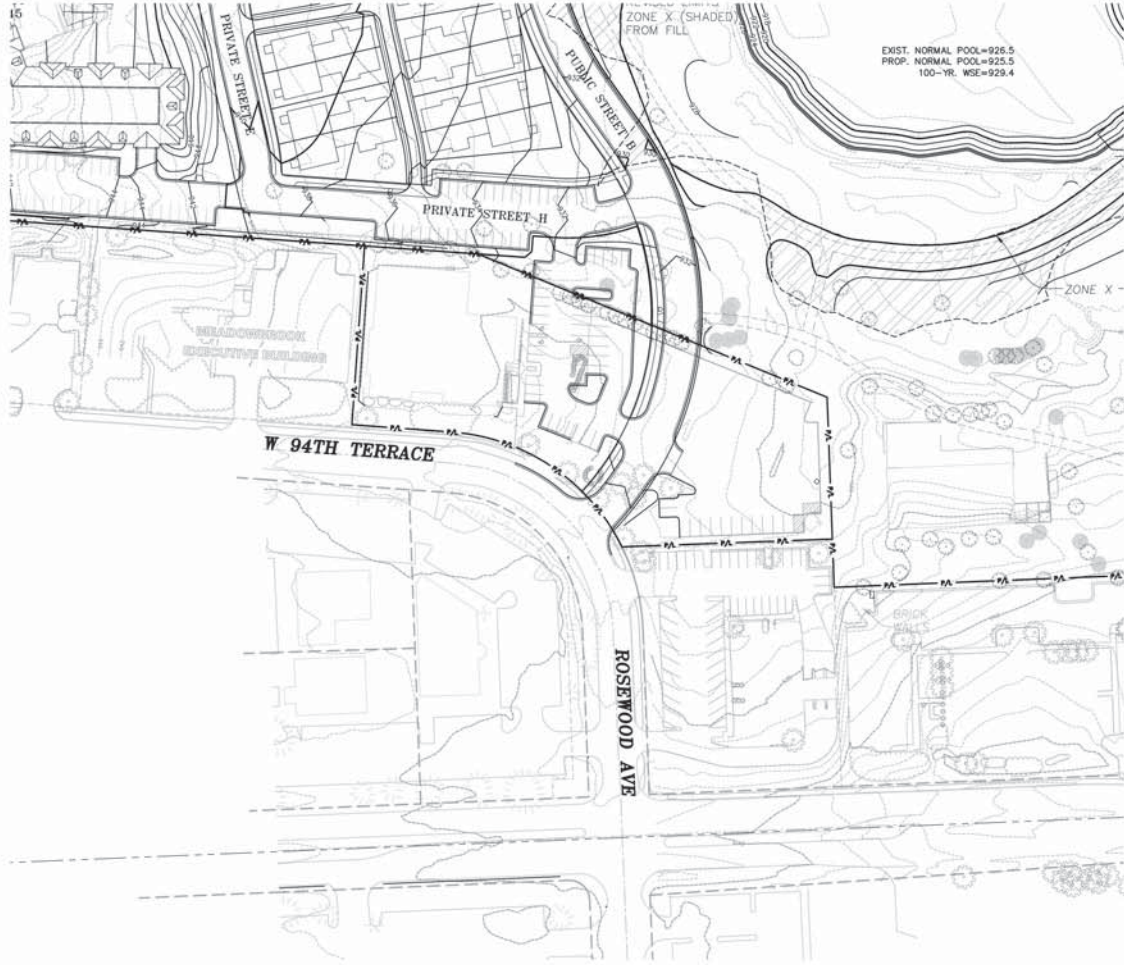
PEEL ENGINEERING, INC.
 10701 W. 119TH ST.
 OVERLAND PARK, KS 66213
 TEL: (913) 333-1100
 FAX: (913) 333-1104
 www.peel-engineering.com



GRADING PLAN - SENIOR LIVING
 MEADOWBROOK PARK
 PRAIRIE VILLAGE, KANSAS

PROJECT NO.	1000000000
DATE	10/20/2010
SCALE	AS SHOWN
DESIGNED BY	JD
DRAWN BY	JD
CHECKED BY	JD
APPROVED BY	JD

SHEET
C2.3



SCALE: 1"=30'

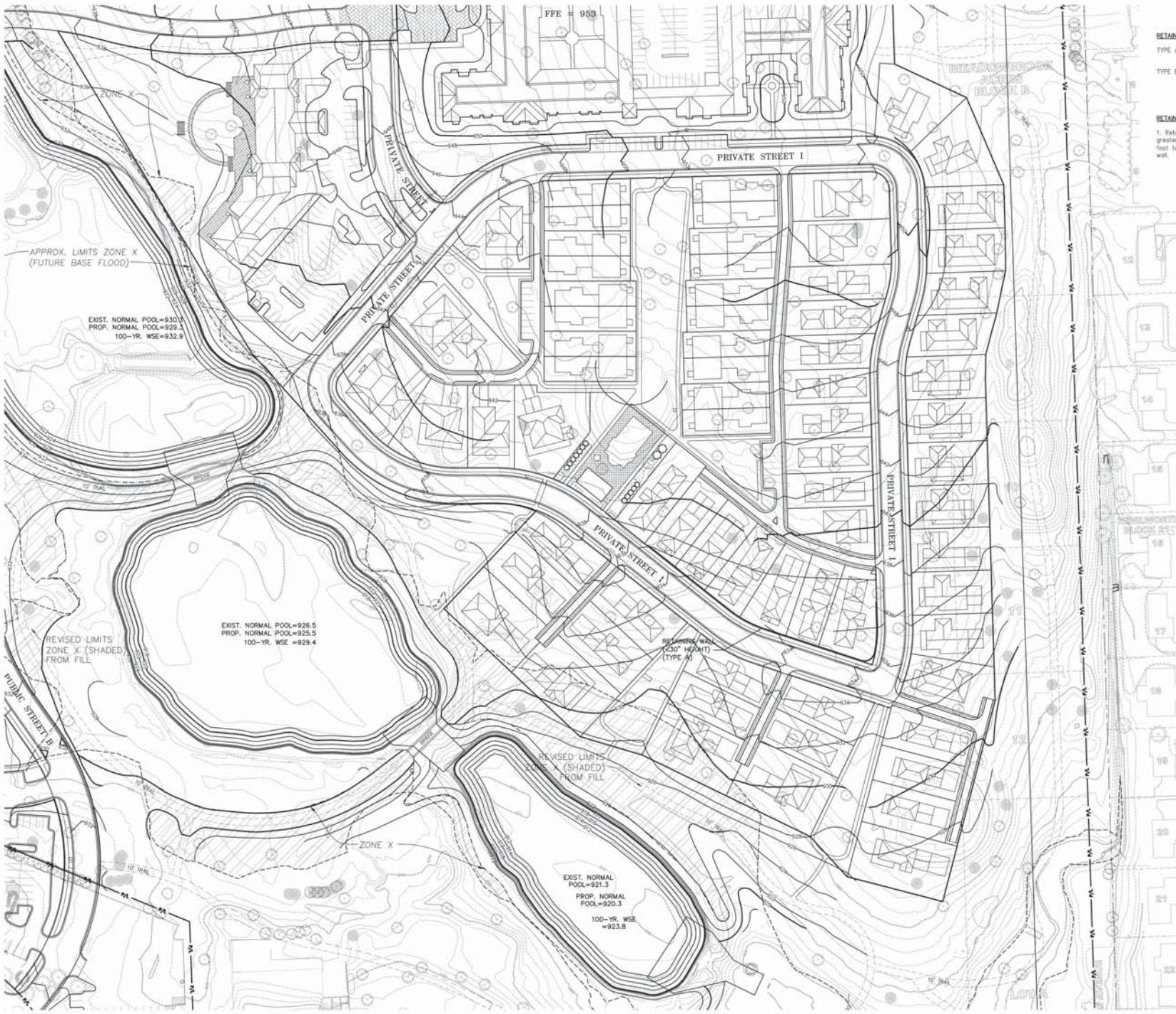


GRADING PLAN - ROSEWOOD CONNECTION
 MEADOWBROOK PARK
 PRAIRIE VILLAGE, KANSAS

NO.	REVISION	DATE	BY	CHKD.

SHEET
 C2.4

I:\Projects\2014\20140914\Rosewood\Grading\Grading.dwg User: JLD/10/23/14 10:52:08 AM 10/23/14 2:53PM West 8:00:00 AM



RETAINING WALL LEGEND

TYPE A - Public Realm Retaining Wall
 - Natural Stone Masonry Wall

TYPE B - Non-Public Realm Retaining Wall
 - Type A Retaining Wall or Modular block with Cast Stone Finish

RETAINING WALL NOTE:

1. Retaining walls adjacent to the sidewalks are greater than 30 inches in height shall have a 4 foot tall fence/railing installed at the top of the wall.



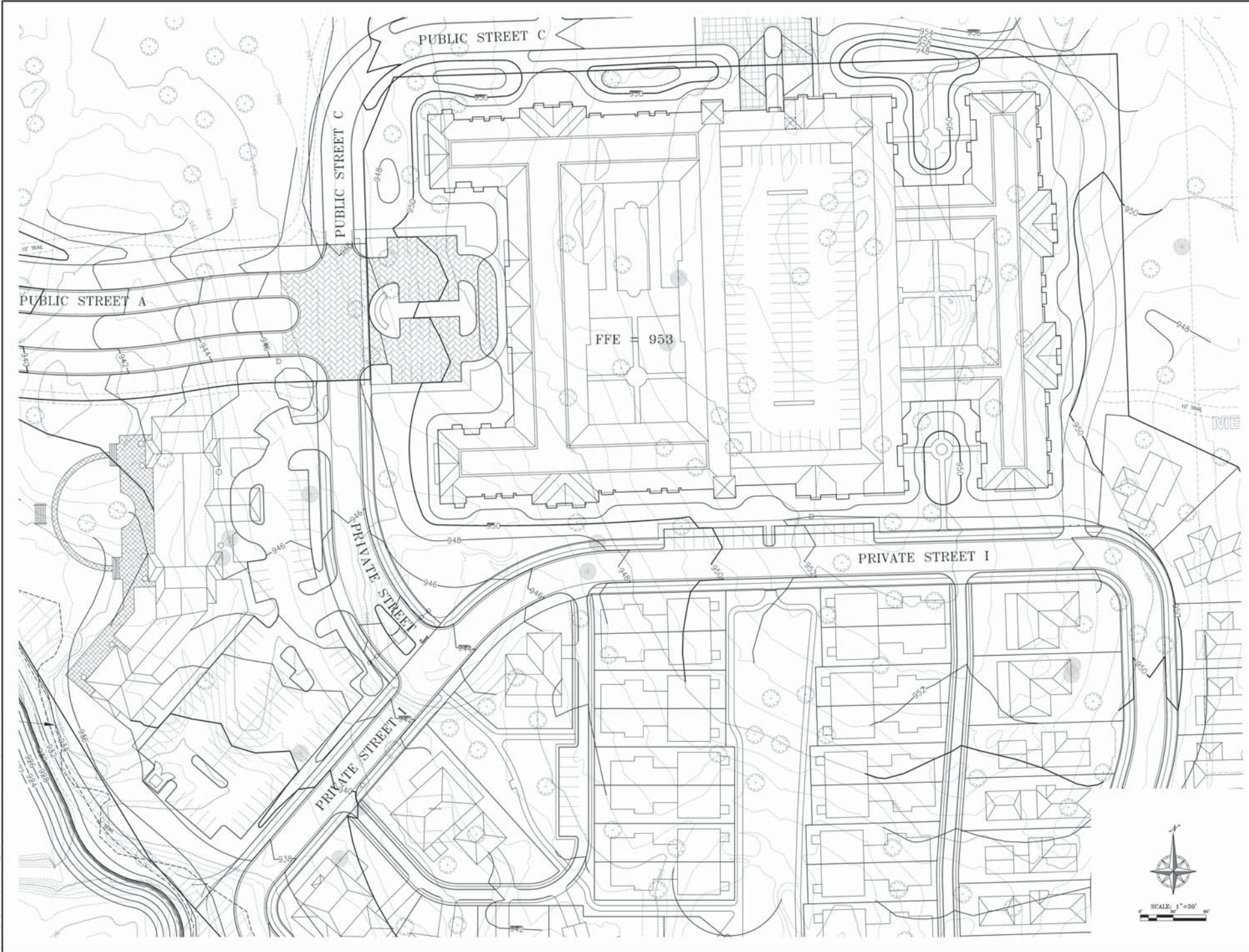
GRADING PLAN - EAST RESIDENTIAL LOTS
 MEADOWBROOK PARK
 PRAIRIE VILLAGE, KANSAS



PROJECT NO.	DATE	BY	CHECKED	APPROVED

SHEET
C2.5

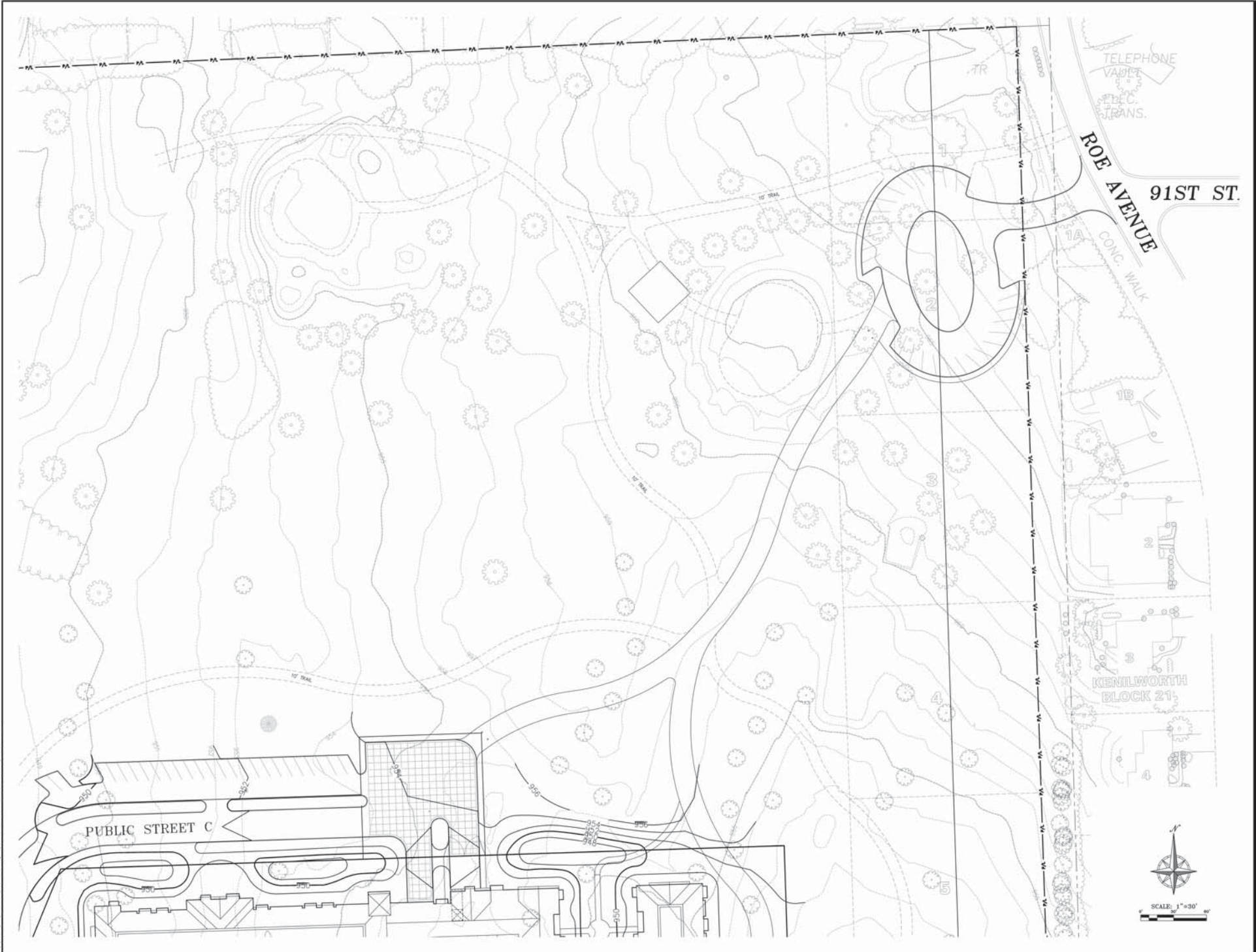
3/1/2024 10:00 AM: Public Realm Grading Plan - East Residential Lots - 10/23/2023 - 1:30pm - Mark Hester



**GRADING PLAN - LUXURY APARTMENTS & INN
MEADOWBROOK PARK
PRAIRIE VILLAGE, KANSAS**

PROJECT NO.	DATE	BY	CHKD.
111-111-111	11/11/11	JM	SM
DESIGNED	CHECKED	DATE	BY
APPROVED	DATE	BY	

SHEET
C2.6



PRELIS ENGINEERING, INC.
 CIVIL ENGINEERING
 1001 W. 15th St., Suite 100
 Lawrence, KS 66044
 Phone: 781-841-1111
 Fax: 781-841-1112
 www.prelis-engineering.com

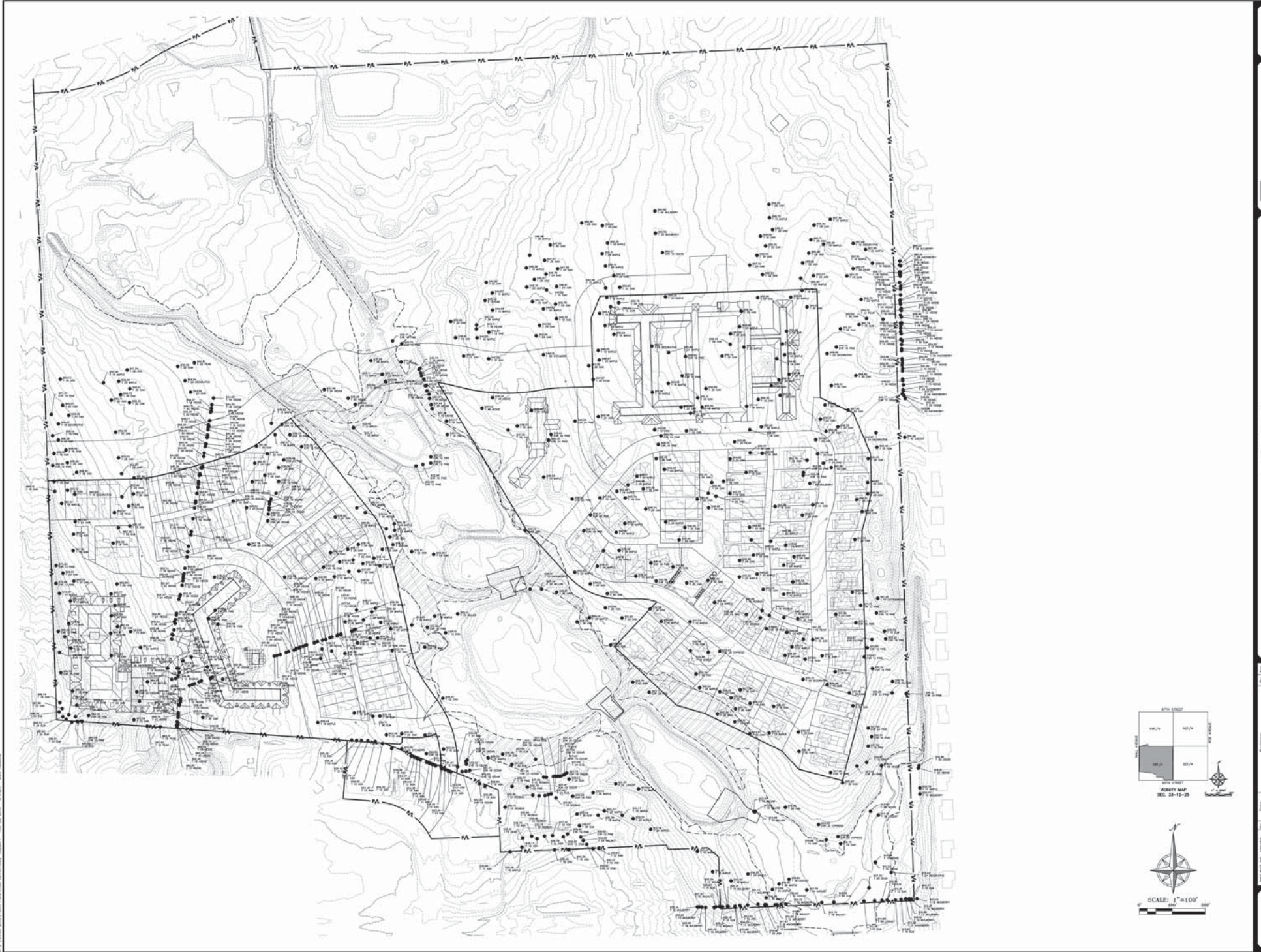
PL

GRADING PLAN - NORTH EAST PARK & APARTMENT ENTRY
 MEADOWBROOK PARK
 PRAIRIE VILLAGE, KANSAS

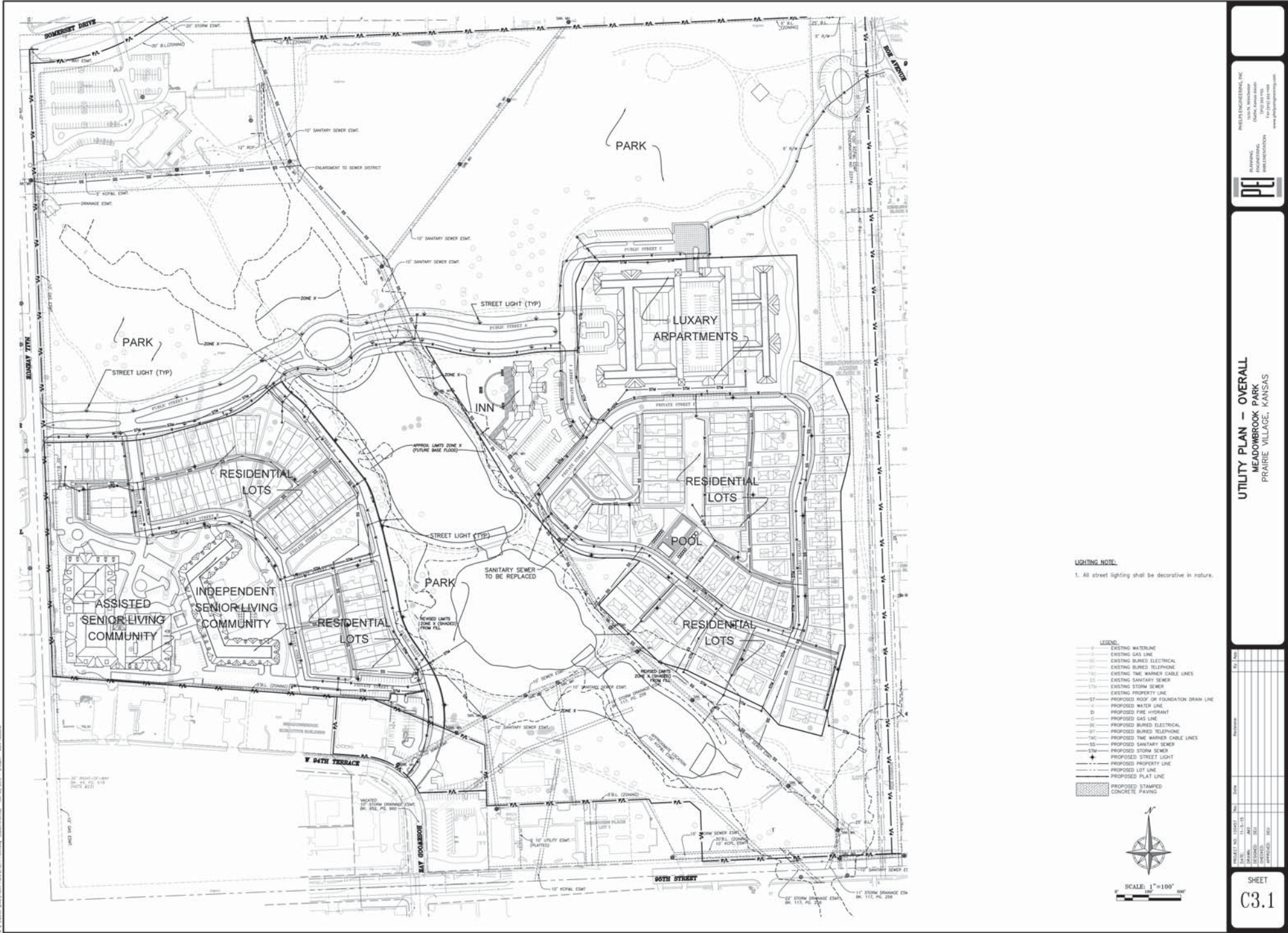
NO.	DATE	DESCRIPTION

PROJECT NO. 150001
 DATE: 11-15-15
 DRAWN: JAC
 CHECKED: JAC
 APPROVED: JAC

SHEET
C2.7



PROJECT NO.	DATE	DESCRIPTION
14-1415	11-14-15	DESIGN
		CONSTRUCTION
		MANAGEMENT



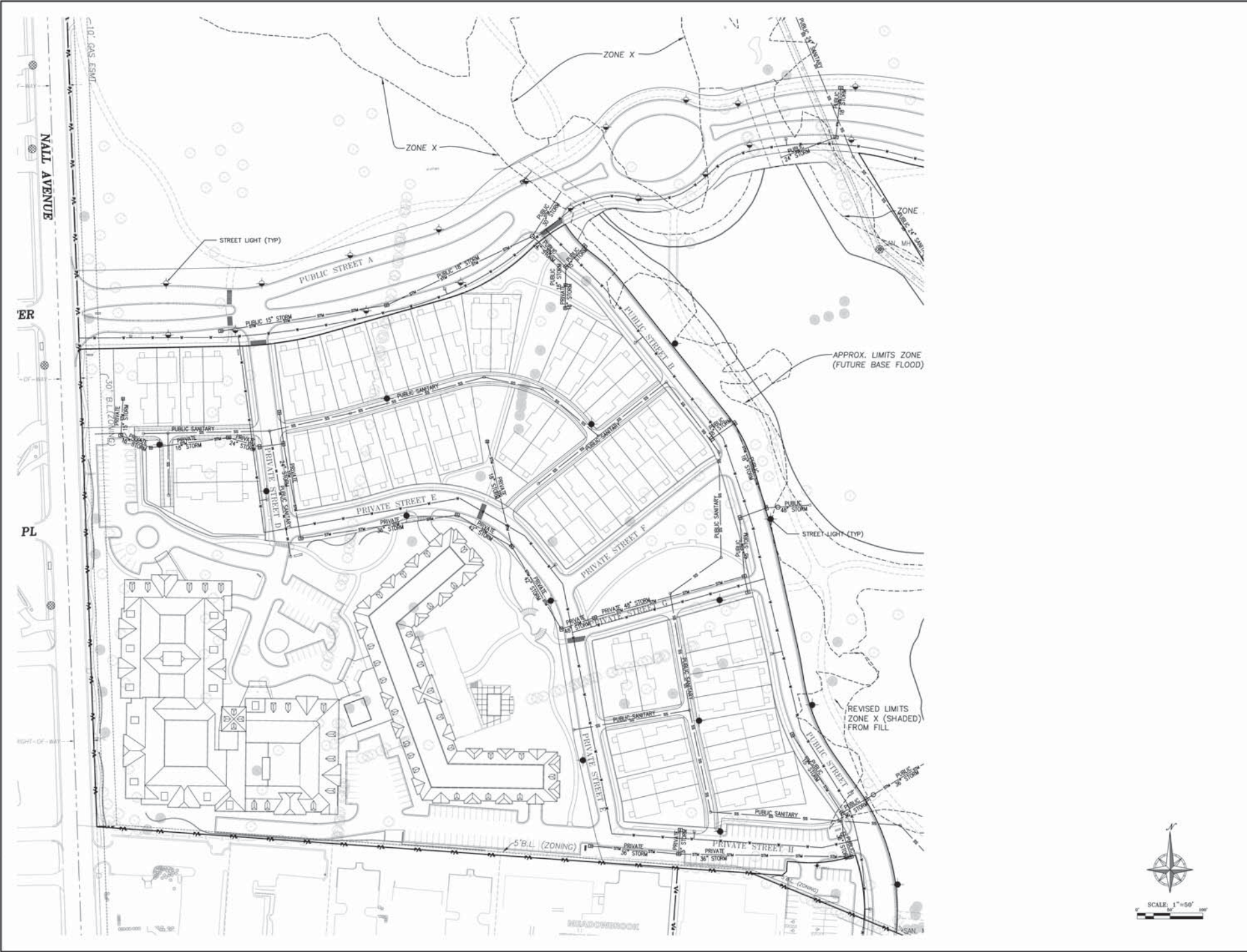
LIGHTING NOTE:
 1. All street lighting shall be decorative in nature.

- LEGEND:**
- EXISTING WATERLINE
 - EXISTING GAS LINE
 - EXISTING BURIED ELECTRICAL
 - EXISTING BURIED TELEPHONE
 - EXISTING TIME WARNER CABLE LINES
 - EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - EXISTING PROPERTY LINE
 - PROPOSED ROOF OR FOUNDATION DRAIN LINE
 - PROPOSED WATER LINE
 - PROPOSED FIRE HYDRANT
 - PROPOSED GAS LINE
 - PROPOSED BURIED ELECTRICAL
 - PROPOSED BURIED TELEPHONE
 - PROPOSED TIME WARNER CABLE LINES
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - PROPOSED STREET LIGHT
 - PROPOSED PROPERTY LINE
 - PROPOSED LOT LINE
 - PROPOSED PLAT LINE
 - ▨ PROPOSED STAMPED CONCRETE PAVING



SCALE: 1" = 100'
 1" = 100'

NO.	DATE	BY	CHECKED	APP'D
1	11-14-15
2
3
4
5



**UTILITY PLAN – WEST RESIDENTIAL LOTS
MEADOWBROOK PARK
PRAIRIE VILLAGE, KANSAS**

NO.	DATE	REVISION



2.01 (2020) (2024) (2025) (2026) (2027) (2028) (2029) (2030) (2031) (2032) (2033) (2034) (2035) (2036) (2037) (2038) (2039) (2040) (2041) (2042) (2043) (2044) (2045) (2046) (2047) (2048) (2049) (2050) (2051) (2052) (2053) (2054) (2055) (2056) (2057) (2058) (2059) (2060) (2061) (2062) (2063) (2064) (2065) (2066) (2067) (2068) (2069) (2070) (2071) (2072) (2073) (2074) (2075) (2076) (2077) (2078) (2079) (2080) (2081) (2082) (2083) (2084) (2085) (2086) (2087) (2088) (2089) (2090) (2091) (2092) (2093) (2094) (2095) (2096) (2097) (2098) (2099) (2100)

11/15/2024 10:40 AM: P:\Projects\2024\24-0001\Utility\MEADOWBROOK EXECUTIVE BUILDING.dwg (24-0001) - 2:30pm - Mark Hammer



MEADOWBROOK
EXECUTIVE BUILDING

UTILITY PLAN - SENIOR LIVING
MEADOWBROOK PARK
PRAIRIE VILLAGE, KANSAS

NO.	DATE	DESCRIPTION

DATE: 11/15/24
BY: MAM
CHECKED: MAM
APPROVED: MAM
SHEET
C3.3





PREPST ENGINEERING, INC.
 10001 W. 110th St.
 Overland Park, KS 66204
 Phone: (913) 666-1100
 Fax: (913) 666-1101
 www.prepst.com

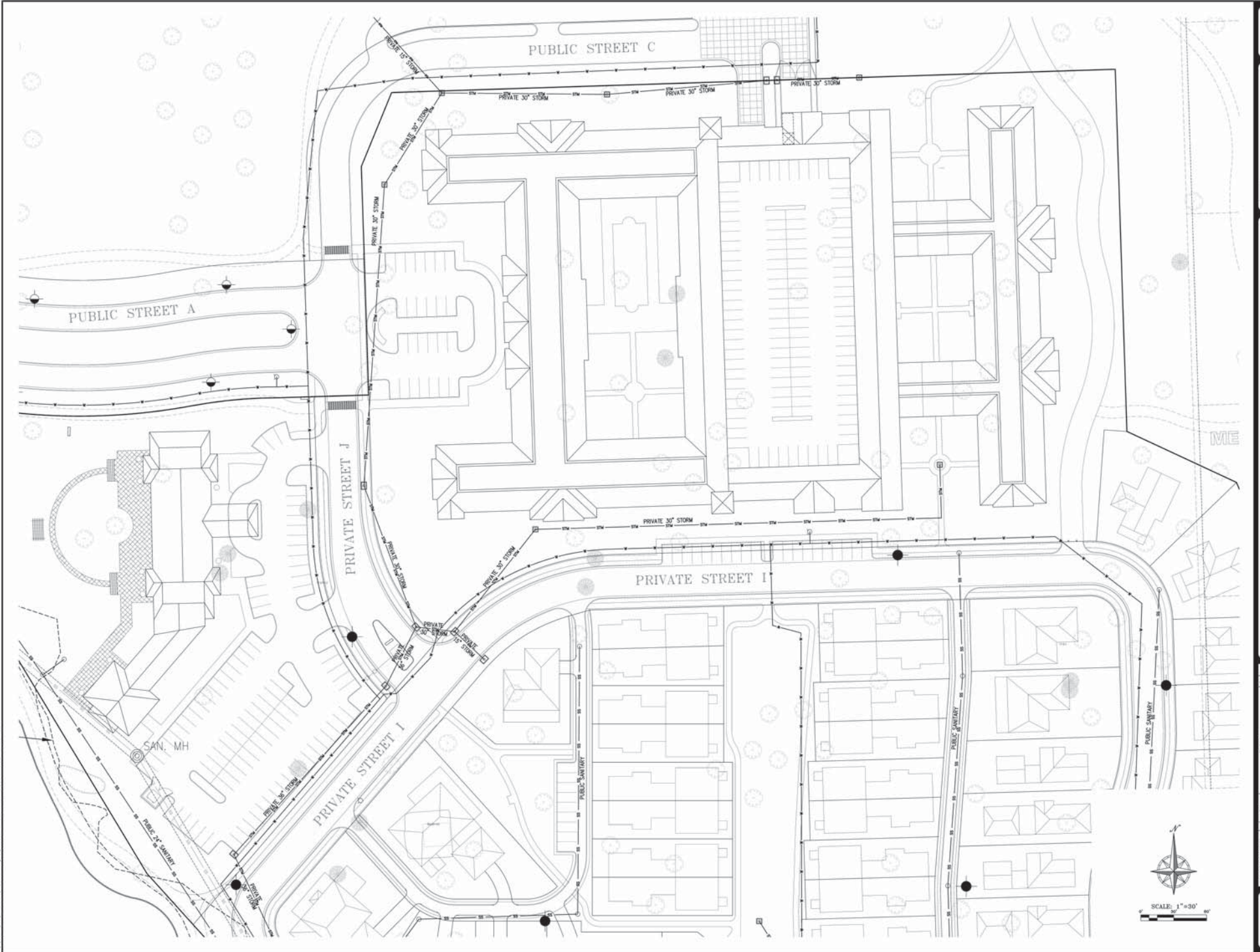


UTILITY PLAN - EAST RESIDENTIAL LOTS
MEADOWBROOK PARK
 PRAIRIE VILLAGE, KANSAS

NO.	DATE	DESCRIPTION

SHEET
C3.5

3/1/2015 10:00 AM C:\Projects\150000\150000.dwg User: JACOB K. LEE Date: 03/01/2015 10:00 AM Plot: 150000.dwg

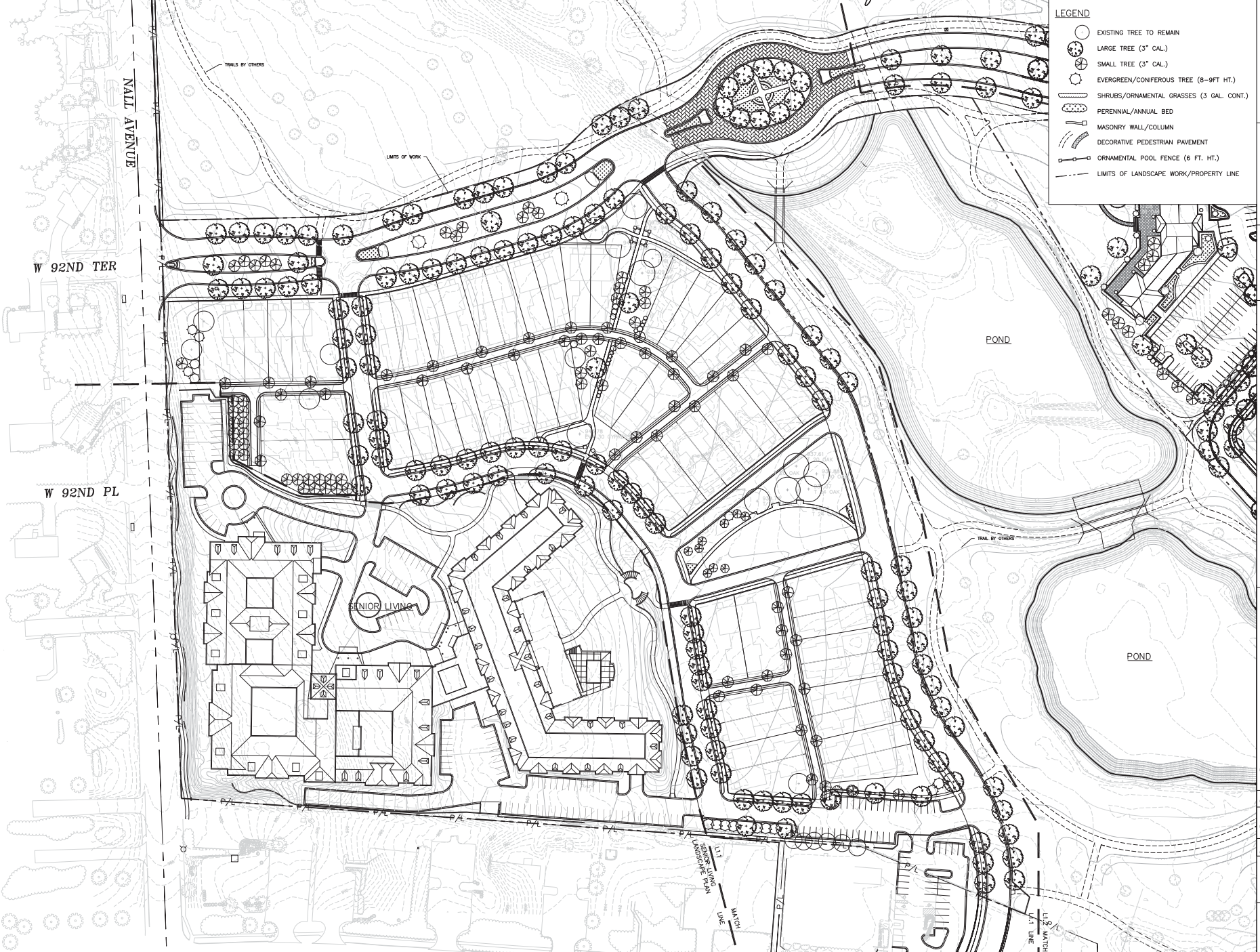


P:\Projects\2014\20140101_Prairie_Village_Luxury_Apartments_and_Inn\Utility_Plan.dwg - 10/15/14 - 10:15 AM - 10/15/14 - 10:15 AM

	PRELIS ENGINEERING, INC. 1001 W. 151st Street Overland Park, KS 66209 Phone: 913.241.1515 Fax: 913.241.1514 www.prelis-engineering.com
UTILITY PLAN - LUXURY APARTMENTS & INN MEADOWBROOK PARK PRAIRIE VILLAGE, KANSAS	
PROJECT NO. 14-001 DATE: 11/15/14 DRAWN: JMS CHECKED: JMS APPROVED: JMS	SHEET C3.6

P O N M L K J I H G F E D C B A

10
9
8
7
6
5
4
3
2
1



LEGEND

- EXISTING TREE TO REMAIN
- ⊗ LARGE TREE (3" CAL.)
- ⊙ SMALL TREE (3" CAL.)
- ⊗ EVERGREEN/CONIFEROUS TREE (8-9FT HT.)
- ⊗ SHRUBS/ORNAMENTAL GRASSES (3 GAL. CONT.)
- ▨ PERENNIAL/ANNUAL BED
- MASONRY WALL/COLUMN
- DECORATIVE PEDESTRIAN PAVEMENT
- ORNAMENTAL POOL FENCE (6 FT. HT.)
- - - LIMITS OF LANDSCAPE WORK/PROPERTY LINE



IBI GROUP ARCHITECTS AND ASSOCIATES, INC.
1110 COLLEGE ROAD, SUITE 200
KANSAS CITY, MISSOURI 64108
TEL: 816.234.1100
WWW.IBIGROUP.COM

MEADOWBROOK PARK
PRAIRIE VILLAGE, KANSAS
VANTRUST REAL ESTATE

Rev.	Date	By	Description

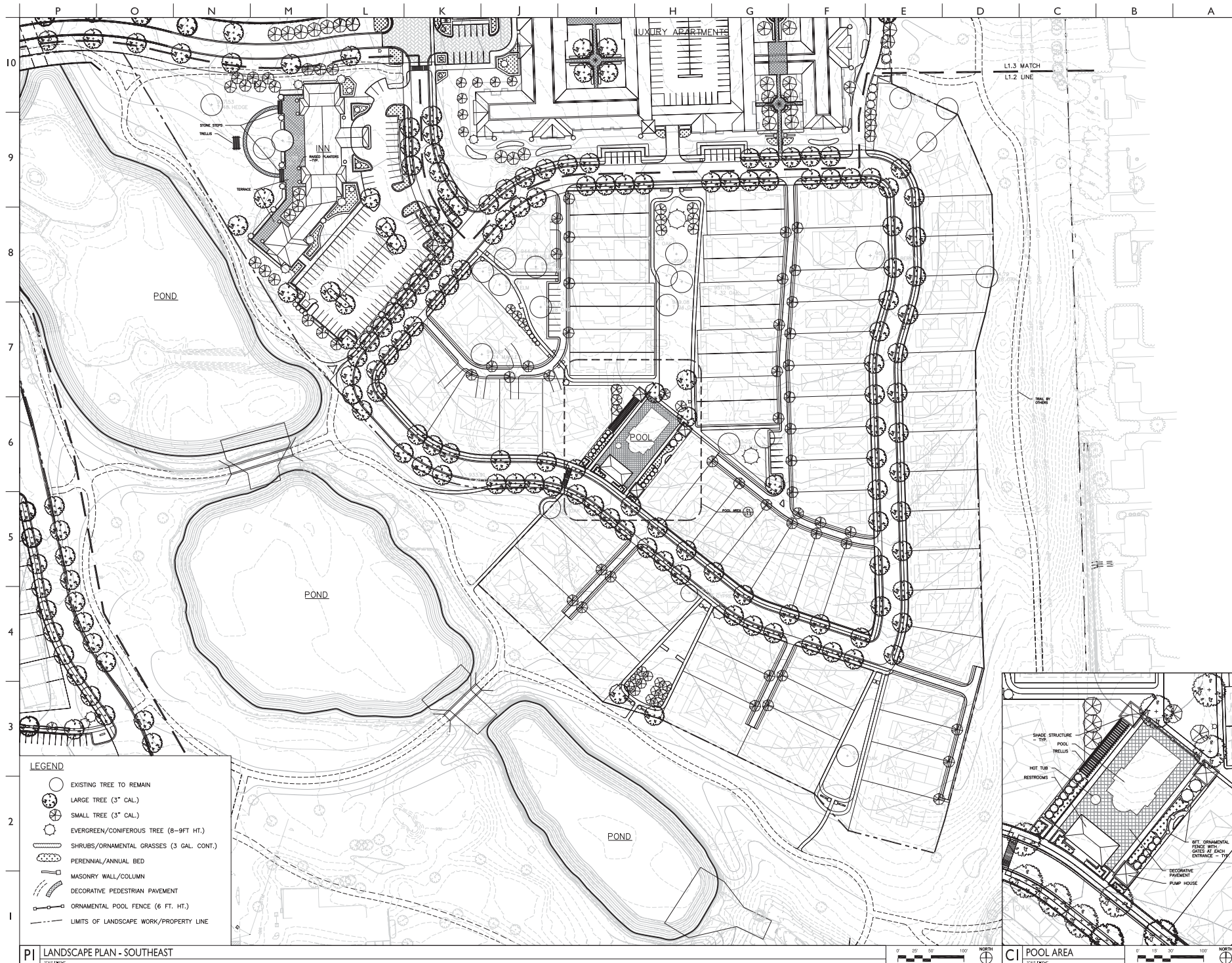
PROJECT NO: _____
DRAWN BY: JB
CHECKED BY: SB
PLOTING DATE: _____
ISSUE DATE: 11-06-15

LANDSCAPE PLAN-W



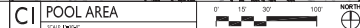
PI LANDSCAPE PLAN - WEST





- LEGEND**
- EXISTING TREE TO REMAIN
 - LARGE TREE (3" CAL.)
 - ⊕ SMALL TREE (3" CAL.)
 - ⊗ EVERGREEN/CONIFEROUS TREE (8-9FT HT.)
 - ▨ SHRUBS/ORNAMENTAL GRASSES (3 GAL. CONT.)
 - ▩ PERENNIAL/ANNUAL BED
 - ▭ MASONRY WALL/COLUMN
 - ▨ DECORATIVE PEDESTRIAN PAVEMENT
 - ▭ ORNAMENTAL POOL FENCE (6 FT. HT.)
 - - - LIMITS OF LANDSCAPE WORK/PROPERTY LINE

PI LANDSCAPE PLAN - SOUTHEAST



MEADOWBROOK PARK
PRAIRIE VILLAGE, KANSAS
VANTRUST REAL ESTATE

Rev.	Date	By	Description

PROJECT NO:
DRAWN BY: JB
CHECKED BY: SB
PLOTING DATE:
ISSUE DATE: 11-08-15

LANDSCAPE PLAN-SE
LI.2

102'06"14"W-2650.42'

0' B.L.Y.C.



PLANT LEGEND

- NEW DECIDUOUS SHADE TREE (2" CAL.)
- NEW EVERGREEN TREE (6-7 FT HT.)
- EXISTING DECIDUOUS (TO REMAIN)
- NEW DECIDUOUS ORNAMENTAL TREE (2" CAL.)
- TYPICAL EVERGREEN SHRUB (5 GAL. CONT.)
- TYPICAL DECIDUOUS SHRUB (5 GAL. CONT.)
- TYPICAL GROUNDCOVER PLANTING
- TURF
- MASONRY WALL/COLUMN
- LIMITS OF LANDSCAPE WORK/PROPERTY LINE
- MONUMENT SIGN

wdm
ARCHITECTS

WDM Architects P.A.
105 North Washington
Wichita, KS 67202-2815
T 316.262.4700
F 316.262.0002
wdmarchitects.com

we do more.

**Legend Senior Living
Meadowbrook Park**

Prairie Village, Kansas

PRINTS ISSUED
Oct. 26, 2015

WDM No. 15009
dwg:rc checked:rc

L1.4

© 2015 WDM Architects P.A. All Rights Reserved.