

**PLANNING COMMISSION AGENDA  
CITY OF PRAIRIE VILLAGE  
TUESDAY, OCTOBER 6, 2015  
7700 MISSION ROAD  
7:00 P.M.**

- I. CALL TO ORDER
- II. ROLL CALL
- III. APPROVAL OF PC MINUTES - SEPTEMBER 1, 2015
- IV. PUBLIC HEARINGS  
None
- V. NON-PUBLIC HEARINGS
  - PC2015-115 Request for Site Plan Approval  
7501 Mission Road  
Current Zoning: C-0  
Applicant: Chris Hafner, Davidson Architecture  
(Applicant has requested this be continued to 11/3/2015)
  - PC2015-116 Request for Building Line Modification  
8440 Roe Avenue  
Current Zoning: R-1a  
Applicant: Dana Blay
  - PC2015-117 Request for Building Elevation Modification  
6715 Granada  
Current Zoning: R-1a  
Applicant: Rick Jones, NSPJ Architecture
  - PC2015-06 Request for Approval of Final Development Plan  
7930 State Line Road  
Applicant: Mitch DiCarlo with Block & Company
- VI. OTHER BUSINESS
- VII. ADJOURNMENT

Plans available at City Hall if applicable  
If you cannot be present, comments can be made by e-mail to  
[Cityclerk@Pvkansas.com](mailto:Cityclerk@Pvkansas.com)

**\*Any Commission members having a conflict of interest, shall acknowledge that conflict prior to the hearing of an application, shall not participate in the hearing or discussion, shall not vote on the issue and shall vacate their position at the table until the conclusion of the hearing**

**PLANNING COMMISSION MINUTES**  
**September 1, 2015**

**ROLL CALL**

The Planning Commission of the City of Prairie Village met in regular session on Tuesday, September 1, 2015, in the Municipal Building Council Chambers at 7700 Mission Road. Chairman Nancy Wallerstein called the meeting to order at 7:00 with the following members present: James Breneman, Nancy Wallerstein, Patrick Lenahan, Jonathan Birkel and Jeffrey Valentino.

The following persons were present in their advisory capacity to the Planning Commission: Graham Smith, City Planning Consultant; Wes Jordan, Assistant City Administrator; Mitch Dringman, Building Official; Eric Mikkelson, Council Liaison and Joyce Hagen Mundy, Commission Secretary.

**APPROVAL OF MINUTES**

Patrick Lehanan requested that the wording of the first sentence in the third paragraph on page five be changed from "Patrick Lehanan confirmed that the" to "Patrick Lehanan questioned if the". James Breneman moved for the approval of the minutes of the Planning Commission for August 4, 2015 with the change requested. The motion was seconded by Jeffrey Valentino and passed by a vote of 5 to 0.

**PUBLIC HEARINGS**

There were no Public Hearings scheduled before the Commission.

**NON PUBLIC HEARINGS**

**PC2015-115 Request for Site Plan Approval - Wireless Antenna  
7700 Mission Road**

Emily Roseberry, with Selective Site Consultants 9900 West 109<sup>th</sup> Street, representing Verizon Wireless who is requesting approval to replace six antennas on the existing cell tower at 7700 Mission Road. The existing antenna are on the middle platform at approximately 122 feet. There are 12 existing antenna on the platform - 4 per each array. This application will replace the 3 LTE and 3 CDMA antennas on each array. The proposed antenna are about 96 inches x 12 inches x 7 inches - a similar size to the largest existing antenna on each array. The accessory equipment and coaxial cables will be replaced according to the existing cable and equipment placements.

Graham Smith noted this location is on the northwest portion of the City Hall grounds. The property is zoned R1-A and the installation has a valid special use permit that was renewed in 2009, (PC 2009-17) and continues through 2019.

The property fronts on Mission Road and is setback substantially from the streetscape. The closest abutting property to the north is used for the parking lot for Shawnee Mission East High School, and the school building and facilities are setback at a substantial distance from this site across the parking lot.

In October 2009, the Planning Commission approved the Special Use Permit Renewal for this tower and the approval was based on the new Wireless Communications Ordinance. Changes in the installation for carriers are required to be submitted to the Planning Commission for site plan review and approval. The Planning Commission approved similar upgrades for AT&T, Verizon Wireless and Sprint in 2014.

It is the opinion of Staff that the request does not substantially change the installation and should be approved. The proposed antenna is a replacement of existing antenna, is consistent with the existing antenna on the facility, and there will be little or no perceived change or change in the impact on adjacent property.

The Planning Commission concurred with the following staff analysis of the application per the site plan criteria:

**A. The Site is capable of accommodating the building, parking areas and drives with appropriate open space and landscape.**

The capacity of the site to accommodate all equipment was addressed in the renewal of the Special Use Permit. The proposed antenna exchange will not increase any impacts that would require a change to that permit or conditions.

**B. Utilities are available with adequate capacity to serve the proposed development.**  
This is an existing installation and adequate utilities are available to serve the location.

**C. The plan provides for adequate management of stormwater runoff.**  
No additional impervious area will be created and therefore a stormwater management plan is not required.

**D. The plan provides for safe and easy ingress, egress, and internal traffic circulation.**

The site is an existing installation and utilizes the driveway and parking for the site. The ability of the site to accommodate ingress and egress was addressed in the renewal of the Special Use Permit. The proposed antenna will not increase any impacts for ingress and egress to the site.

**E. The plan is consistent with good land planning and good site engineering design principles.**

This is an existing installation, and maintenance and upgrades of current facilities are supported by the City's current policies and regulations. Site plan review of exchange of equipment is still required; however this plan is consistent with all existing approvals and standards.

**F. An appropriate degree of compatibility will prevail between the architectural quality of the proposed building and the surrounding neighborhood.**

The proposed antenna will be the same as the existing antenna and located away from the streetscape, and abutting property is a large parking area so there will be little impact on the surrounding area.

**G. The plan represents an overall development pattern that is consistent with the comprehensive plan and other adopted planning policies.**

This is an existing site. While Wireless communication facilities are not specifically addressed in Village Vision, the City's wireless communication policies and regulations promote upgrade and maintenance of existing facilities.

Patrick Lenahan moved that the Planning Commission find favorably on the site plan criteria and approve the proposed site plan application PC2015-114 for the installation of six replacement antenna at 7700 Mission Road for Verizon Wireless based on drawings dated 6/11/2015 subject to the following conditions:

1. That the replacement antenna be installed as shown on the proposed site plan.
2. That all wiring be contained inside the tower.
3. That the new equipment be installed in the existing cabinets.

The motion was seconded by James Breneman and passed unanimously.

**PC2015-115 Request for Site Plan Approval  
7501 Mission Road**

Chris Hafner, with Davidson Architects, appeared before the Commission to request site plan approval for a new two-story office building and associated site improvements. The new building would replace the existing two-story, multi-tenant office building on the site. The lot is located on the southeast corner of 75<sup>th</sup> Street and Mission Road. The property is zoned C-O, Office Building District.

The property addressed on Mission Road, but the long-axis of the building is oriented toward 75<sup>th</sup> Street and has similar scale office and commercial uses to the north. Shawnee Mission East High School, a more intense and larger scale development is across Mission Road to the west. The site is adjacent to single family residential uses to the east and south. The site sits below Mission Road and below the residential uses along Mission Road to the south of the site. The proposed office building on the site is compatible with the ranch, split-level and two story homes adjacent to the site.

The location of the new building on the site is being pushed north near the right-of-way for 75<sup>th</sup> Street, allowing the parking to be accommodated behind (south) and to the east the building. The location of the building on the site is similar to that of the buildings on the north side of 75<sup>th</sup> Street.

Currently access to the site is from Mission Road and from 75<sup>th</sup> Street. The proposed site plan has access to the site at two points:

- From Mission Road, generally in the same location as existing access;
- From Mohawk Drive, on the east side of the site.

After discussion with the Director of Public Works that applicant has agreed to remove the earlier proposed access from 75<sup>th</sup> Street after concerns expressed with traffic impact from the proposed 75<sup>th</sup> Street access. The proposed access to Mohawk Drive could have impacts on the neighborhood to the east.

Nancy Wallerstein asked if the access shown onto 75<sup>th</sup> Street would be replaced with additional parking spaces.

New parking totaling 79 spaces, including 4 handicap accessible spaces, is proposed to serve the building. Per Section 19.46, Off-Street Parking and Loading Regulations, Section 030, Require Spaces, 69 spaces are required based on the size and use of the building.

James Breneman noted the proposed location of the trash dumpster is near residential properties. Mr. Hafner replied the location of the dumpster has not been changed from its current location but a new enclosure is proposed. Mr. Breneman questioned the second story of the building meeting code with only one exit shown on the plans. Mr. Hafner replied the plans prepared for site plan approval are not fully developed and noted the second floor will meet code and will include an elevator.

Jonathan Birkel suggested a possible alternate location for the trash enclosure. Mr. Hafner noted the proposed location is designed for the ease of movement for the trash service trucks.

Nancy Wallerstein noted this is an opportunity to improve dumpster noise with relocation of the dumpster. Mr. Hafner stated the dumpster could not be located along Mohawk due to a sanitary sewer easement.

James Breneman suggested the dumpster be located in the northwest corner noting this would be closer to the office building it services.

Jeffrey Valentino questioned the elevation of the proposed building in relation to the existing building and the compatibility of the building with others on 75<sup>th</sup> Street. Mr. Hafner replied the elevation would not be the same as 75<sup>th</sup> Street buildings. It will be tucked in on the lot and the proposed roof would be very reminiscent of other office buildings on 75<sup>th</sup> Street.

Jonathan Birkel asked if the applicant had a materials board. Mr. Hafner replied he did not. The primary building materials proposed include stone, aluminum composite material (ACM) and glazing (glass). The ACM or metal panel is not widely used in this area. Two colors of the ACM are proposed, Alabaster (cream) and Anodic Satin Mica (beige). Its application does not make up more than 50% of any façade of the building. The stone application is generally around the base of the building.

Jeffrey Valentino noted these materials are not similar to other Prairie Village office buildings. Jonathan Birkel noted on the north elevation the east side wall is a very large blank surface.

Nancy Wallerstein agreed stating she sees this building as very “vanilla” with no architectural detail. She would like to see something more reminiscent of Prairie Village. This is a very cold building and she would like to see something done to warm it up.

Patrick Lenahan noted that one of the site plan criteria addresses an appropriate degree of compatibility with prevailing architectural quality of the proposed building and the surrounding neighborhood. Mr. Hafner replied that a more global view of Prairie Village reflects several buildings of a more modern design along 75<sup>th</sup> Street and Mission Road. He noted the proposed brick on the building and other texture features.

Mr. Hafner pointed out the recent approval of the Commission of the renovation of the old IRS building on 75<sup>th</sup> Street. He noted they are seeking a very clean architectural design that is often used for medical office buildings. They are not looking at replicating the existing building on this site. Mr. Hafner pointed out the variety of office building architecture along 75<sup>th</sup> Street.

Mr. Lenahan replied the surrounding office buildings architecture involves detail, texture and color. Mr. Birkel views the plans submitted as early working documents to which an additional level of detail will be added for final design.

Nancy Wallerstein stated she would like to see sample boards, more detail and texture in the building design that is more in conformance with the city.

Jeffrey Valentino asked about the monument sign and light reflected on the plan and if they are included in the site plan approval. Graham Evans replied the monument sign approval would be a separate process and that staff will work with the applicant on the lighting plan. Nancy Wallerstein asked about the landscape plan. Mr. Smith noted a landscaped plan has been submitted and is addressed in staff comments.

Jeffrey Valentino moved the Planning Commission continue this application to their October 6<sup>th</sup> meeting directing the applicant to bring in a materials sample board, the relocation of the trash enclosure, and to investigate adding architectural features to the building that would provide more compatibility with the surrounding area. The motion was seconded by Jonathan Birkel and passed by a vote of 5 to 0.

## **OTHER BUSINESS**

### **PC2015-06 Request for Rezoning from C-0 & R-lb to CP-1 7930 State Line Road**

This application was first heard by the Planning Commission on June 2, 2015, and then again on July 7, 2015. The Planning Commission recommended approval of the rezoning and preliminary site plan subject to 15 conditions. Additionally the Planning Commission approved a Conditional Use Permit for a drive through based on the site plan, subject to 3 conditions - one it being contingent upon approval of the Zoning and

Preliminary Site Plan by the Governing Body. The Governing Body considered the application at its August 3 meeting and failed to approve the application. A motion was approved to send the application back to the Planning Commission to look at specific issues associated with the drive through and relationship with abutting residential property. A revised site plan based on this motion has been developed by the applicant.

Mitch DiCarlo, with Block & Company, noted the primary issues from the City Council were the drive-through and noise. A new site plan has been developed to further address those. While the new plan addresses these issues, other issues are created. Mr. DiCarlo stated that applicant is willing to move forward with either plan. A revised landscape plan has been created using more plants and trees suggested at the Council meeting. The revised landscape plan will be implemented with either site plan recommended by the Planning Commission. An engineering firm was hired to conduct a noise analysis of the proposed drive through speakers and the existing noise levels. The dumpster has been moved further from the residential properties to minimize noise.

Jeff Bartz with BHC Rhodes and Danny Potts with Klover Architects presented a comparison of the proposed site plans.

The revised site plan includes additional landscape materials, and a revised circulation plan that does not circulate parking and drive-through traffic as far back (west) on the site. Instead, two staking lanes turn into the drive-through closer to the building on the central part of the lot. The speaker boxes for the drive through remain in the same location as the original application and are oriented to the south west - towards the office property to the south. While additional landscape materials and reduced potential for all traffic circulating to the back portion of the lot could reduce perceived noise impacts on abutting residential property, the revised plan also presents a potential circulation issue. There is only one drive lane to the majority of the site parking on the north side of the lot, and if more than 12 cars begin to stack at the drive-through area, there is the potential for customers trying to access parking to stack in that line along the east side of the applicants property. This option was originally proposed by the applicant prior to the initial application, but due to potential stacking issues staff requested the circulation option shown on the original application.

Wes Jordan noted that if five or six cars are in the drive through lanes access parking would be impacted. However, the Council has requested a shorter drive-through area with less impact on the neighborhood. Thus, the applicant has been given differing direction from the planning staff and the city council.

Nancy Wallerstein asked how many cars can be stacked. Jeff Bartz responded there is room for 10 cars to stack back to State Line Road. Wes Jordan noted that counting back from the speaker boxes on five or six cars can stack without blocking cars in the parking lot. Jeffrey Valentino noted the proposed site plan is similar to that of the McDonald's at 78<sup>th</sup> & Metcalf which has had the stacking lane filled at times and he believed this could occur at this location also. Mr. Lenahan noted the stacking issues on the proposed site would be inconvenient for customers on the site, but would not impact traffic on State Line Road.

Mitch DiCarlo stated that a new Slim Chickens recently opened on 135<sup>th</sup> Street in Overland Park. Drive-through business represents approximately 30% of its business as opposed to a McDonald's where drive-through business can represent up to 80% of their business.

Nancy Wallerstein asked for clarification of the comments from the City Council. Wes Jordan reported that some council members said this is not the right place for a restaurant; some said it is not the right place for a drive-through, concerns were raised with the volume of noise from its operation, particularly the order boxes and concern with lighting from vehicles shining onto residential properties.

Nancy Wallerstein stated her primary concern with the new design is that it has families crossing the vehicular traffic in the drive-through lanes to get to the restaurant. She is concerned for the safety of children, who generally do not pay attention to traffic in parking lots. Mr. Bartz replied that there is a marked crosswalk for pedestrians and signage.

Eric Mikkelson asked if the length of the drive-through could be less than the initial plan and more than the revised plan. Mr. Bartz explained they are reviewed that option; however, it created more problems, including car lights shining onto the residential properties, also it would not allow sufficient room for fire and emergency vehicles and was not feasible.

Jeffrey Valentino agreed that parking at the back of the lot would create a car lights issue and liked the new proposed plan.

James Breneman asked how critical the drive-through feature was for the business and if there could be a "park & carry" service area instead. Jeff Bartz replied the drive-through was essential to the operation of the business.

Danny Potts with Klover Architects noted the applicant has addressed the headlights shining onto residential properties, are constructing an eight foot fence, are providing denser landscaping, have moved the dumpster further away from the residential properties, sound boards and landscaping have been added at the order spots.

Nancy Wallerstein stated she felt providing drive-through service is essential for this location in today's mobile society.

Jeff Bartz goal of new plan is to minimize noise. They have done so with additional landscaping using recommended trees and adding landscaping around the sound boards and moving dumpster further away from residents. Only parking will be located in the deepest part of the lot by the residential properties.

A study was completed by Henderson Engineers, Inc. on August 19<sup>th</sup> and 20<sup>th</sup>. Noise levels were measured on the proposed site and the existing Slim Chickens restaurants in Independence, Missouri and Overland Park, Kansas at noon. The results indicate the intercom noise is primarily inaudible except at times of no traffic, though locust, wind



noise and other typical outdoor ambient noises will be approximately equivalent or louder than the intercom system. Based on testing, the estimated level from the drive through speaker at the northwest property line on the proposed site is 42.2 decibels with the existing ambient noise level of 51.5 decibels. Noise from the two locations tested revealed noise levels at 10 and 15 feet from the speakers to be less than existing traffic noise from the street.

Patrick Lenahan commended the applicant for addressing the noise issue; however, he noted the time of day the residents are concerned with noise levels is not at noon, but rather the evening hours when there will be less traffic noise to cover the sound.

Jeff Bartz noted the other sound reduction steps taken to protect the residential properties including the construction of an 8 foot fence with dense landscaping added and the direction of the sound boxes being directed away from the residents. Mr. Bartz added that the steps taken by the applicant will also address current noise the residents are hearing from the operations of Panda Express.

James Breneman confirmed that the fence will be eight feet in height at all locations, noting plans reference a six foot fence. He noted that due to the slope of the land light from headlights may be visible over the fence. Mr. Lenahan noted that such lighting would only be for a minimal time, noting when the vehicles turned the headlights would be below the fence height.

Jonathan Birkel asked what the hours of operation would be. Nancy Wallerstein replied a condition of approval set by the Planning Commission limits operation to no later than 10 p.m.

Nancy Wallerstein noted that many of the initial concerns raised on this project were the result of the operations of the Panda Express located on the adjacent property. The city has been proactive in addressing these concerns with Panda Express.

Eric Mikkelson asked if the applicant would consider a ten foot fence. Mr. Bartz stated the maximum fence height allowed by the city is eight feet. Mrs. Wallerstein noted an eight foot fence would be consistent with the fence on the adjacent property.

Patrick Lenahan stated he has concerns with pedestrians crossing the parking lot to get to the restaurant through the drive-through area. He feels that the initial plan with the improved landscaping better addresses the concerns expressed than the revised plan.

Nancy Wallerstein noted the city council's recent concerns with pedestrian safety and asked Mr. Mikkelson if he had any concerns with customers crossing two lanes of drive-through traffic to enter the restaurant. Mr. Mikkelson responded the Council was concerned with pedestrian safety and noted the revised plan did present safety issues as well as stacking issues.

Jonathan Birkel stated he feels the applicant has done everything he can do to minimize the impact of the drive through. He is still concerned with the high retail use taking place next to residential properties.

Nancy Wallerstein noted this is on an arterial street with businesses with similar uses throughout the area. She feels this is an appropriate location. She prefers the original plan due to the safety issues created with the revised plan. Mr. Mikkelson replied that although this is on an arterial street, this is a rezoning request changing zoning from the most restrictive commercial use to the broadest commercial use - from C-0 Business Office District to C-2 General Commercial District and he feels that places the burden on the applicant. Mrs. Wallerstein replied that she felt the applicant did a remarkable job meeting the site plan criteria and addressing the concerns expressed.

Patrick Lenahan requested that condition #15 be changed to read "evening ambient noise levels" rather than "daytime ambient noise levels".

Graham Smith advised the Commission that this site plan is considered a preliminary site plan approval and if the rezoning request is granted by the Governing Body, the applicant will return to the Planning Commission for final site plan approval with more detailed final design plans.

James Breneman stated that he understands the concerns expressed regarding pedestrian safety with the revised plan, but noted that with the original also has pedestrians crossing the parking lot in front of vehicles. He feels the revised plan is better than the original plan.

Nancy Wallerstein stated she does like the short lanes. Mr. Bartz noted that both the operations in Independence and Overland Park follow the revised plan and have not had any problems with stacking. Mr. Potts added the restaurant has a longer wait time which is one of the reasons for the double lanes.

James Breneman moved the Planning Commission recommend the Governing Body approve the requested zoning based on the revised site plan subject to the conditions of approval recommended by staff with the amendment to condition #15 requested by Mr. Lenahan.

The motion failed for the lack of a second.

Patrick Lenahan moved the Planning Commission recommend the Governing Body approve the requested rezoning based on the original site plan approved by the Planning Commission on July 7, 2015 with the revised landscape plan and subject to the 15 conditions of approval recommended by staff as revised by the Planning Commission. The motion was seconded by Jeffrey Valentino.

Mr. Valentino stated he would like to see the positives of both site plans combined. Nancy Wallerstein asked how many parking spaces are usually filled at the existing locations and if it was possible to make the loop larger moving some parking spaces

next to the restaurant. Mr. Potts replied he did not know the amount of parking spaces used at other locations. Mr. Bartz stated they did look at changing the size of the loop internally and moving the loop would only allow for 6 or 7 close parking spaces.

Eric Mikkelson asked if 49 spaces were necessary based on an estimated 30% drive-through customers and also questioned the proposed outdoor patio seats were critical to business operations or if this area could be reduced or removed.

Danny Potts replied that this is a feature that is common in restaurants today and their client wants to be able to provide that. Mr. Valentino stated he views that feature for sit-down restaurants, not drive-through facilities.

Graham Smith advised the Commission that the parking is based on the city's code and does address drive-through operations. However, he noted that they are requesting a planned zoning district which does allow the commission flexibility to code requirements.

Mitch DiCarlo noted that 80% of the business is done between the hours of 11 - 1:30 and 4 to 7 p.m. It would be rare that parking would extend to outside the central area. He noted that the four parking spaces on the western most parking lot could be removed reducing available parking from 49 to 45 spaces. Mrs. Wallerstein stated she would like to have those spaces available for vehicles with trailers or large trucks.

Chairman Nancy Wallerstein called for a vote on the motion to recommend approval of rezoning based on the original site plan. The motion was voted on and passed by a vote of 3 to 2 with Birkel and Breneman voting in opposition.

The applicant and the public were advised that this item will go back to the City Council for action on Monday, September 21<sup>st</sup>.

**PC2015-07 Request for Conditional Use Permit for Drive-Through Service Window  
7930 State Line Road**

The Planning Commission approved a Conditional Use Permit for a drive through based on the site plan, subject to 3 conditions - one it being contingent upon approval of the Zoning and Preliminary Site Plan by the Governing Body. The Governing Body considered the application at its August 3 meeting and failed to approve the application. A motion was approved to send the application back to the Planning Commission to look at specific issues associated with the drive through and relationship with abutting residential property. .

Regarding the drive-through noise, the speaker boxes are located approximately 120 feet or more from the closes residential property boundary, and are oriented away from this boundary to the southwest. An additional condition on this application is recommended below, that the speakers be operated at levels that are not audible above ambient noise levels from this boundary. This would mean that any speaker noise would not be distinguishable above other noise that is ordinarily heard from the street and other operations of adjacent sites.

Wes Jordan reported that the City Council's concerns relative to the drive-through primarily focused on noise and the appropriateness of a drive-through window.

Patrick Lenahan moved the Planning Commission approve the requested Conditional Use Permit for the operation of a drive-through window at 7930 State Line Road subject to the following conditions:

1. That the Conditional Use Permit approval is contingent upon approval of the CP-1 Zoning and the Preliminary Development Plan. If the rezoning and Preliminary Development Plan are not approved by the Governing Body the approval of this Conditional Use Permit will be null and void.
2. That the applicant maintain the fencing and landscaping according to the revised approved landscape plan and replace any plant materials that die and fence that is damaged so that the integrity of the landscaping/screening is maintained throughout the life of the project.
3. That the drive-through speaker systems be maintained at decibel levels that are not audible above evening ambient noise levels from any residential property abutting the site.
4. That the Conditional Use Permit shall terminate when the site is no longer used for a fast food restaurant.

The motion was seconded by Jeffrey Valentino and passed by a vote of 4 to 0 with Jonathan Birkel voting in opposition.

## **INTRODUCTIONS**

Chairman Nancy Wallerstein introduced Melissa Brown who was in attendance and has been recommended by Mayor Wassmer for appointment to the Planning Commission filling Randy Kronblad's seat. Her appointment will go before the City Council on Tuesday, September 8<sup>th</sup>.

## **NEXT MEETING**

Planning Commission Secretary Joyce Hagen Mundy announced that the filing deadline for the October Planning Commission meeting is Friday, September 4<sup>th</sup>. No new applications have been filed. The continue consideration of the site plan for 7501 Mission Road will be on the agenda. Staff is expecting to receive an application for the rezoning of the Meadowbrook property.

## **ADJOURNMENT**

With no further business to come before the Commission, Chairman Nancy Wallerstein adjourned the meeting at 9 p.m.

Nancy Wallerstein  
Chairman

# STAFF REPORT

**TO:** Prairie Village Planning Commission  
**FROM:** Chris Brewster, AICP, Gould Evans, Planning Consultant  
**DATE:** October 6, 2015, Planning Commission Meeting

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**Application:** PC 2015-116

**Request:** Approval of Front Building Line Modification

**Property Address:** 8440 Roe Avenue

**Applicant:** Dana Blay

**Current Zoning and Land Use:** R-1A Single-Family Residential - Single-Family Dwellings

**Surrounding Zoning and Land Use:** **North:** R-1A Single-Family Residential - Single-Family Dwellings  
**East:** R-1A Single-Family Residential - Single-Family Dwellings  
**South:** R-1A Single-Family Residential - Single-Family Dwellings  
**West:** R-1A Single-Family Residential - Single-Family Dwellings

**Legal Description:** TOWN & COUNTRY ESTATES LOT 49 PVC-

**Property Area:** 36,540.92 s,f, (0.84 ac.)

**Related Case Files:** n/a

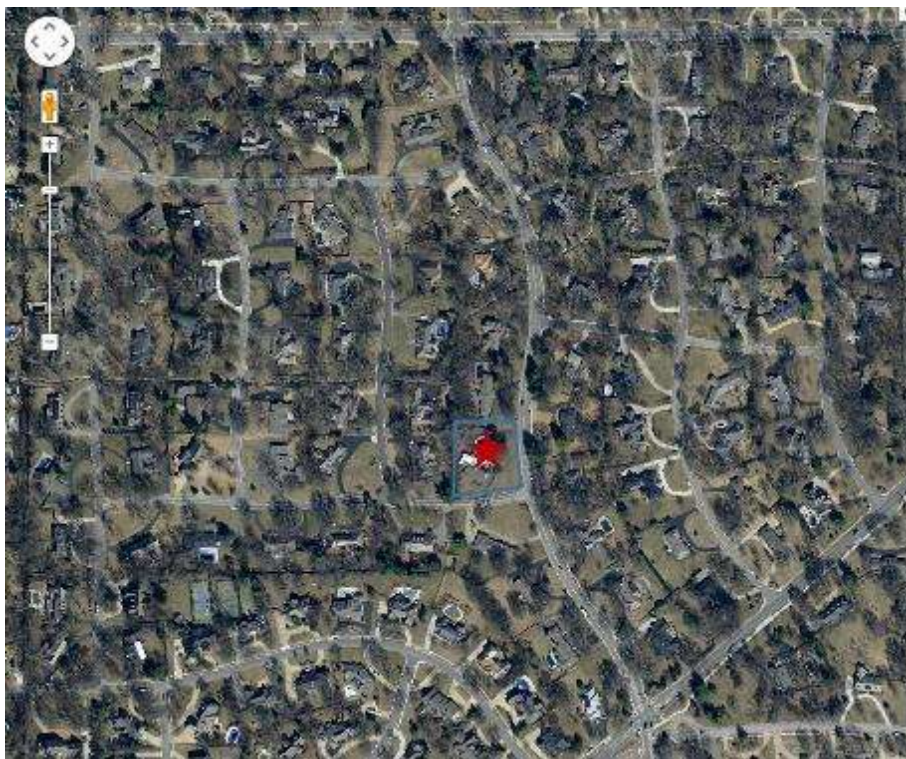
**Attachments:** Application, Drawings & Photos

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**General Location Map**



**Aerial Map**



**COMMENTS:**

The applicant is requesting a building line modification as provided in Chapter 18.18 of the subdivision regulations, to extend the garage beyond a platted setback.

The lot is located on the northwest corner of 85<sup>th</sup> and Roe, and has a platted setback line of 75 feet adjacent to both 85<sup>th</sup> Street and Roe Avenue. The house sets at an angle on the lot. The current house extends over both platted setbacks – a small corner of the structure on the northeast portion of the building along Roe (approximately 3') and a larger portion of the structure on the south along 85<sup>th</sup> Street (approximately 30'). This proposal would extend approximately 15' further into the platted setback on the south side along 85<sup>th</sup> street. The proposed application would meet all zoning setbacks for the R-1A district

Because the house sits at an angle, the encroachments into the platted setbacks occur deepest on the corners, and the extent of the encroachment is less as each façade angles deeper into the lot. Also, because the lot is a corner lot, the required zoning setbacks depend on which street frontage is interpreted as the "front". By ordinance, lots in the R-1A district have a 30' front setback, 25' rear setback, and 5' side yard setback, with a 15' setback on street-side side yards. The proposed applications will meet all of these setbacks, and would meet the most strict interpretation of either frontage (i.e. it is more than 30' from both Roe and 85<sup>th</sup> street, and meets the side and rear setbacks on the other lot lines).

The property to the west of this property is closest to the proposed addition. It has a platted setback of 50'. The structure on this lot is situated approximately 100' from the closest corner of the proposed addition. An existing tree-line along the property boundary provides a buffer between the two properties.

Section 18.18.D provides the criteria for the Planning Commission to consider for building line modifications:

**1. That there are special circumstances or conditions affecting the property;**

The lot is a corner lot with the building situated at an angle. The platted setbacks of 75' on both sides are not consistent with adjacent property and are far larger than the zoning setbacks.

**2. The building line modification is necessary for reasonable and acceptable development of the property in question;**

The buildable area of the lot is reduced as a result of the platted setbacks. While the lot is large and there is a reasonable amount of buildable area under the platted setbacks, it is still more constraining than other lots in the area.

**3. That the granting of the building line modification will not be detrimental to the public welfare or injurious to or adversely affect adjacent property or other property in the vicinity in which the particular property is situated;**

Most corner lots in the neighborhood have an "intersection orientation" with the home situated at an angle and deep setbacks on both street frontages. The current structure already encroaches into the platted setback (approximately 3' on Roe and approximately 30' on 85<sup>th</sup> street). However since these encroachments occur at an angle, only the corner encroaches at the deepest spot. Both the existing encroachments and what is proposed will still be well within the most restrictive interpretation of zoning setbacks for the property.

**RECOMMENDATION:**

Staff recommends that the Planning Commission find favorably on the three factors and approve the Front Building Line Modification for just that portion of the garage necessary to permit the 10-foot expansion.

**EFFECT OF APPROVAL:**

If the Planning Commission finds favorably on the three considerations, it shall adopt a resolution that must be recorded with the register of deeds prior to obtaining a building permit

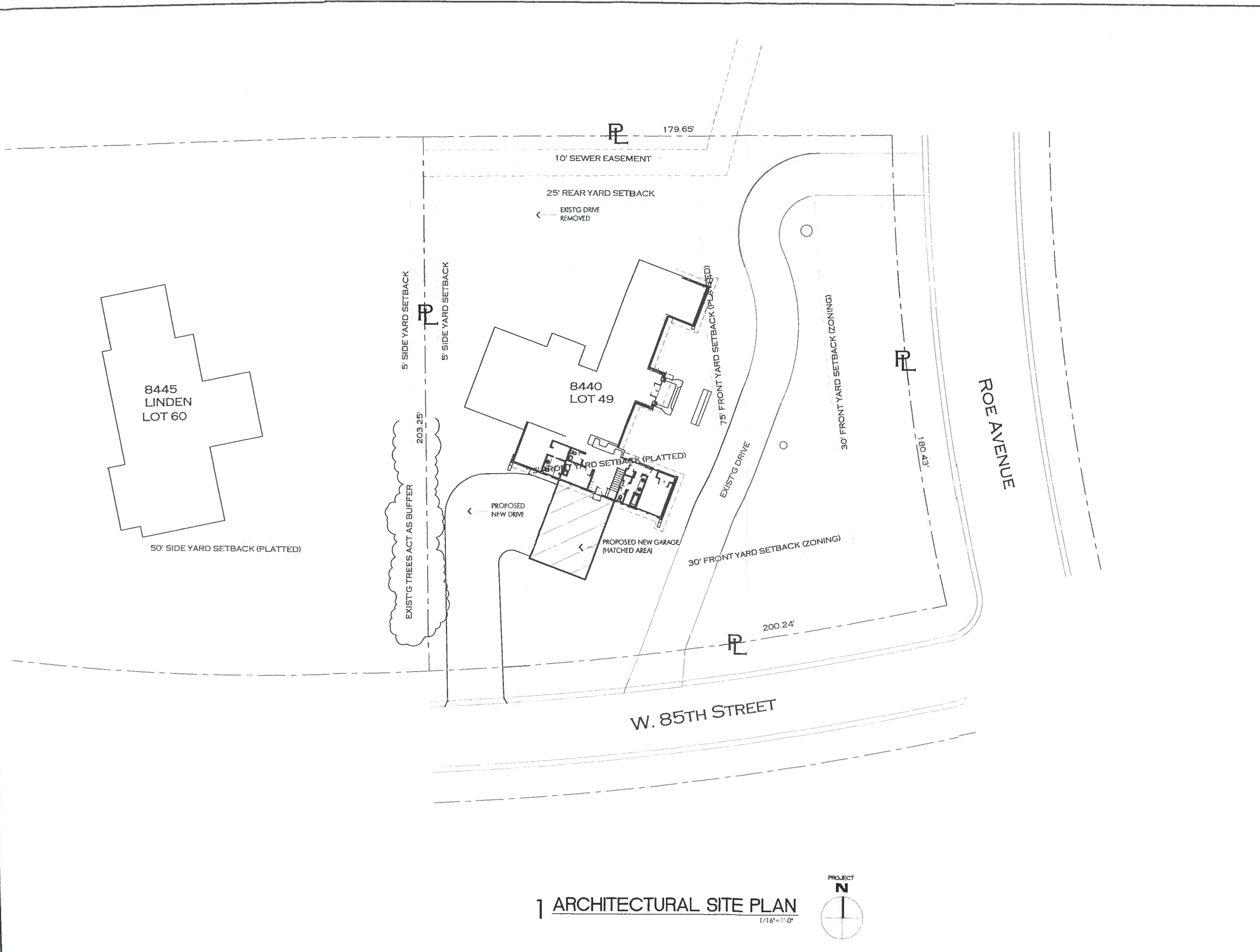


Street view from 85<sup>th</sup> street looking north.



Street view from Roe looking east.





1 ARCHITECTURAL SITE PLAN  
1/16"=1'-0"



F REAL IS NOT RED DO NOT APPROVE FOR PERMIT

DBL ARCHITECTURE + INC.

www.dblarchitects.com  
dblarchitects.com  
913-883-8888 - office  
913-273-8888 - cell  
208 W. 85th St. # 1000, Kansas 66207

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**PROJECT:**  
RESIDENCE RENOVATIONS + GARAGE ADDITION  
8440 ROE AVENUE  
Prairie Village, Kansas 66207

**PROJECT LOG:**  
CONTRACT INITIATION  
July 24, 2015

AS-BUILTS  
7/27/15 (MEASURE) 8/13/15 (DRAWN)

OWNER'S DESIGN REVIEW  
8/19/15

PLAN COMMISSION SUBMITTAL  
9/3/15

H.O.A. SUBMIT  
9/29/15

PLANS AVAILABLE FOR PERMIT SUBMIT  
?/?/15

PLANS PERMIT RESUBMIT  
?/?/15

**REVISIONS:**  
1 REVISOR PER OWNER  
?/?/15  
2 REVISOR PER CITY  
?/?/15

**SHEET TITLE:**

ARCHITECTURAL  
SITE PLAN

**SHEET NO.:**  
AC1

PROJECT NUMBER

IF SEAL IS NOT RED DO NOT APPROVE FOR PERMIT  
**NOT APPROVED FOR CONSTRUCTION**  
 WITNESSE SEAL

IF SEAL IS NOT RED DO NOT APPROVE FOR PERMIT

**DEL ARCHITECTURE + INC.**

www.delarchitects.com  
 delarch@ccr.com  
 616-688-6228 - office  
 6031 meadow road + leewood, barne 66206 usa

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**PROJECT:**  
 RESIDENCE RENOVATIONS + GARAGE ADDITION  
 8440 ROE AVENUE  
 Prairie Village, Kansas 66207

**PROJECT LOG:**  
 CONTRACT INITIATION  
 July 24, 2015

AS-BUILT MEASURING/COMPLETION  
 7/27/15 (MEASURE) 8/13/15 (DRAWN)

OWNER'S DESIGN REVIEW  
 8/19/15

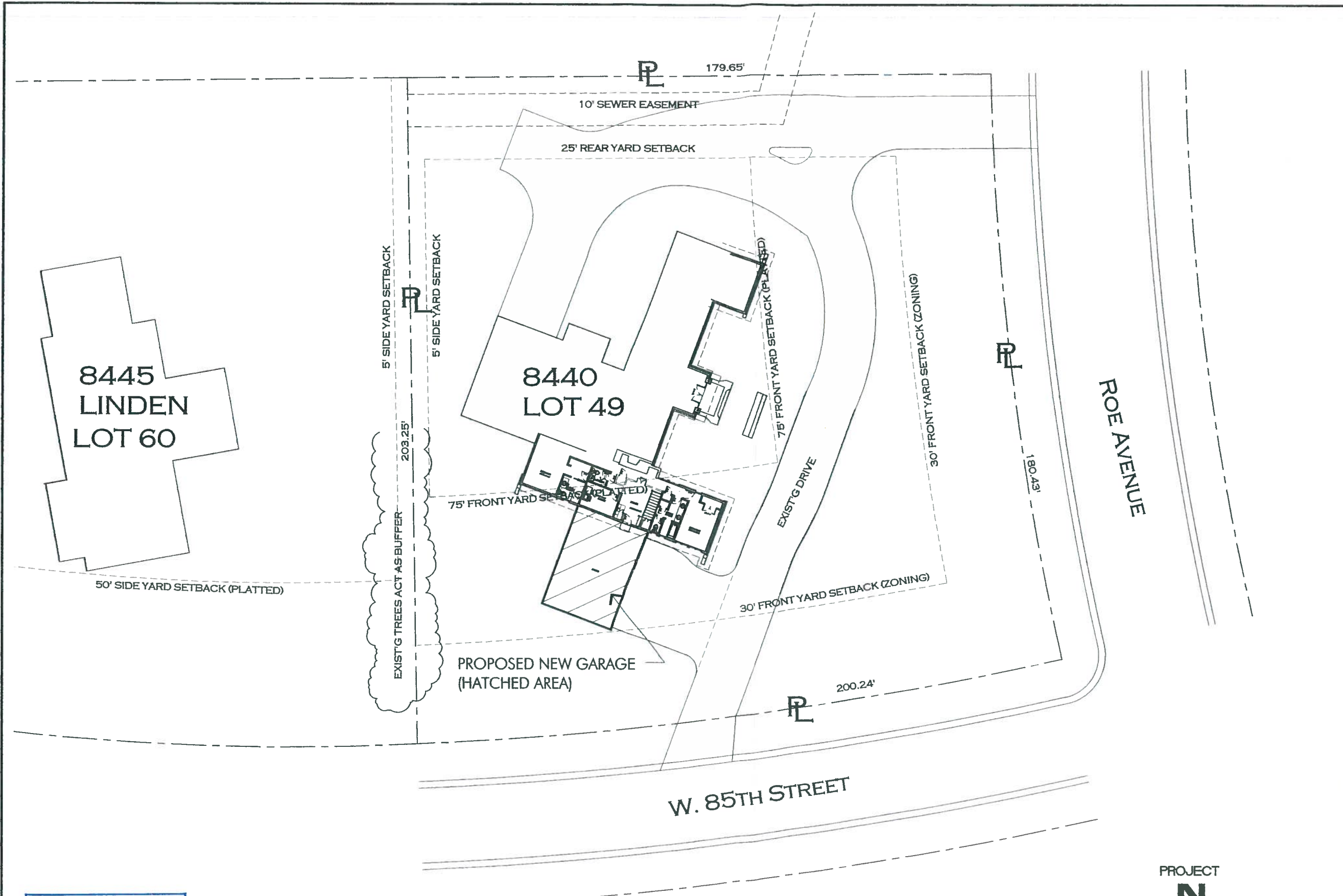
PLANNING SUBMIT  
 9/3/15

**REVISIONS:**  
 1 REVISED PER CITY 7/7/15  
 2 REVISED PER CITY 7/7/15

**SHEET TITLE:**  
 ARCHITECTURAL SITE PLAN

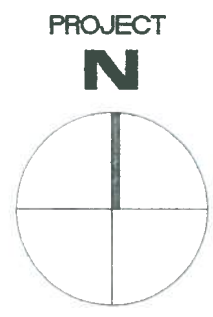
**SHEET NO.:**  
 AC1

**PROJECT NUMBER:**  
 072415



**RECEIVED**  
 SEP 03 2015  
 By \_\_\_\_\_

**1 ARCHITECTURAL SITE PLAN**  
 1"=30'-0"



## STAFF REPORT

**TO:** Prairie Village Planning Commission  
**FROM:** Chris Brewster, AICP, Gould Evans, Planning Consultant  
**DATE:** October 6, 2015, Planning Commission Meeting

---

**Application:** PC 2015-117

**Request:** Building Elevation Modification

**Property Address:** 6516 Granada

**Applicant:** Rick Jones

**Current Zoning and Land Use:** R-1A Single-Family Residential - Single-Family Dwellings

**Surrounding Zoning and Land Use:**

- North:** R-1A Single-Family Residential - Single-Family Dwellings
- East:** R-1A Single-Family Residential - Single-Family Dwellings
- South:** R-1A Single-Family Residential - Single-Family Dwellings
- West:** R-1A Single-Family Residential - Single-Family Dwellings

**Legal Description:** INDIAN FIELDS LOT 26 BLK 5 PVC-0407A0027

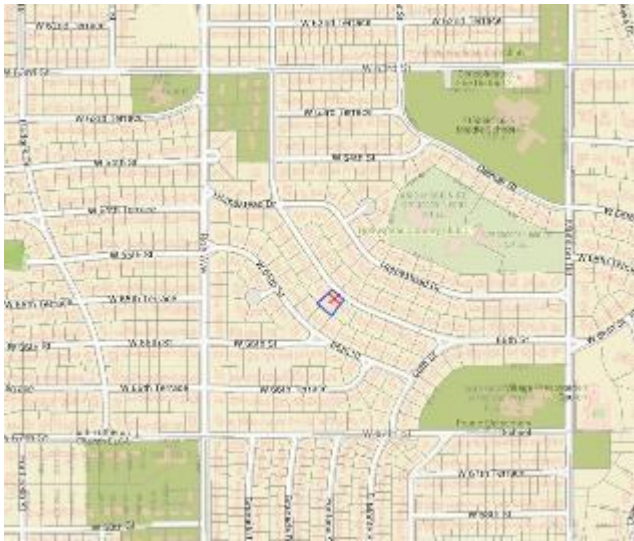
**Property Area:** 18,336.32 s.f (0.42 ac)

**Related Case Files:** N/A

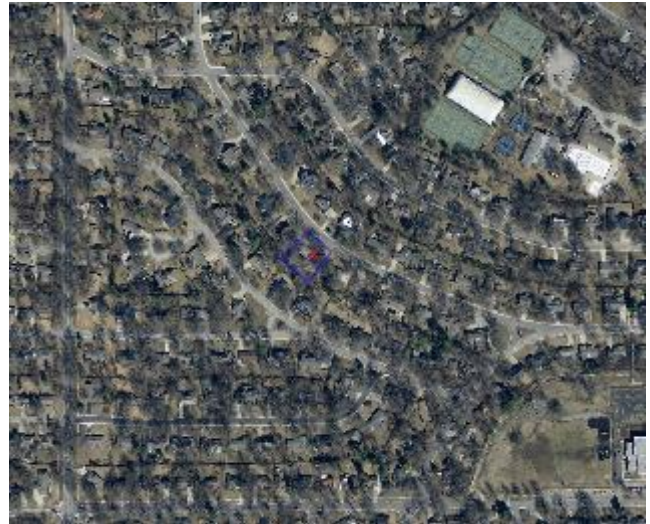
**Attachments:** Application, Drawings & Photos, HOA review letter

---

**General Location Map**



**Aerial Map**



**Birdseye View**



**Street View**



*Subject property (looking northwest)*



*Subject property (southeast)*

**COMMENTS:**

The applicant is requesting a modification from building height elevations provided in Section 19.44.030, and to build a new structure with a first floor elevation that is 1.52 feet higher than the existing home elevation, for a property located at 6516 Granada Drive.

Section 19.44.030 requires new homes to be built at or below the first floor elevation of any existing home, or to require additional setbacks (each additional 5' elevation allows an additional 6" raise in building elevation). Up to 3' in elevation change may be approved with Planning Commission review. The intent of this section is to address the scale and height of new structures as old homes are torn down and new homes are built.

The proposed structure exceeds the required zoning setbacks by the following:

- Required front - 30'; proposed front setback 40'
- Required side setbacks - 5'; proposed approximately 10' on northwest and approximately 17' on southeast
- Required rear setbacks - 25'; proposed approximately 48'

Per the ordinance this application could be raised an additional 6" due to the side setback on the northwest.

The lot is large - approximately 145' deep and approximately 115' wide at the lot frontage (137' at the rear). The proposed elevation is 941.50 feet; the elevation of the existing home is 939.98'. The elevation of the adjacent home to the northwest is 945.40' and the elevation of the adjacent home to the southeast is 937.30'. Both the elevation of the existing home and the elevation of the proposed new home on the subject site are between these two elevations, and roughly near the average (The proposed home brings it closer to the middle - 3.9' difference on northwest and 4.2' difference on the southeast, while the existing home was closer to the existing home on the southeast).

The proposal is to bring the new structure to nearer the midpoint of the two adjacent structures and an additional 1.52' above the current structure. This is greater than the additional 6" + allowed due to the additional setbacks, but within 3' limit allowed through Planning Commission review.

Section 19.44.030 Building Elevations reads:

- A. New residential structures or additions set at the same first floor elevation or lower than the original structure shall be exempt from review by the Planning Commission.
  - B. New residential structures or additions may raise the first floor elevations six inches for every additional five feet over the minimum side yard setback that the building sets back from both side property lines. The maximum elevation can be raised is three feet without requiring review and approval of the Planning Commission.
  - C. New residential structures or additions not meeting paragraphs a or b above shall be submitted to the Planning Commission for review and approval. (Ord. 2019, Sec. III, 2001)
-

**RECOMMENDATION:**

The proposed elevation is similar to that of existing adjacent homes, will place the proposed home roughly at the mid-point of those homes and would not compromise the intent of the ordinance language limiting changes in elevation from existing structures. The elevation change is small, it is within the discretionary limits of the Planning Commission review, and the proposed home includes additional setbacks on both sides. Staff recommends approval of this proposed elevation to 941.50 feet for the first floor elevation.

---

Customer # 17507

CITY OF PRAIRIE VILLAGE, KANSAS

APPLICATION

Application # 10440

Please complete this form and return with information requested:

City Administrator  
City of Prairie Village  
7700 Mission Road  
Prairie Village, KS 66208

For Office Use Only	
Case No.:	PC 2015-116
Filing Fee:	100.00
Deposit:	500.00
Date Advertised:	_____
Date notices Sent:	_____
Public Hearing Date:	_____

Applicant: Dana Blay Phone: 913-383-8928

Address: 8031 Wenonga Road, Leawood, KS Zip: 66206

Owner: Jarod Suhn Phone: 913-307-6874

Address: 8440 Roe Avenue Zip: 66207

Location of Property: 8440 Roe Ave.

Legal Description: Town and Country Estates Lot 49, PVC (abbreviated)

Applicant requests consideration of the following:

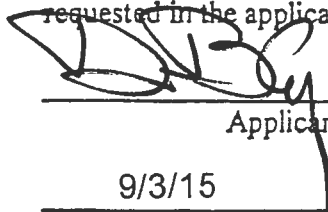
(Describe proposal/request in detail)

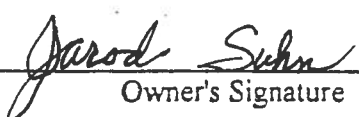
Building Line Modification - The addition of a Garage would be over the  
platted setback of 75' but within the Zoning setback of 30'. There is an existing  
buffer of trees to the west property thus reducing the affect of that property. We do not  
believe that adjacent properties will be adversely affected by this addition.

**AGREEMENT TO PAY EXPENSES**

APPLICANT intends to file an application with the PRAIRIE VILLAGE PLANNING COMMISSION or the PRAIRIE VILLAGE BOARD OF ZONING APPEALS of the CITY OF PRAIRIE VILLAGE, KANSAS (City) for a Building Line Modification. As a result of the filing of said application, CITY may incur certain expenses, such as publication costs, consulting fees, attorney fees, and court reporter fees.

APPLICANT hereby agrees to be responsible for and to reimburse CITY for all costs incurred by CITY as a result of said application. Said costs shall be paid within ten (10) days of the receipt of any bill submitted by CITY to APPLICANT. It is understood that no requests granted by CITY or any of its commissions will be effective until all costs have been paid. Costs will be owing whether or not APPLICANT obtains the relief requested in the application.

  
\_\_\_\_\_  
Applicant's Signature  
9/3/15  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Owner's Signature  
9/3/15  
\_\_\_\_\_  
Date



Mr. and Mrs. Garv  
6516 Granada Drive  
Prairie Village, KS 66208

September 16, 2015

Re: New Home at 6516 Granada; Lot 6, Block 5, Indian Fields

Dear Mr. and Mrs. Gary:

The Indian Fields Homes Association Design Review Committee ("IFDRC") reviewed your plans for a new home at 6516 Granada Drive. This review was based on plans submitted dated July 21, 2015 and revised site plan dated August 12, 2015, and included the Floor Plans; Elevations; and a site plan / survey. Any changes to the plans from those submitted will require additional review.

The IFDRC looks at your plans primarily for compatibility with the neighborhood and compliance with the Indian Fields Homes Association Deed Restrictions ("Restrictions"). While your home may comply with Prairie Village zoning, it may not necessarily comply with the HOA Restrictions.

The IFDRC has found that the plans submitted comply with all Restrictions as related to new construction and is compatible with the neighborhood.

The IFDRC forwarded its recommendation for approval of your plans to the full Board of the Indian Fields Homes Association. The full Board took action via e-mail ballot and approved the plans.

Thank you for the prompt submittal and we hope construction goes smoothly.

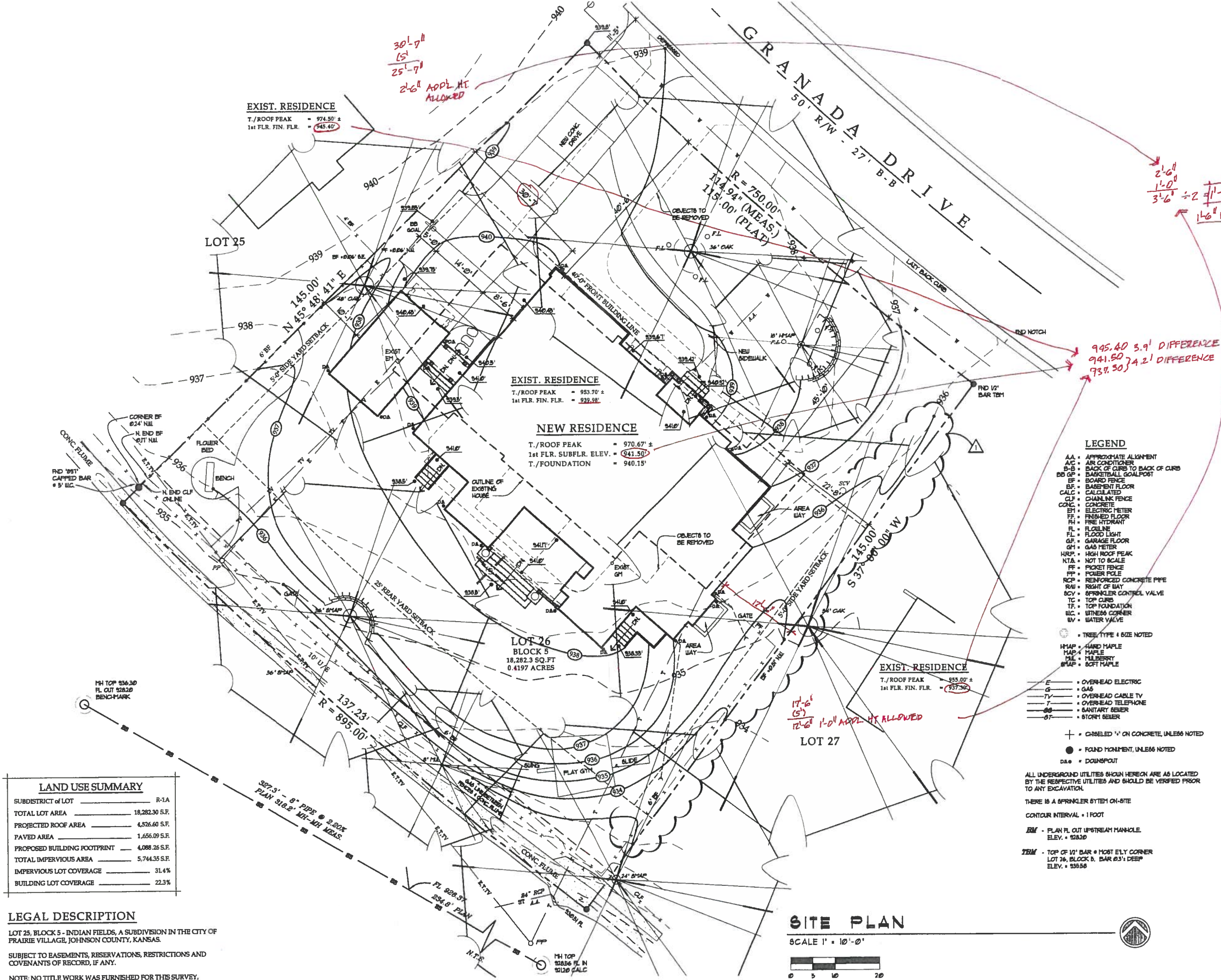


Sincerely,  
Mark C. Lieb, Director IFHOA  
Chair, IFDRC

**NSPJ**  
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**GARY RESIDENCE**  
 6516 GRANADA DRIVE  
 PRAIRIE VILLAGE, KANSAS

REVISIONS  
 SEPTEMBER 1, 2015  
 DATE  
 AUGUST 12, 2015  
 JOB No.  
 560515  
 SHEET No.



**EXIST. RESIDENCE**  
 T./ROOF PEAK = 974.50' ±  
 1st FLR. FIN. FLR. = 945.40'

**EXIST. RESIDENCE**  
 T./ROOF PEAK = 953.70' ±  
 1st FLR. FIN. FLR. = 939.28'

**NEW RESIDENCE**  
 T./ROOF PEAK = 970.67' ±  
 1st FLR. SUBFLR. ELEV. = 941.50'  
 T./FOUNDATION = 940.15'

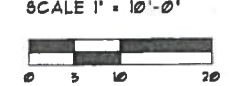
**EXIST. RESIDENCE**  
 T./ROOF PEAK = 955.00' ±  
 1st FLR. FIN. FLR. = 937.30'

**LAND USE SUMMARY**

SUBDISTRICT OF LOT	R-1A
TOTAL LOT AREA	18,282.30 S.F.
PROJECTED ROOF AREA	4,526.60 S.F.
PAVED AREA	1,656.09 S.F.
PROPOSED BUILDING FOOTPRINT	4,088.26 S.F.
TOTAL IMPERVIOUS AREA	5,744.35 S.F.
IMPERVIOUS LOT COVERAGE	31.4%
BUILDING LOT COVERAGE	22.3%

**LEGAL DESCRIPTION**  
 LOT 25, BLOCK 5 - INDIAN FIELDS, A SUBDIVISION IN THE CITY OF PRAIRIE VILLAGE, JOHNSON COUNTY, KANSAS.  
 SUBJECT TO EASEMENTS, RESERVATIONS, RESTRICTIONS AND COVENANTS OF RECORD, IF ANY.  
 NOTE: NO TITLE WORK WAS FURNISHED FOR THIS SURVEY. THEREFOR, ONLY PLATTED EASEMENT(S) ARE SHOWN HEREBON.

**SITE PLAN**  
 SCALE 1" = 10'-0"



- LEGEND**
- AA - APPROXIMATE ALIGNMENT
  - AC - AIR CONDITIONER
  - B-B - BACK OF CURB TO BACK OF CURB
  - BB GP - BASKETBALL GOALPOST
  - BF - BOARD FENCE
  - BF - BASEMENT FLOOR
  - CALC - CALCULATED
  - CLF - CHAINLINK FENCE
  - CONC - CONCRETE
  - EM - ELECTRIC METER
  - FF - FINISHED FLOOR
  - FH - FIRE HYDRANT
  - FL - FLOWLINE
  - FL - FLOOD LIGHT
  - GF - GARAGE FLOOR
  - GM - GAS METER
  - HRP - HIGH ROOF PEAK
  - NTA - NOT TO SCALE
  - PF - PICKET FENCE
  - PP - POWER POLE
  - RCP - REINFORCED CONCRETE PIPE
  - RAW - RIGHT OF WAY
  - SCV - SPRINKLER CONTROL VALVE
  - TC - TOP CURB
  - TF - TOP FOUNDATION
  - WC - WITNESS CORNER
  - WV - WATER VALVE

- TREE TYPE & SIZE NOTED
- HM - HARD MAPLE
- MAP - MAPLE
- ML - MULBERRY
- SM - SOFT MAPLE
- E — OVERHEAD ELECTRIC
- G — GAS
- TV — OVERHEAD CABLE TV
- T — OVERHEAD TELEPHONE
- S — SANITARY SEWER
- ST — STORM SEWER
- + CHASELED "X" ON CONCRETE, UNLESS NOTED
- FOUND MONUMENT, UNLESS NOTED
- D&S - DOWNSPOUT

ALL UNDERGROUND UTILITIES SHOWN HEREON ARE AS LOCATED BY THE RESPECTIVE UTILITIES AND SHOULD BE VERIFIED PRIOR TO ANY EXCAVATION.  
 THERE IS A SPRINKLER SYSTEM ON-SITE.  
 CONTOUR INTERVAL = 1 FOOT  
 BM - PLAN FL. OUTSTREAM MANHOLE ELEV. = 928.20  
 TEM - TOP OF 12" BAR = MOST ELY. CORNER LOT 26, BLOCK 5. BAR 8.5' DEEP ELEV. = 939.58

**STAFF REPORT**

**TO:** Prairie Village Planning Commission  
**FROM:** Chris Brewster, AICP, Gould Evans, Planning Consultant  
**DATE:** October 6, 2015 Planning Commission Meeting

---

**Application:** PC 2015-06

**Request:** Site Plan Approval for New Restaurant with Drive-Thru Window

**Property Address:** 7930 State Line Road

**Applicant:** 7930 State Line LLC (Block and Company)

**Current Zoning and Land Use:** CP-1 Planned Restricted Business District - General Office Building

**Surrounding Zoning and Land Use:**

- North:** CP-1 Planned Restricted Business - Panda Express and R-1B Single-Family Residential - Single-Family Dwellings
- East:** Commercial (KCMO) - CVS and Wendy's
- South:** R-1 Single-Family Residential - Single-Family Dwellings and SD-O Business Office District - Financial Institution
- West:** R-1B Single-Family Residential - Single-Family Dwellings

**Legal Description:** Multiple Lots

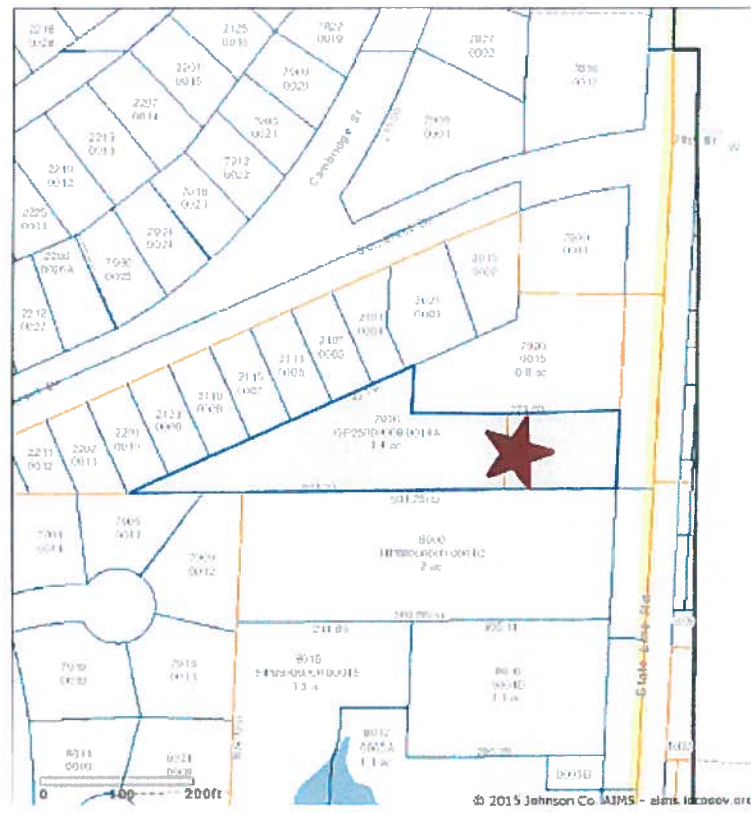
**Property Area:** 1.37 Acres

**Related Case Files:** PC 2015 - 06 Rezoning of Property from R-1B Single-Family Residential and C-0 Office Building to CP-1  
PC 2015-07 Conditional Use Permit for Drive-Thru Window

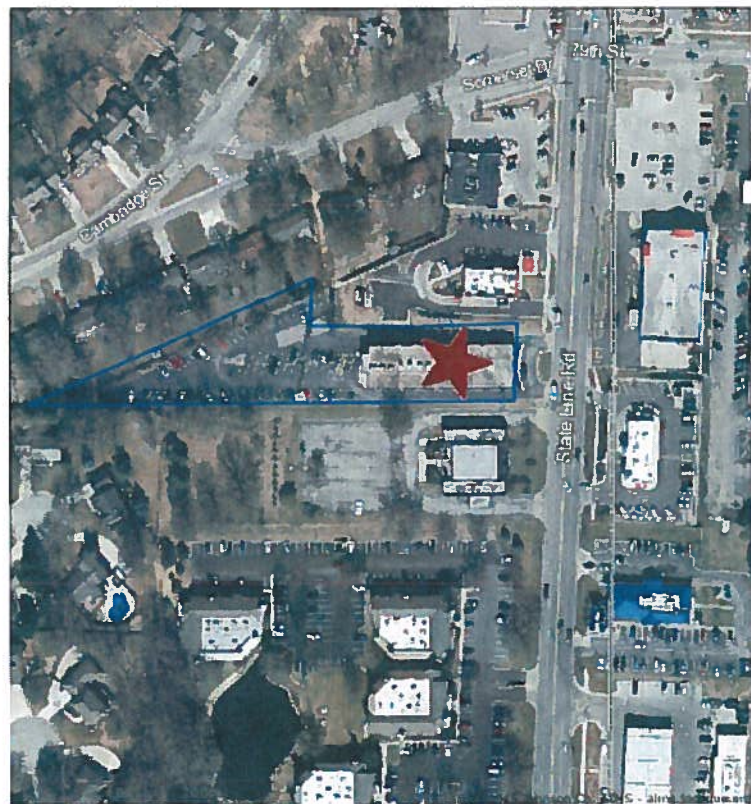
**Attachments:** Application, Site Plan Drawings, Photos

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General Location Map



Aerial Map



**COMMENTS:**

The Planning Commission at its September 1<sup>st</sup>, 2015 meeting approved applications PC 2015 - 06 Rezoning of Property from R-1B Single-Family Residential and C-0 Office Building to CP-1 and PC 2015-07 Conditional Use Permit for Drive-Thru Window. Subsequently at the September 21<sup>st</sup>, 2015 meeting of the City Council applications PC2015-06 and PC 2015-07 were approved. The property is now rezoned for CP-1, Planned Restricted Business District and has an approved Conditional Use Permit (CUP for a Drive-thru Window.

The applicant held a meeting for the neighborhood property owners on May 28, 2015 to discuss the rezoning and CUP applications.

**NEW RESTAURANT**

The proposed restaurant is 2,897 square feet with, service area of 539 feet and a patio of 548 square feet for a total of 3,984 square feet. There is an associated Conditional Use Permit for a drive-thru that has been approved for the site and its layout and orientation, as shown on the site plan, are consistent with the CUP approved. The proposed building will be located on the site that was formerly occupied by an office building and the proposed building is substantially smaller than the current use.

The Planning Commission shall give consideration to the following criteria in approving or disapproving the site plan:

- A. **The site is capable of accommodating the building, parking area, and drives for the appropriate open space and landscape.**

The building and parking lot have been configured to meet the unique shape of the site. The building is located to the eastern portion of the site, near State Line Road, with parking and the drive-thru access located to the west portion.

In response to new condition 17 added by the City Council as a condition of rezoning, the applicant has reduced the total parking spaces on-site by removing 4 spaces that were the closest to the adjacent residential properties to the north of the site. The total parking count on-site is proposed for 45 spaces reduced from the 49 spaces previously shown.

Additionally the applicant has provided an improved landscape and fencing plan based on conditions of the City Council rezoning approval. Condition 8 was amended to require a "fence height necessary to prevent headlight beams from a high profile vehicle from entering adjacent residential lots from the highest point of the property. In conjunction with this as part of the overall screening, the Planning Commission and Council required additional landscape items in condition 4.

The applicant has provided a Headlight Beam Profile with the final site plan. This profile was shot at 3 locations on the sight, including the highest location where

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headlight spread could reach residential property (Vehicle Location # 3). This proposes that no light will spill onto residential property with an 8' fence based on vehicle spread. At greater distances the light and spread dissipates to not reach the property. However, to meet the Council condition, the applicant will need to cite the source of this data (height at which the light source is measured, distance prior to light dissipating, and typical spread of the light). If this data source is a credible source and the data demonstrated aligns with this source is correct, and determination on meeting the Council condition can be made.

Regarding the landscape conditions, the revised plan does not meet the conditions set with the rezoning approval. The tree (Golden Rain Tree) shown along State Line Road is not a shade tree and a single tree along the frontage is insufficient (the condition was for 3 to 4 street trees in the frontage area with specific species recommended). Additionally, the rate of survival with Japanese Spurge in this environment is low, an alternative, similar material should be used; similarly the size of some plants should be changed to ensure survivability in this region. The concentration of the Green Giant Arborvitae is sufficient and on the higher end of the screening. This can be expected to provide a 50% screening immediately and be completely filled in within 5 years. This will add to the screening provided by the fence. The far west end of the property, adjacent to residential and office properties, will be planted with turf and the total impervious surface of the site will be greatly reduced.

**B. Utilities are available with adequate capacity to serve the proposed development.**

Utilities are currently in place serving the site and should be adequate to serve this proposed building and use. There is an overhead power line running east-west, along the south property line.

**C. The plan provides for adequate management of stormwater runoff.**

A significant reduction in the amount of impervious surface is proposed with this site plan. With the associated increase in pervious surface a Stormwater Master Plan is not required. The stormwater issues have been reviewed by Public Works and improvements above current conditions will be implemented the building permit process.

**D. The plan provides for safe and easy ingress, egress and internal traffic circulation.**

Adequate ingress and egress is proposed for the site. The design of the site allows for ample stacking space for the drive-thru so that it will not impact traffic flow on State Line. The design of the drive-thru access and parking will minimize the conflicts between pedestrians and vehicles on the site.

**E. The plan is consistent with good planning and site engineering design principles.**

---

Given the unique shape of the site, the plan appears to be well laid out. The site plan incorporates the design and other changes requested by the Planning Commission and City Council to minimize the external impacts of the site design. The site design maintains pedestrian access along State Line Road and provides good internal pedestrian circulation between the parking and restaurant.

**F. An appropriate degree of compatibility will prevail between the architectural quality of the proposed building and the surrounding neighborhood.**

The proposed use is a fast food restaurant which has the distinct architectural style of the Slim Chicken brand. The fast-food restaurants, like Panda Express, McDonald's, Wendy's and Culvers, and other strip commercial uses like CVS and LatteLand along the State Line Corridor create a different development environment from the typical Prairie Village design. By the development environment established the architecture quality proposed is compatible with the surrounding neighborhood. The proposed development plan for the site provides a good, solid separation from the neighborhood to the west and the residential development within. Similarly, the materials proposed, brick veneer, lap siding, wood and metal roofing can be found in the existing development within this section of the State Line Corridor. The building is within scale of others in the area.

*Signage*

The applicant has submitted a signage design for approval by the Planning Commission, as part of this site plan approval. The package proposes a monument sign, three wall signs, two business signs (showing entrance and exit points) and a menu board.

The monument sign is located along State Line Road within the landscape provided. The height of the Monument sign proposed is 6 feet in height, which is in excess of the 5 foot height requirement, per the signage ordinance for commercial districts.

The wall signage is proposed on the east and south facing facades of the building. Additionally, there are two wall signs proposed for the south side of the building and no signs on the north façade (no elevations for that façade were provided). The sign ordinance applicable for commercial districts, allows only one wall sign per façade. The wall signs are dimensioned, but there is no area calculation in relation to the façade (by ordinance, no more than 5% is permitted per façade.)

The business (directional) signs are located adjacent to the ingress and egress point to the site. The location of the signs has not been dimensioned on the drawings. All signs on a site are required to be at least 5 feet from any property line.

The monument sign height cannot exceed 5 feet including the base; the sign face cannot exceed 20 sq. ft. and the sign must be placed at least 12 feet back of curb on private property.

There are no specifications for the height and size of the menu board signs.

A sign package will need to be submitted that clearly demonstrates meeting the ordinance requirements, or for Planning Commission review and approval of any planned deviations from these ordinance requirements per the C-P1 zoning district.

- g. The plan represents an overall development pattern that is consistent with the comprehensive plan and other adopted planning policies.**

One of the principles of the Village Vision was to focus on redevelopment and reinvestment in the community, specifically to improve the retail sector. These issues have become a goal for the City and this project represents a step in that direction.



**RECOMMENDATION:**

It is the recommendation of the Staff that the Planning Commission approve the site plan for the New Restaurant Building subject to the following conditions:

1. That the applicant adhere to the site design recommendations found in the City Council approval of case numbers PC 2015-06 for the rezoning approval dated September 21, 2015, and PC 2015-07 for the CUP approval by Planning Commission dated September 1, 2015.
  2. That the source of the data for the Headlight Beam Profile be provided to ensure that Council condition number 8 is met, and that the applicant be under a continuing obligation to meet this condition. If actual field conditions demonstrate headlight impacts on residential property, adjustments to the fence height may be required by the City.
  3. That the applicant make the following changes to the landscape plan:
    - a. Add 3 to 4 street trees along State Line along the sidewalk and/or in islands using appropriate shade trees such as, Swamp White Oak, Silver Linden, Bald Cypress and Emerald Sunshine Elm or other varieties.
    - b. The installed height of the Downy Serviceberry should be 5' in height for survivability.
    - c. Replace the use of Japanese Surge with Liriope.
    - d. Show the location of the proposed Monument sign on the landscape plan.
  4. That the applicant submit the Planting Plan to the Tree Board for review and approval prior to installation and an irrigation system be installed to provide water for all landscape improvements.
  5. That the applicant submit a materials palette to Staff with samples of the actual products that will be used.
  6. That the applicant prepare revisions to sign standards, to reflect the changes recommended herein, for prior to issuing any sign permits.
    - a. The monument sign be designed to be no higher than 5' from the average base height.
    - b. The directional signs be placed at least five feet from the front and side property lines.
    - c. That only one wall sign be placed on the south side of the building, any north elevations shown, and wall signs limited to 5% of the façade.
    - d. Dimensions and heights of the menu board sign.Any deviations from these requirements would require review approval by the Planning Commission under the CP-1 zoning.
  7. That the applicant submit three copies of the revised plans to Staff.
-



# CITY OF PRAIRIE VILLAGE

*The Star of Kansas*

## Planning Commission Application

Please complete this form and return with Information requested to:

Assistant City Administrator  
City of Prairie Village  
7700 Mission Rd.  
Prairie Village, KS 66208

<b>For Office Use Only</b>
Case No.: <u>PC2015-04</u>
Filing Fee:
Deposit:
Date Advertised:
Date Notices Sent:
Public Hearing Date:

Applicant: Block & Company *FAC* Phone Number: 816-753-6000

Address: 605 West 47th Street, Suite 200, KCMO E-Mail \_\_\_\_\_

Owner: State Line 7930 LLC Phone Number: 816-753-6000

Address: 605 West 47th Street, Suite 200, KCMO Zip: 64112

Location of Property: 7930 State Line Road  
MEADOW LAKE PT LT 14 BLK 8 & NEL ARO LT 3 BG SE CR LT 3 NEL ARO  
Legal Description: N 100' W 273' N 63.37' TO PT NWLY/L LT 14 BLK 8 MEADOW LAKE SW  
421.97' E 651.33' TO POB PVC 7790M

Applicant requests consideration of the following: (Describe proposal/request in detail) FINAL DEVELOPMENT PLAN APPROVAL OF A DRIVE THRU RESTAURANT

SEE ATTACHED FOR DETAILED DESCRIPTION

### AGREEMENT TO PAY EXPENSES

APPLICANT intends to file an application with the PRAIRIE VILLAGE PLANNING COMMISSION or the PRAIRIE VILLAGE BOARD OF ZONING APPEALS of the CITY OF PRAIRIE VILLAGE, KANSAS (City) for FINAL DEVELOPMENT PLAN APPROVAL

As a result of the filing of said application, CITY may incur certain expenses, such as publication costs, consulting fees, attorney fees and court reporter fees.

**APPLICANT hereby agrees to be responsible for and to CITY for all cost incurred by CITY as a result of said application. Said costs shall be paid within ten (10) days of receipt of any bill submitted by CITY to APPLICANT. It is understood that no requests granted by CITY or any of its commissions will be effective until all costs have been paid. Costs will be owing whether or not APPLICANT obtains the relief requested in the application.**

*Block & Co Inc*  
  
Applicant's Signature/Date

*State Line 7930 LLC*  
  
Owner's Signature/Date

**CITY COUNCIL  
CITY OF PRAIRIE VILLAGE  
September 21, 2015**

The City Council of Prairie Village, Kansas, met in regular session on Monday, September 21, 2015 at 7:30 p.m. in the Council Chambers at the Municipal Building, 7700 Mission Road, Prairie Village, Kansas.

**ROLL CALL**

Mayor Laura Wassmer called the meeting to order and roll call was taken with the following Council members present: Ashley Weaver, Jori Nelson, Steve Noll, Eric Mikkelson, Andrew Wang, Brooke Morehead, Sheila Myers, Dan Runion, David Morrison, Ted Odell and Terrence Gallagher.

Staff present was: Tim Schwartzkopf, Chief of Police; Keith Bredehoeft, Public Works Director; Katie Logan, City Attorney; Quinn Bennion, City Administrator; Wes Jordan, Assistant City Administrator; Nolan Sunderman, Assistant to the City Administrator; Lisa Santa Maria, Finance Director and Joyce Hagen Mundy, City Clerk. Also present was Planning Consultant Chris Brewster.

Mayor Laura Wassmer led all present in the Pledge of Allegiance.

**INTRODUCTION OF STUDENTS & SCOUTS**

Two boy scouts were in attendance to earn their “Citizenship in the Community” badges.

**PUBLIC PARTICIPATION**

With no one wishing to address the Council, public participation was closed at 7:35.

Mayor Wassmer recognized JazzFest Committee members present and Chairman JD Kinney for the very successful 6<sup>th</sup> Annual Prairie Village Jazz Festival held last Saturday. She noted that one of the musicians back stage told her that this was the best run festival he had ever seen and how pleased he was with how well the musicians were treated. She acknowledged the work of the committee members, city staff and volunteers for putting together such a professionally run event featuring local and recognized jazz artists. This is a great event for Prairie Village and we thank you for all the work that goes into making it happen each year.

### **CONSENT AGENDA**

Eric Mikkelson removed item #1 and asked that the minutes of the September 8<sup>th</sup> meeting reflect the confirmation by Gary Anderson that there was no intended office use to be construction in conjunction with the TIF project, except for ancillary offices related to the proposed apartments and/or hotel.

Council President Brooke Morehead moved for the approval of the Consent Agenda for September 21, 2015 as amended:

1. Approve amended City Council Minutes - September 8, 2015
2. Approve claims ordinance #2933
3. Approve 2016 Mission Hills Agreement for Police and Court Services
4. Approve Construction Change Order #1 (Final) with Metro Asphalt, Inc. for Project P5001: 2015 Street Repair Program in the amount of \$4,330.28 bringing the final contract amount to \$154,330.28

A roll call vote was taken with the following members voting “aye”: Weaver, Nelson, Noll, Mikkelson, Wang, Myers, Morehead, Runion, Morrison, Odell and Gallagher.

### **COMMITTEE REPORTS**

## **JazzFest Committee**

Brooke Morehead added her thanks to the JazzFest Committee for their work in putting together a very successful 2015 Jazz Festival and noted there would be a wrap-up meeting to review the event and financial results.

## **Mayor's Report**

Mayor Wassmer reported she has had a very busy two weeks attending the Shawnee Mission Educational Foundation Breakfast, meetings on the Meadowbrook Project, meetings with representatives of First Washington on improvements proposed for the shopping centers, attending the 6<sup>th</sup> Annual Prairie Village Jazz Festival, attending a regional Mayors' meeting on economic growth in Kansas City, attending a planning meeting for a proposed overlay district, the Citizens Police Academy, Constitution Day activities at Belinder Elementary, a tour of the Deffenbaugh facility, participating in the Brush with Kindness event and hosting the Northeast Johnson County Mayors at WireCo Corporate Headquarters at 2400 West 75<sup>th</sup> Street.

## **STAFF REPORTS**

### **Public Safety**

- Chief Schwartzkopf reported on the second "Coffee with a Cop"
- Saturday, September 26<sup>th</sup> the Department will be participating in the "Drug Take Back" program collecting prescription drugs at a drop-off outside of the police station.

### **Public Works**

- Keith Bredehoeft provided updates on Roe Avenue Project and the 75<sup>th</sup> Street Projects
- Mr. Bredehoeft responded to questions on the water main break at Somerset & Mission Road on Sunday. He noted that the Water District is planning improvements to its water lines on Mission Road in 2016. The process will be similar to that followed this past year on 75<sup>th</sup> Street

- Letters were mailed last week to residents impacted by Emerald Ash Bore additional information is available on the city's website.

### **Administration**

- Wes Jordan reported on the "Brush with Kindness" projects in Prairie Village. A second and third project will be done on Wednesday, September 23<sup>rd</sup> and Saturday, September 26<sup>th</sup>. He will send additional information to the Council and a presentation will be made later this fall on the work done.
- Mr. Jordan provided additional information on the employee appreciation event to be held this Friday at Royals Stadium.
- Lisa Santa Maria noted that this is the final quarter of the fiscal year and encouraged Council members to submit any requests for reimbursement.
- Quinn Bennion noted the upcoming Public Meeting/Open House held by Johnson County Park & Recreation District to gather input on the development of the park land at Meadowbrook. The meeting will be Tuesday, September 29<sup>th</sup> from 3:30 to 7:30 p.m.
- There will be a special council meeting on Monday, October 12<sup>th</sup> from 5:30 to 6:00 at Meadowbrook followed by a joint workshop.
- Mr. Bennion stated he will be out of the office next week attending the International City Managers Conference. The point of contact in his absence will be Assistant City Administrator Wes Jordan.

### **OLD BUSINESS**

#### **PC2015-06 Consider Request for Rezoning 7930 State Line Road from R-1b and C-0 to CP-1 and Approval of Preliminary Development Plan**

City Planning Consultant Chris Brewster noted this application was first heard by the Planning Commission on June 2, 2015, and then again on July 7, 2015. The Planning Commission recommended approval of the rezoning and preliminary site plan subject to 15 conditions. Additionally the Planning Commission approved a Conditional Use Permit for a drive through based on the site plan, subject to 3 conditions - one it being contingent upon approval of the Zoning and Preliminary Site Plan by the Governing Body. The Governing Body considered the application at its August 3 meeting and failed to approve the application. A motion was approved to send the application back to the Planning Commission to look at specific issues associated with

the drive through and relationship with abutting residential property. A revised site plan based on this motion was created by the applicant.

The primary issues from the City Council were the drive-through and noise. A new site plan was developed to further address these issues. While the new plan addresses these issues, other issues are created. The applicant is willing to move forward with either plan. A revised landscape plan has been created using more plants and trees suggested at the Council meeting. The revised landscape plan will be implemented with either site plan recommended by the Planning Commission. An engineering firm was hired to conduct a noise analysis of the proposed drive through speakers and the existing noise levels. The dumpster has been moved further from the residential properties to minimize noise.

Specifically the Planning Commission discussed the following with respect to the issues identified:

- Drainage - since the proposed application is reducing impervious surface and further increasing landscape elements, an improvement over current conditions is possible.
- Traffic - while the proposed use could increase traffic for the site, the traffic study found that the current capacity of State Line road can handle the proposed uses traffic patterns and site configuration.
- Lighting - the final development plan will be required to meet all outdoor lighting standards which require design standards to ensure no light spill over onto adjacent residential property.
- Smell and Noise - the operation, performance standards and site design are arranged in a manner to best mitigate any potential impacts of noise and smell.

The revised site plan includes additional landscape materials, and a revised circulation plan that does not circulate parking and drive-through traffic as far back (west) on the site. Instead, two stacking lanes turn into the drive-through closer to the building on the central part of the lot. The speaker boxes for the drive through remain in the same location as the original application and are oriented to the south west - towards the office property to

the south. While additional landscape materials and reduced potential for all traffic circulating to the back portion of the lot could reduce perceived noise impacts on abutting residential property, the revised plan also presents a potential circulation issue. There is only one drive lane to the majority of the site parking on the north side of the lot, and if more than 12 cars begin to stack at the drive-through area, there is the potential for customers trying to access parking to stack in that line along the east side of the applicants property. This option was originally proposed by the applicant prior to the initial application, but due to potential stacking issues staff requested the circulation option shown on the original application.

After significant discussion by the Planning Commission, the Commission voted to return its original recommendation to the City Council. The primary reasons for not selecting the revised plan were pedestrian safety concerns for patrons walking from the parking lot to the restaurant and potential stacking of vehicles interfering with traffic flow created by the new plan proposed. Based on the findings of the noise study they amended condition #15 and added condition #16 stipulating the enhanced landscaped plan prepared be implemented.

Mr. Brewster at this point the Planning Commission's recommendation can be approved, denied or amended by a simple majority vote of the Governing Body based on the Golden Factors.

Dan Runion asked what happens if traffic does back up onto State Line Road. Mr. Brewster replied there is room for the stacking of 12 vehicles before it impacts traffic flow on the property and an additional 10 vehicles before it would impact State Line Road. This will not be a problem.



Terrence Gallagher stated he appreciated the enhanced landscape and but raised concern with odor emissions with the trash dumpster located adjacent to neighboring properties. Mr. Brewster replied a condition of approval from the Planning Commission was that the dumpster be moved from next to the residences to the south side of the property farthest away from the residential properties.

Eric Mikkelson questioned the effectiveness of the eight foot fence due to the elevation of this property in comparison with the adjacent properties and if 49 parking spaces were necessary. Mr. Brewster responded the 8 foot fence will provide adequate screening particularly with the enhanced landscaping. He noted the determination of parking counts is an inexact science. The issues was not addressed by the Commission as the applicant submitted plans with the number of parking spaces required by code. However, he added that under the requested Planned Zoning designation, the City has the ability to approve few parking spaces. He feels the requested number of spaces is appropriate for the size of this building and operation.

Mitch Dicarolo, with Block and Company, introduced Jeff Bartz with BHC Rhodes, Danny Potts with Klover Architecture and Mo Yaganeh, President & Operating Partner with KC Slim LLC.

Jeff Bartz presented a comparison of the original plan approved by the Planning Commission and the revised plan created based on the requests of the City Council. The goal of new plan is to minimize noise. They have done so with additional landscaping using recommended trees and adding landscaping around the sound boards and moving dumpster further away from residents. Only parking will be located in the deepest part of the lot by the residential properties.

A study was completed by Henderson Engineers, Inc. on August 19<sup>th</sup> and 20<sup>th</sup>. Noise levels were measured on the proposed site and the existing Slim Chickens restaurants in Independence, Missouri and Overland Park, Kansas at noon. The results indicate the intercom noise is primarily inaudible except at times of no traffic, though locust, wind noise and other typical outdoor ambient noises will be approximately equivalent or louder than the intercom system. Based on testing, the estimated level from the drive through speaker at the northwest property line on the proposed site is 42.2 decibels with the existing ambient noise level of 51.5 decibels. Noise from the two locations tested revealed noise levels at 10 and 15 feet from the speakers to be less than existing traffic noise from the street.

Eric Mikkelson stated he was bothered by the plan having the required number of parking spaces when there is the flexibility to have fewer spaces. Mr. Bartz replied they would be willing to reduce the parking by one or two spaces. Mr. Yaganeh stated the majority of the patrons park and come in to eat with only approximately 30% using the drive-through facilities. Adequate parking spaces are important to their patrons.

Mr. Mikkelson asked about the potential for a higher fence. Mr. Bartz replied there are greater structural concerns with a fence in excess of 8 feet, the proposed 8 foot fence would match that installed by Panda Express and the proposed landscaping will create a solid wall buffer. Mr. Mikkelson asked if there would be a solid wall year-round. Mr. Bartz replied the proposed trees are evergreen that have been planted as close to one another as possible allowing for future growth.

Jori Nelson stated her biggest concern is parking adjacent to residential properties and the impact of car headlights as well as noise. Mr. Bartz noted the majority of the parking is on the south side of the site minimizing the noise to the

neighboring residents on the north. Ms Nelson stated she visited the Panda Express site to confirm the noise level of their drive-through speakers and found it to be minimal.

Mr. Bartz replied the findings of the noise study, without the benefit of the proposed buffering landscaping, indicate that noise will not be a serious issue for adjacent residential properties.

Ted Odell stated the City needs to be careful when considering lowering parking requirements. He likes the additional landscaping and feels the 8-foot fence is appropriate. Brooke Morehead agreed that the revised landscape plan is a significant improvement over what currently exists. Sheila Myers asked what was at the front of the building. Mr. Bartz replied an outside seating area with a canopy.

Ted Odell moved the Governing Body adopt Ordinance 2333 approving the rezoning of 7930 State Line Road from R-1b and C-0 to CP-1 (Restricted Business District) and the revised Preliminary Development Plan subject to 16 conditions recommended by the Planning Commission. The motion was seconded by Andrew Wang.

Mayor Wassmer opened the meeting to comments from residents in attendance.

Carly Bailey, 2021 Somerset Drive, stated the opposition to this project by the neighbors on Somerset has not diminished. Concerns remain regarding security, noise pollution, light pollution, traffic, water runoff and employees hanging around late in the evening. She noted that Panda Express was the only similarly zoned property with a drive-through in Prairie Village, pointing out the others are all located in Kansas City, Missouri. She and her mother were “adamantly opposed to Slim Chickens” coming to the neighborhood. She pointed to the problems associated with the presence of Panda

Express on the neighboring parcel and said she worried that another restaurant with a drive through window would only exacerbate noise, odors and light pollution.

Ms Bailey pointed out that KCP&L routinely trims the trees on this property to protect their power line and that the trees on the Panda Express property do not provide screening. As a neighboring resident Panda Express has been a resounding failure. Ms. Bailey citing court zoning related rulings, urged the City Council to deny this application and protect the property values of the surrounding property owners.

Audrey Martin, 2119 Somerset Drive, stated that no one wants a massive solid wall in their back yard and that no more trees are needed. She noted the pavement is necessary for access for maintenance of the power lines.

Harlan Burkhead, 7909 Sagamore, noted that the construction of a ten foot wall would block headlights, but it would also block sunlight from coming into their backyards and negatively impacting the growth of plants. Mr. Burkhead stated the traffic study presented by the applicant was not done independently nor recently. The study used 2011 data from Kansas City, Missouri and is not signed by a certified engineer. Over the years he has lived at this location, he has seen traffic volume increase significantly and feels that this additional business will result in traffic accidents.

David Woolridge, 2115 Somerset, stated he can hear the speakers from Panda Express on his property. The proposed evergreens will provide minimal sound buffering and the power company will cut the trees back preventing them from reaching the height to be effective for screening. Mr. Woolridge stated the sound study conducted was not descriptive or comparative. He noted that you can't measure sound from something that has not been constructed. This is a seven day a week operation with the greatest noise coming during the evening hours which were not measured. He asked the City Council

to not allow this most intrusive commercial development to be constructed behind their homes.

Jori Nelson asked if the City verified the traffic study. Keith Bredehoeft replied the study was reviewed by city staff and the city's traffic consultant. Based on their findings a full traffic study was not requested. Mitch DiCarlo stated that the Police Department's research found no accidents at this location in the past three years.

Mitch DiCarlo of Block stated that the company had been responsive to the concerns of both the Planning Commission and the council doing everything we could come up with or conceive of...to address all of the concerns that were raised. He noted that traffic created by this project is not in addition to existing traffic, it is replacing the traffic generated by the previous office use.

Jori Nelson asked if the business was successful how much vehicular traffic would be generated during a day. Mo Yaganeh responded that most of their traffic would be between the hours of 11 - 1:30 and 4 to 8 p.m. with very little traffic after 8 p.m. It was difficult to estimate traffic at this point stating it could be 400 to 500 vehicles per day. He encouraged the City Council members to go on Facebook and read the reviews on the recent Slim Chickens operation that opened in Overland Park. This is not a "chicken shack", but a well designed operation that will bring revenue and jobs to Prairie Village. There is no comparison for the proposed \$2.5M operation in Prairie Village.

David Morrison commended Mr. DiCarlo on their presentation and proposed business; however, he noted that they are requested the rezoning of this property from a residential use to a retail/commercial use. He would like to see the office building use continue. He does not see an overwhelming reason to change the zoning for the benefit of this developer over the objection of the neighboring residential property

owners who will be negatively impacted. He feels it is time for the City Council to stand behind its residents and say no to the proposed rezoning.

Eric Mikkelson stated he agreed with most of Mr. Morrison's comments including the comments regarding the outstanding presentation provided by the applicant. However, he is concerned that it will be a number of years before the proposed landscaping will become a solid wall protecting the residents from vehicle lights shining on their property. Mr. Mikkelson moved to amend the motion with the following two conditions: that the eight foot fence be increased to 10 feet in height and that four to six parking spaces located closest to neighboring residential properties be removed. The amendment was seconded by Dan Runion.

Ted Odell questioned the changing elevation between the properties and its impact on the screening of headlights. Mr. Bartz replied there is a three foot difference in elevation. Mr. Gallagher noted the proposed landscaping is far greater than that required by other cities and will create an effective buffer. He does not support a ten foot wall across the back of these residential properties. Mr. Odell noted the stated difficulties in constructing and maintaining a ten foot wall. Mr. Mikkelson stated the additional two feet would ensure that the headlights would be screened. Brooke Morehead suggested the construction of a berm.

Sheila Myers stated she appreciated what the applicant has done, but this site does not support the use they are proposing. They are trying to retrofit a business on a site that cannot accommodate it.

Andrew Wang questioned the City Council's tinkering with the architecturally designed site approved by a Planning Commission with experience and expertise. He stated this is not a residential site. It is a highly travelled major corridor of commercial

businesses. If office use was the optimal use for this property, the office building would have been successful.

Jori Nelson expressed concern with the number of vehicles that would be coming onto to property over the course of a year based on the estimate given.

Ted Odell stated he would be more comfortable with the proposed amendment if it were to simply reduce the number of parking spaces and prevent headlights from shining onto adjacent properties rather than stating a specific number of parking spaces to be removed and requiring a 10 foot fence.

Dan Runion asked what the adjacent business properties along State Line Road in Prairie Village were zoned. Chris Brewster stated they were zoned CP-1, the same zoning being requested.

Terrence Gallagher noted that the issue is the headlights shining upon adjacent property and suggested that it be addressed not by a required ten foot fence but through a sight-line study that would determine the minimum height required to prevent that from occurring.

Eric Mikkelson amended his proposed amendment to require the fence be construction at a height determined by a sight analysis to prevent any overflow of headlight lights onto neighboring property and that the six parking spaces closest to the adjacent residential properties be removed.

Chris Brewster noted the applicant stated he could removed one or two and that the city needs to make sure that sufficient parking is available. He feels the number of spaces should be determined by the applicant and noted this could also be addressed through the use of compact spaces. Jeff Bartz noted they could designate those parking spaces nearest to residential properties as employee parking limiting the impact. Mr.

Mikkelson stated he has a difficult time having parking spaces that are not needed. Mr. Bartz noted the parking spaces are a minimum of 15 feet from the residential property lines. Mr. Mikkelson responded he'd like to see them a minimum 20 feet back. Mr. Bartz noted code only requires a five foot setback.

Caroline Bailey, 2021 Somerset, noted that Somerset is angled to State Line and they already look onto the site and parking.

Mayor Wassmer suggested removing two from the top and two from the bottom. She also likes designating them as employee parking.

Terrence Gallagher suggested moving the parking on the north side to the south side and move the trash enclosure farther away from residents. Mr. Bartz stated those changes could be made in the final development plan that will go back to the Planning Commission.

Eric Mikkelson moved the following amendment to the motion on the floor - that condition #8 be amended to read: the fence height shall be set at the height necessary to prevent headlights from high profile vehicles from entering adjacent residential lots from the highest point of the property and condition #17 be added to read: that the applicant shall remove four (4) parking spaces closest to the residential properties or relocate them so they are no closer to the residential properties than the closest spot after they are removed. The amendment was seconded by Dan Runion and passed by a vote of 9 to 3.

The motion as amended that the Governing Body adopt Ordinance 2333 approving the rezoning of 7930 State Line Road from R-1b and C-0 to CP-1 (Restricted Business District) and the revised Preliminary Development Plan subject to 17 conditions recommended by the Planning Commission and Governing Body was voted on by roll



call vote with the following votes cast: “aye” Weaver, Nelson, Noll, Mikkelson, Wang, Morehead, Runion, Morrison, Odell, Gallagher, Wassmer and “nay” Hopkins (in absence) and Myers.

**NEW BUSINESS**

Councilman David Morrison reported that he had just returned from a National League of Cities Conference and encouraged other council members to participate in these valuable educational experiences.

**Committee meetings scheduled for the next two weeks:**

Environment/Recycle Committee	09/23/2015	5:30 p.m.
Council Committee of the Whole	10/05/2015	6:00 p.m.
City Council	10/05/2015	7:30 p.m.

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The Prairie Village Arts Council is pleased to present a photo exhibit by the Dolyna Photo Club in the R. G. Endres Gallery during the month of September.

The Annual Prairie Village Peanut Butter Week in support of Harvesters Food Bank will be held October 5 - 9, 2015. Support the drive through donations at City Hall, or at your local church or school.

The Annual League of Kansas Municipalities will be held October 10 - 12, 2015 in Topeka.

Save the Date - the Northeast Johnson County Chamber of Commerce Annual Gala will be held on Saturday, November 21<sup>st</sup>.

**ADJOURNMENT**

With no further business to come before the City Council the meeting was adjourned at 9:45 p.m.

Joyce Hagen Mundy  
City Clerk

## ORDINANCE 2333

AN ORDINANCE REZONING PROPERTY LOCATED AT 7930 STATE LINE ROAD, PRAIRIE VILLAGE, KANSAS FROM R-1b (SINGLE FAMILY RESIDENTIAL DISTRICT) and C-0 (OFFICE BUSINESS DISTRICT) TO CP-1 (PLANNED RESTRICTED BUSINESS DISTRICT) AND DIRECTING THE AMENDMENT OF THE OFFICIAL ZONING MAP OF THE CITY OF PRAIRIE VILLAGE, KANSAS; AND REINCORPORATING SAID ZONING MAP BY REFERENCE.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF PRAIRIE VILLAGE, KANSAS:

### Section I. Planning Commission Recommendation.

That having received a recommendation from the Planning Commission; having found favorably on the findings of fact, proper notice having been given and hearing held as provided by law and under the authority of and subject to the provisions of the Zoning Regulations of the City of Prairie Village, Kansas, the zoning classification or districts of the lands hereinafter legally described are changed from R-1b (Single Family Residential District) and C-0 (Office Building District) to CP-1 (Planned Restricted Business District) and a Preliminary Development Plan is adopted as set forth in Sections II and III.

### Section II. Rezoning of Property.

That the real estate located at 7930 State Line Road, Prairie Village, Kansas, and hereinafter described, to Wit: PART OF LOT 3, NEL-ARO, AND PART OF LOT 14, BLOCK 8, MEADOW LAKE, BOTH BEING SUBDIVISIONS IN THE CITY OF PRAIRIE VILLAGE, JOHNSON COUNTY, KANSAS, DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID LOT 3 WITH THE WEST LINE OF STATE LINE ROAD, AS NOW ESTABLISHED; THENCE NORTH 2°50' EAST, ALONG THE WEST LINE OF STATE LINE ROAD, A DISTANCE OF 100.00 FEET TO THE SOUTHEAST CORNER OF LOT 15, IN SAID BLOCK 8; THENCE WEST, ALONG THE SOUTH LINE OF SAID LOT 15 A DISTANCE OF 150.00 FEET, TO THE SOUTHWEST CORNER THEREOF; THEN NORTH 17°10' WEST, ALONG A LINE WHICH MAKES A SOUTHWEST ANGLE OF 90 DEGREES WITH THE EASTERLY LINE OF SAID LOT 14, A DISTANCE OF 123.00 FEET; THENCE NORTH 2 DEGREES 50' EAST, A DISTANCE OF 63.37 FEET, TO A POINT ON THE NORTHWESTERN LINE OF SAID LOT 14, THENCE SOUTH 66 DEGREES 21' 16" WEST, ALONG THE NORTHWESTERLY LINE OF SAID LOT 14, A DISTANCE OF 421.97 FEET, TO THE SOUTHWEST CORNER THEREOF; THENCE EAST, ALONG THE SOUTH LINE OF SAID LOTS 14, AND 3 A DISTANCE OF 651.33 TO THE POINT OF THE BEGINNING and commonly referred to as

7930 State Line Road Street, Prairie Village, Kansas

is hereby rezoned in its entirety from R-1b Planned Single Family Residential District and C-0 Office Building District to CP-1 Planned Restricted Business District.

### Section III. Preliminary Development Plan.

That a Preliminary Development Plan as presented to the Planning Commission on July 7, 2015 and revised September 1, 2015 is hereby approved subject to the following conditions:

1. That prior to obtaining a permit for construction the applicant shall submit a Final Development Plan for review and approval by the Planning Commission.
2. That an exterior lighting plan be included with the submission of the Final Development Plan and be designed in accordance with the outdoor lighting regulations of the zoning ordinance.
3. That any HVAC units are installed externally, either on the roof or on the ground, be screened from adjacent properties and State Line Road.
4. That the applicant submit the landscape plan to the Tree Board for review and approval prior to submitting the Final Development Plan to the Planning Commission for approval. That the landscape plan, as approved, shall be installed as a part of the development construction. Additionally that the proposed landscape plan be amended as follows:
  - a. Replace Red Maple trees with White Oak, Swamp White Oak, Kentucky Coffeetree, Autumn Gold Ginkgo or other hardy varieties of large landscape trees.
  - b. Continue the massing of the Green Giant Arborvitae and connect the western grouping of evergreens to the northwestern grouping as a replacement for the two shrubs and one tree.
  - c. Add 3 to 4 street trees along State Line along the sidewalk and/or in islands using appropriate shade trees such as, Swamp White Oak, Silver Linden, Bald Cypress and Emerald Sunshine Elm or other varieties.
5. That the sidewalk adjacent to State Line Road be five feet in width aligned to connect to the existing sidewalk on the commercial property to the north.
6. That the applicant submit a sign package which includes the monument sign, menu board, wall signs and directional signs for review and approval by the Planning Commission.
7. That the approval of the Preliminary Development Plan is subject to approval of the Conditional Use Permit for the drive-through window and if the Conditional Use Permit is not approved, the applicant shall revise the site plan and resubmit it for approval by the Planning Commission.
8. That the applicant submit detail for a fence that will be used to screen adjacent residences with the fence height at the height necessary to prevent headlight beams from a high profile vehicle from entering adjacent residential lots from the highest point of the property for review and approval by Staff.
9. That the applicant plat the property prior to obtaining a building permit.
10. That the landscape area along the north and south property lines be approved for 5 feet which is reduced from the standard 8-foot requirement.

11. That the applicant work with the Public Works Department for approval of the stormwater drainage.
12. That the applicant install filters in the venting system to control odors from cooking and provide information on the filters during the building permitting process.
13. That the business operator or manager work with staff to reduce noise during operation hours, as well as, during clean-up time after the business closes.
14. That the hours of operation are 10:30 a.m. to 10:00 p.m.
15. That the drive through speaker systems be maintained at decibel levels that are not audible above evening ambient noise levels from any residential property abutting the site.
16. That the landscape plan associated with the revised site plan (or a comparable plan in terms of species, location and quantity) be required.
17. That the applicant shall remove four parking spaces closest to the residential properties or relocate them so they are no closer to residential properties than the closest spot after they are removed.

**Section IV. Reincorporation By Reference of Prairie Village, Kansas, Zoning District Map as Amended.**

That the Official Zoning District Map of the City is hereby amended in accordance with Section II, of this ordinance and is hereby reincorporated by reference and declared to be the Official Zoning District Map of the City as provided for and adopted pursuant to the provisions of Section 19.04.010 of Title 19 Zoning of the Prairie Village Zoning Regulations.

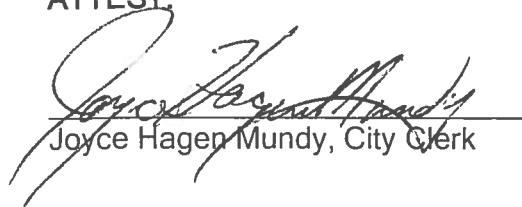
**Section V. Take Effect.**

That this ordinance shall take effect and be in force from and after its publication in the official City newspaper as provided by law.

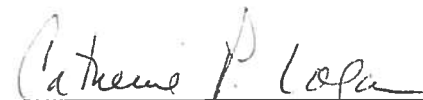
PASSED AND APPROVED THIS 21st DAY OF SEPTEMBER, 2015.

  
\_\_\_\_\_  
Mayor Laura Wassmer

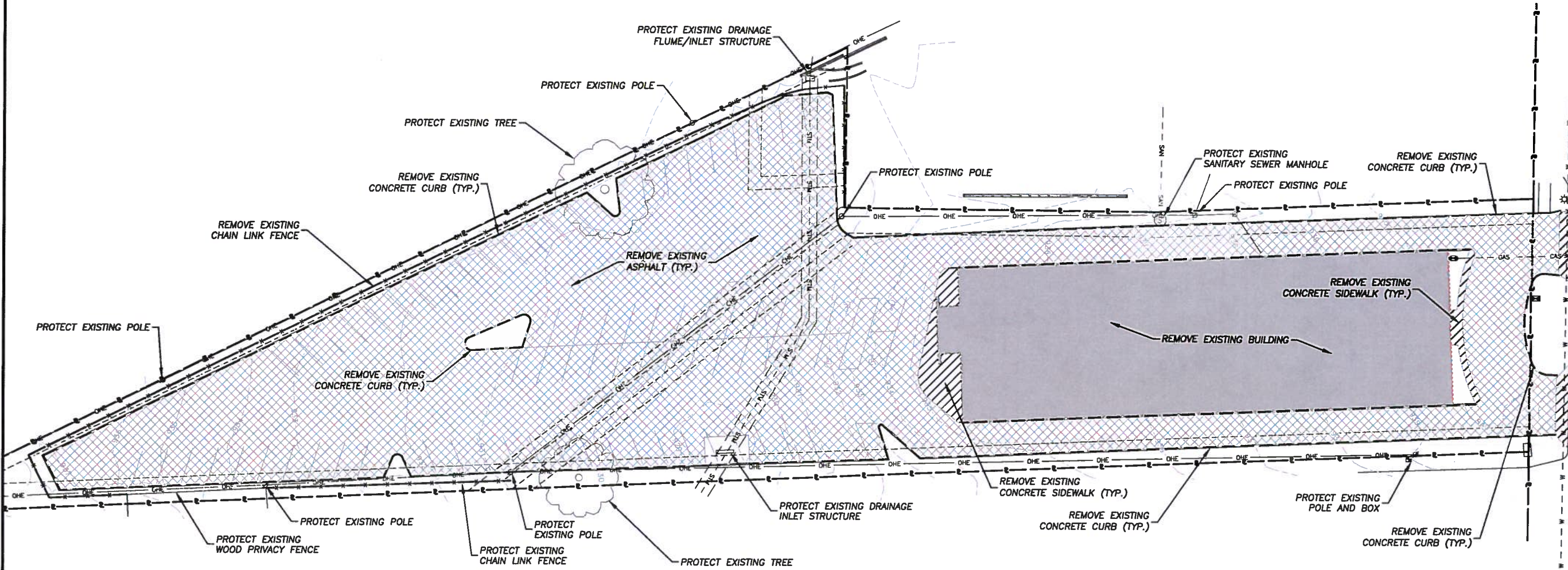
ATTEST:

  
\_\_\_\_\_  
Joyce Hagen Mundy, City Clerk

APPROVED AS TO FORM

  
\_\_\_\_\_  
Catherine P. Logan, City Attorney






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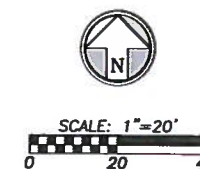
### GENERAL NOTES

- ALL MATERIALS SHALL BE REMOVED AND NOT DISPOSED OF ON-SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET ALL APPLICABLE LAWS AND REGULATIONS PERTAINING TO THE DISPOSAL OF CONSTRUCTION/DEMOLITION MATERIAL.
- ALL PROTECTION FENCING SHALL BE INSTALLED PRIOR TO DEMOLITION/CONSTRUCTION ACTIVITY.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY.
- EXISTING STORM & STRUCTURES SHALL BE PROTECTED FROM ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY.

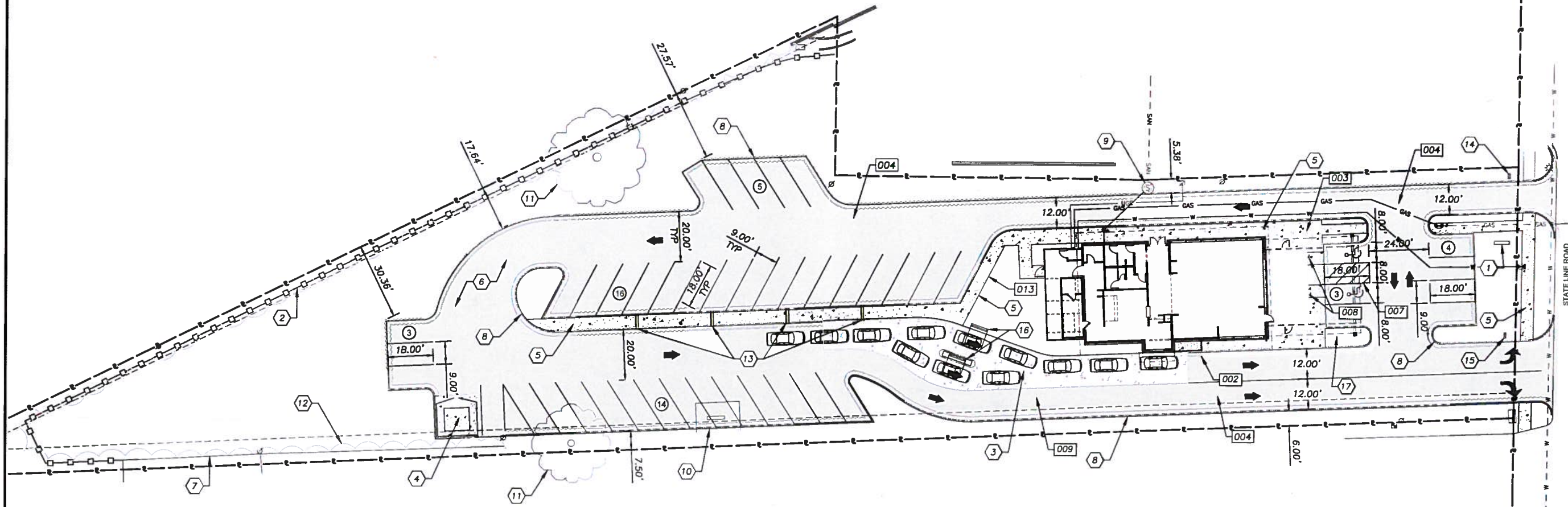
### DEMOLITION LEGEND

-  REMOVE ASPHALT PAVEMENT
-  REMOVE CONCRETE PAVEMENT
-  REMOVE BUILDING
-  REMOVE CONCRETE CURB
-  REMOVE CHAIN LINK FENCE

<b>BHC RHODES</b> Civil Engineering, Surveying & Utilities 7101 College Blvd., Suite 400 Overland Park, Kansas 66210 P: (913) 663-1900 F: (913) 663-1633 <small>BHC-RHODES is a member of Hensel Phelps &amp; Company, P.A.</small> <small>Certificate of Authority Number:</small>	
Prepared For: <b>BLOCK AND COMPANY, INC.</b> 605 WEST 47TH STREET SUITE 200 KANSAS CITY, MO 64112 P: (816) 763-6000	Description Date Rev.
<b>7930 STATE LINE ROAD          FINAL DEVELOPMENT PLANS          PRAIRIE VILLAGE, KANSAS          DEMOLITION PLAN</b>	
Design: JWB Drawn: JWB Checked: RAE Issue Date: 06/19/2015 Project Number: 021220	1 of 10 <span style="font-size: 2em; font-weight: bold;">D1</span>



Sep 23, 2015 - 12:46pm Method: By: jef/rae 1:\21220\DWG\Eng\Sheet\021220-9115-SITE-PLAN.dwg Layout: Layout1



**CONSTRUCTION NOTES**

- 01 MONUMENT SIGN. REFER TO ARCHITECTURAL
- 02 8' TALL WOOD PRIVACY FENCE
- 03 CONCRETE PAVEMENT
- 04 DUMPSTER ENCLOSURE
- 05 CONCRETE SIDEWALK
- 06 ASPHALT PAVEMENT
- 07 PROTECT EXISTING WOOD PRIVACY FENCE
- 08 CONCRETE CURB AND GUTTER
- 09 PROTECT EXISTING SEWER MANHOLE
- 10 PROTECT EXISTING STORM DRAIN
- 11 PROTECT EXISTING TREE
- 12 PROTECT EXISTING TREE LINE
- 13 TRENCH DRAIN WITH GRATE
- 14 ENTRANCE DIRECTIONAL SIGN
- 15 EXIT DIRECTIONAL SIGN
- 16 MENU BOARD
- 17 ROOF CANOPY

**DETAILS**

SEE CONSTRUCTION DETAILS - SHEETS C5.0-6.0

- 002 TYPE "B" CONCRETE CURB & GUTTER
- 002 TYPE "B" DRY CONCRETE CURB & GUTTER
- 004 ASPHALT PAVEMENT
- 009 CONCRETE PAVEMENT
- 013 CONCRETE SIDEWALK SECTION
- 017 SIDEWALK RAMP
- 018 (ADA) HANDICAP PARKING STRIPING
- 019 (ADA) HANDICAP PARKING SIGNAGE

**PROJECT ADDRESS**

7930 STATE LINE ROAD  
 PRAIRIE VILLAGE, KS 66208

**SITE DATA**

SITE AREA: 1.37 ACRES/59,663 SQ FT  
 IMPERVIOUS AREA: EXISTING: 50,027 SQ FT (83.8%)  
 PROPOSED: 36,404 SQ FT (61.0%)

**BUILDING**

EXISTING BUILDING: 11,962 SF  
 PROPOSED BUILDING: 2,897 SF BUILDING  
 + 539 SF SERVICE  
 + 548 SF PATIO  
 = 3,984 SF TOTAL

**PARKING STALLS**

TOTAL PARKING STALLS: 45 STALLS\*  
 \*REDUCTION PER CITY COUNCIL REZONING CONDITION

**REQUIRED PARKING:**

49 STALLS  
 1/2.5 SEATS 94 INDOOR SEATS/2.5 = 37.6 STALLS  
 28 OUTDOOR SEATS/2.5 = 11.2 STALLS  
 = 48.8 STALLS

**REQUIRED HANDICAPPED STALLS:**

2 (1 VAN)  
 (26-50 STALLS REQUIRES 2 HC STALLS PER ADA)

**HANDICAP STALLS PROVIDED:**

2 (2 VAN)

**LEGAL DESCRIPTION**

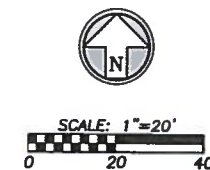
PART OF LOT 3, NEL-ARO, AND PART OF LOT 14, BLOCK 8, MEADOW LAKE, BOTH BEING SUBDIVISIONS IN THE CITY OF PRAIRIE VILLAGE, JOHNSON COUNTY, KANSAS, DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID LOT 3 WITH THE WEST LINE OF STATE LINE ROAD, AS NOW ESTABLISHED; THENCE NORTH 2° 50' EAST, ALONG THE WEST LINE OF STATE LINE ROAD, A DISTANCE OF 100.00 FEET TO THE SOUTHEAST CORNER OF LOT 15, IN SAID BLOCK 8; THENCE WEST, ALONG THE SOUTH LINE OF SAID LOT 15, A DISTANCE OF 150.00 FEET, TO THE SOUTHWEST CORNER THEREOF; THENCE NORTH 87° 10' WEST, ALONG A LINE WHICH MAKES A SOUTHWEST ANGLE OF 90 DEGREES WITH THE EASTERLY LINE OF SAID LOT 14, A DISTANCE OF 123.00 FEET; THENCE NORTH 2° 50' EAST, A DISTANCE OF 63.37 FEET, TO A POINT ON THE NORTHWESTERN LINE OF SAID LOT 14, THENCE SOUTH 65° 21' 16" WEST, ALONG THE NORTHWESTERLY LINE OF SAID LOT 14, A DISTANCE OF 421.97 FEET, TO THE SOUTHWEST CORNER THEREOF; THENCE EAST, ALONG THE SOUTH LINE OF SAID LOTS 14, AND 3 A DISTANCE OF 651.33 TO THE POINT OF BEGINNING.

**GENERAL NOTES**

1. All work in public easement and Right-of-Way shall be installed per the requirements and specifications of the City of Prairie Village, Kansas.
2. All existing topographic, survey, and utility information shown was provided to BHC Rhodes in the form of a Topographic Survey prepared by Viking Surveys and dated October 3, 2014. BHC Rhodes makes no guaranties as to the accuracy of the existing information shown hereon. Contractors shall satisfy themselves as to the existing conditions of the site and have all utilities located prior to commencing construction.
3. The Contractor shall be required to obtain all Federal, State, and Local permits required for this project prior to commencing construction.
4. Any work adjacent to or crossing existing streets requires proper traffic control devices. Traffic control devices shall be placed in accordance with the Manual of Uniform Traffic Control Devices (MUTCD).
5. The contractor shall be required to demolish, remove and dispose of all existing structures, pavements, and features necessary to construct the improvements shown hereon. Any waste materials generated during construction shall be removed from the site by the Contractor and disposed of in accordance with all local, State, and Federal regulations governing such disposal.
6. The contractor shall prevent any trash, debris, or liquid wastes from being disposed of in sanitary sewers, storm sewers, or open drainage systems.
7. The Contractor shall be solely responsible to protect adjacent property, structures, and other improvements from damage during construction. In the event of damage to adjacent property, structures, or improvements, the contractor shall repair or replace such damage to the Owners's satisfaction at the Contractor's expense.
8. Contractors at the site shall be solely responsible for jobsite safety for all aspects of work shown hereon.
9. All work and materials used in the construction of the improvements shown hereon shall comply with all referenced standards, specifications, and plan notes.
10. All buildings are shown as a reference only. All buildings shall be located and constructed per the Architectural drawings prepared by others.
11. Contractor shall be responsible for contacting all utility companies for field locations of underground utilities affected by the contract. All existing utilities indicated on these plans are according to the best information available to the engineer; however, all utilities actually existing may not be shown. Utilities damaged through the negligence of the contractor to obtain the location of same shall be repaired or replaced at the expense of the contractor.
12. Any and all hazards shall be properly identified and barricaded from access during all non-construction periods.

**LEGEND**

- # PARKING STALL COUNT
- [Pattern] MEDIUM DUTY PCCP PAVEMENT
- [Pattern] LIGHT DUTY ASPHALT PAVEMENT
- [Pattern] CONCRETE SIDEWALK
- [Pattern] CONCRETE CURB & GUTTER
- [Pattern] CONCRETE DRY CURB & GUTTER
- [Pattern] PROPERTY LINE
- [Pattern] 6' WOOD PRIVACY FENCE



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 7101 College Blvd., Suite 400  
 Overland Park, Kansas 66210  
 P: (913) 663-1900 F: (913) 663-1633  
 BHC is an Equal Opportunity Employer & Company, Inc.

Prepared For:  
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 605 WEST 47TH STREET  
 SUITE 200  
 KANSAS CITY, MO 64112  
 P: (816) 753-6000

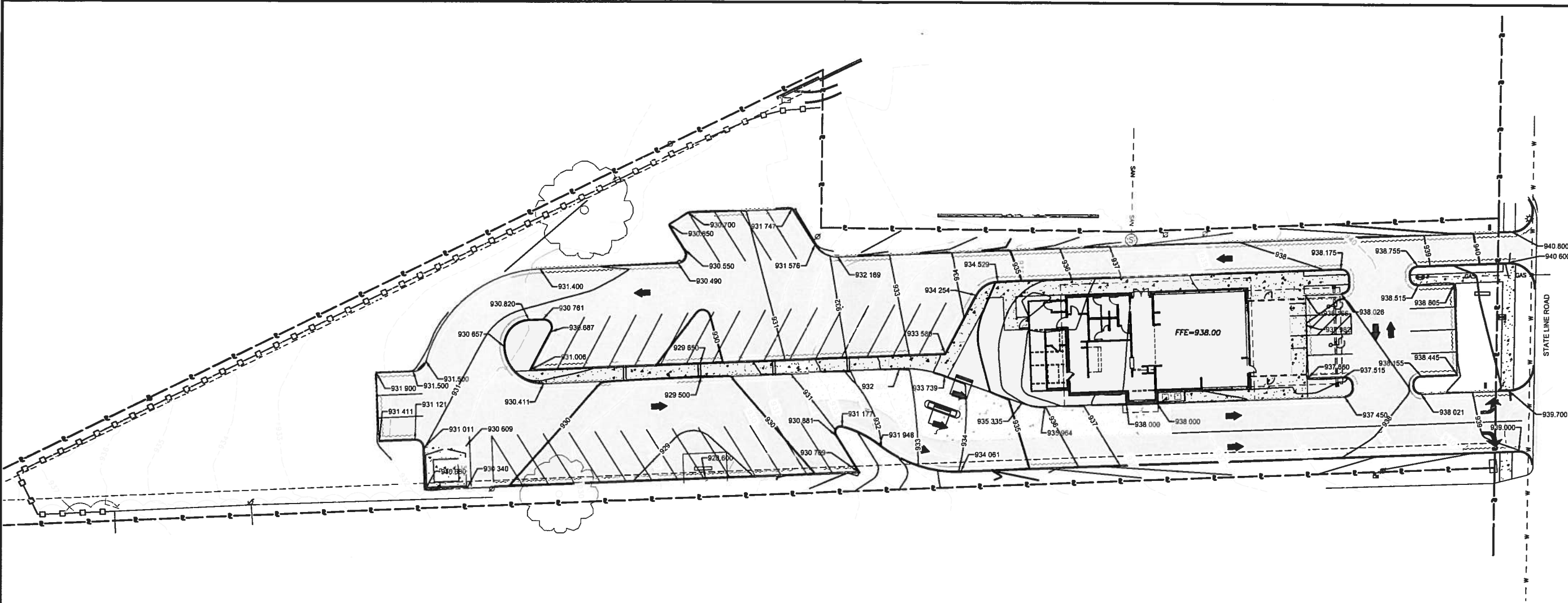
**7930 STATE LINE ROAD  
 FINAL DEVELOPMENT PLANS  
 PRAIRIE VILLAGE, KANSAS  
 SITE PLAN**

Design: JWB Drawn: JWB  
 Checked: RAE  
 Issue Date: 09/25/15  
 Project Number: 021220

2 of 10  
**C1**

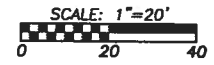
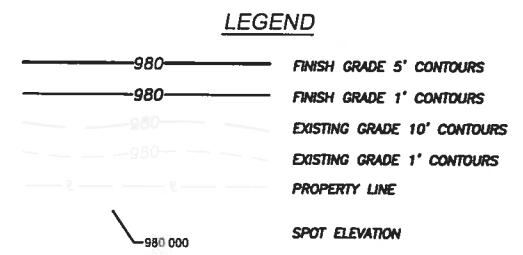
Rev.	Date	Description	By	App.

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**GRADING NOTES**

1. Contractor shall operate under the terms and permits included in the Stormwater Pollution Prevention Plan (SWPPP) prepared for this project and permitted through the State of Kansas. Contractor shall employ a qualified person to conduct regular inspections of the site erosion control measures and document such inspections in the SWPPP document maintained by the Contractor.
2. All topsoil, vegetation, root structures, and deleterious materials shall be stripped from the ground surface prior to the placement of embankments. Contractor shall obtain the On-site geotechnical representative's acceptance of the existing ground surface materials and the proposed fill material prior to the placement of fill.
3. All proposed contour lines and spot elevations shown are finish ground elevations. Contractor shall account for pavement depths, building pads, topsoil, etc when grading the site.
4. All disturbed areas that are not to be paved (green spaces) shall be finish graded with a minimum of six inches of topsoil.
5. All excavation and embankments shall comply with the recommendations provided by the Geotechnical Engineer.
6. Prior to placing any concrete or asphalt pavement the contractor shall perform a proof roll of the pavement sub-grade with a fully loaded tandem axle dump truck. The proof roll shall be conducted in the presence of the Engineer and the On-Site Geotechnical Representative. Areas that display rutting or pumping that are unsatisfactory to the Engineer shall be re-worked and a follow-up proof roll shall be conducted prior to acceptance of the sub-grade for paving. The contractor may, at its own expense, stabilize the sub-grade using Class C fly ash or quicklime.
7. Finished grades shall not be steeper than 3:1.
8. All grading work shall be considered unclassified. No additional payments shall be made for rock excavation. Contractor shall satisfy himself as to any rock excavation required to accomplish the improvements shown hereon.
9. A 1/4" per foot maximum cross slope shall be maintained on all pedestrian sidewalks and paths.
10. Spot elevations are labeled to pavement surface unless otherwise noted.



Rev.	Date	Description	By	App.

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Prepared For:  
**BLOCK AND COMPANY, INC.**  
 605 WEST 47TH STREET  
 SUITE 200  
 KANSAS CITY, MO 64112  
 P: (816) 753-6000

**7930 STATE LINE ROAD  
 FINAL DEVELOPMENT PLANS  
 PRAIRIE VILLAGE, KANSAS**  
**GRADING PLAN**

Design: JWB | Drawn: JWB  
 Checked: RAE  
 Issue Date: 09/25/15  
 Project Number: 021220

3 of 10  
**C2**



1-800-DIG-SAFE  
(1-800-344-7233)



Know what's below.  
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### UTILITIES

**DIRECTV**  
Phone (866) 810-7892

**Johnson County Wastewater**  
11811 Sunset Dr. Ste.2500  
Olathe Kansas 66061  
Phone (913) 715-8590

**Kansas City  
Power & Light**  
Phone (816) 471-5257

**Kansas Gas Service**  
P.O. Box 3535  
Topeka, Kansas 66601-3535  
Phone (800) 794-4780

**Time Warner Cable**  
8221 W. 119th Street  
Overland Park, Kansas  
66213-1209  
Phone (816) 358-8833

**WaterOne**  
10747 Renner Blvd.  
Lenexa, Kansas 66219  
Phone (913) 895-1800

NOTE:  
WATER MAIN & SERVICE LINES SHALL  
BE INSTALLED AT 48" MINIMUM DEPTH  
AND 60" MAXIMUM DEPTH UNLESS  
OBSTRUCTIONS REQUIRE DEEPER  
INSTALLATION FOR CLEARANCE

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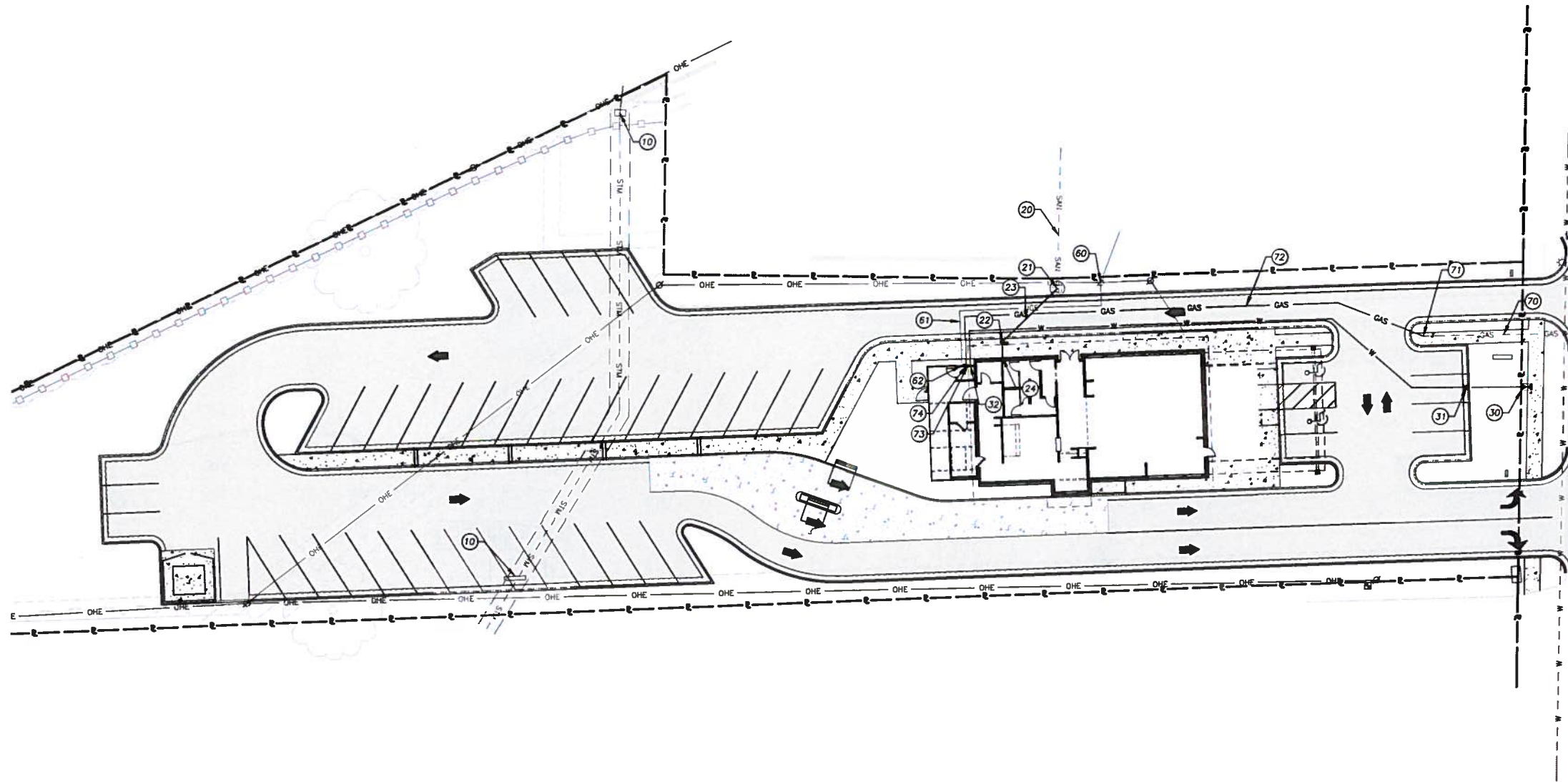
**7930 STATE LINE ROAD  
FINAL DEVELOPMENT PLANS  
PRAIRIE VILLAGE, KANSAS**

### UTILITY PLAN

Design: JWB | Drawn: JWB  
Checked: RAE  
Issue Date: 09/25/15  
Project Number: 021220

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# C3



### LEGEND

- OHE — EXISTING OVERHEAD POWER LINE
- - - GAS - - - EXISTING GAS LINE
- - - SAN - - - EXISTING SANITARY SEWER
- - - STM - - - EXISTING STORM SEWER
- - - W - - - EXISTING WATER LINE
- SS — PROPOSED SANITARY SEWER
- — — PROPOSED STORM SEWER
- W — PROPOSED WATER LINE
- GAS — PROPOSED GAS LINE

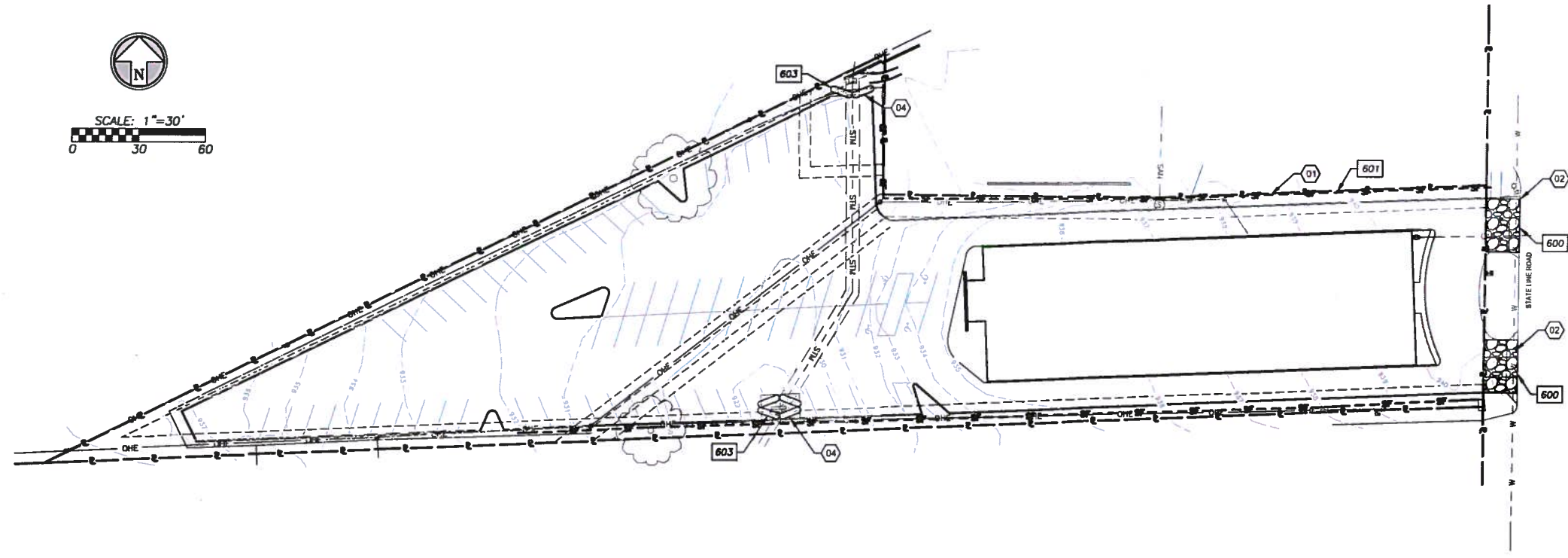
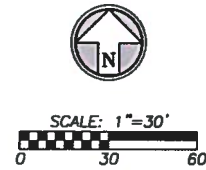


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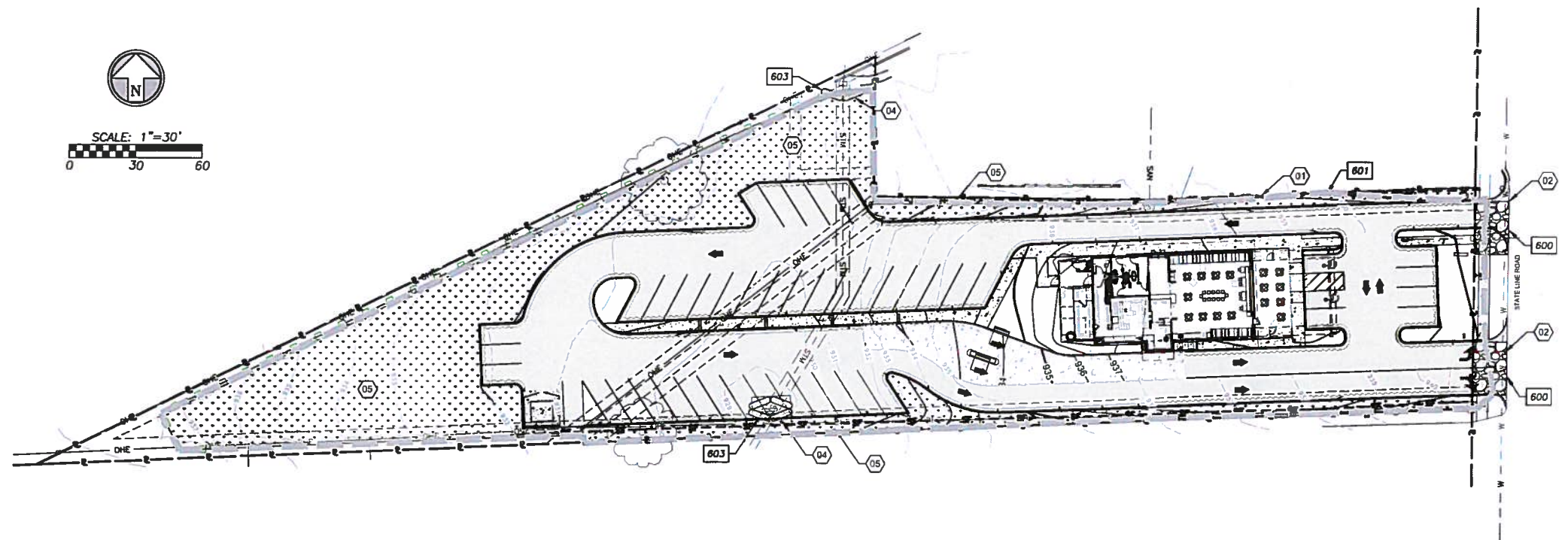
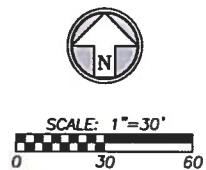
### NOTES

- 10 EXISTING CURB INLET & PUBLIC STORM SEWER
- 20 EXISTING 8" SANITARY SEWER MAIN
- 21 CONNECT TO EXISTING SANITARY SEWER MANHOLE
- 22 INSTALL 4" PVC CLEANOUT
- 23 INSTALL 30 LF 4" PVC SDR-35 SCH. 40 SANITARY SEWER SERVICE
- 24 CONNECT SANITARY SEWER SERVICE TO BUILDING. REFER TO PLUMBING PLAN.
- 30 CONNECT TO EXISTING WATER METER BY UTILITY CO.
- 31 INSTALL 195 LF 2" TYPE K COPPER DOMESTIC WATER SERVICE
- 32 CONNECT DOMESTIC WATER SERVICE TO BLDG; REFER TO PLUMBING PLAN.
- 60 CONNECT TO EXISTING POWER POLE
- 61 INSTALL 70 LF 6" PVC UNDERGROUND PRIMARY CONDUIT COORDINATE WITH UTILITY CO.
- 62 INSTALL SECONDARY CONDUIT AND CONNECT TO BUILDING PER UTILITY CO. STANDARDS; REF ELECTRICAL PLAN.
- 70 EXISTING GAS MAIN
- 71 CONNECT TO EXISTING GAS METER; TAP BY UTILITY COMPANY
- 72 INSTALL 165 LF GAS SERVICE LINE; COORDINATE WITH UTILITY CO.
- 73 GAS METER, BY UTILITY COMPANY
- 74 CONNECT GAS SERVICE TO BUILDING; REF. PLUMBING PLAN





**PRE CLEARING PLAN**



**POST CONSTRUCTION PLAN**

**DETAILS**

• SEE EROSION CONTROL DETAIL SHEET FOR THE FOLLOWING

- 600 TEMPORARY CONSTRUCTION ENTRANCE
- 601 FILTER FABRIC SILT FENCE
- 603 ROCK BAG DROP INLET BARRIER
- 613 CONCRETE WASH-OUT

EROSION/SEDIMENT CONTROL STAGING CHART				
Project Stage	BMP Plan Ref. No.	BMP Description	Remove after stage:	Notes:
A - Place BMP's Prior to Land Disturbance.	01	Perimeter Silt Fence	B	Place as shown on plan.
	02	Construction Entrance & Staging Area	B	Place as shown on plan.
	03	Concrete Wash-out	B	Place as shown on plan.
	04	Storm Inlet Protection	B	Place as shown on plan.
B - Final Grading, Paving & Landscaping	05	Final Seeding, Sod and Landscaping	N/A	Silt fencing & inlet protect may be removed once seed & sodded areas are established on 80% of site.

**LEGEND**

- 934 PROPOSED CONTOUR
- 934 EXISTING CONTOUR
- SEDIMENT FENCE
- DISTURBED AREA (1.3 AC)
- INLET FILTER BAGS
- CONSTRUCTION ENTRANCE
- FINAL SEEDING (SOD &/OR LANDSCAPING)

**EROSION AND SEDIMENT CONTROL GENERAL NOTES**

- (Updated 02/01/2010)
- Prior to Land Disturbance activities, the contractor shall:
    - Delineate the outer limits of any natural stream corridor designated with construction fencing.
    - Construct a stabilized entrance/parking/delivery area.
    - Install perimeter controls and request the inspection of the pre-construction erosion and sediment control measures designated on the approved erosion and sediment control plan. Land disturbance work shall not proceed until there is a satisfactory inspection.
    - Identify the limits of construction on the ground with easily recognizable indications such as construction staking, construction fencing, and placement of physical barriers or other means acceptable to the City inspector and in conformance with the erosion and sediment control plan.
  - The contractor shall comply with all requirements of the Kansas Water Pollution Control and NPDES Stormwater Runoff from Construction Sites General Permit, KC-APWA Specifications Section 2150, including but not limited to:
    - The contractor shall seed, mulch, or otherwise stabilize any disturbed area where the land disturbance activity has ceased for more than 14 days.
    - The contractor shall perform inspections of erosion and sediment control measures at the following minimum intervals:
      - o During active construction phases - at least once per week
      - o During periods of inactivity - at least once per month
      - o After each rainfall event of 1/8 inch or more - within 24 hours of the rain event
    - The contractor shall maintain an inspection log including the inspector's name, date of inspection, observations as to the effectiveness of the erosion and sediment control measures, actions necessary to correct deficiencies, when the deficiencies were corrected, and the signature of the person performing the inspection. The inspection log shall be available for review by the regulatory authority.
    - The contractor shall have the erosion and sediment control plan routinely updated to show all changes and amendments to the plan. A copy of the erosion and sediment control plan shall be kept on site and made available for review by the regulatory authority.
  - Unless otherwise noted in the plans, all seeding must conform to Division II-Construction and Materials Specification-Section 2150 published by the Kansas City Metropolitan Chapter of the American Public Works Association dated May 21, 2008. Permanent seeding shall be installed after completion of final grading except when seeding will occur outside of the acceptable seeding season as specified in Section 2150. When temporary seeding is installed, permanent seeding shall be installed at the next seeding season. Temporary seeding shall not be used as a stabilization measure for a period exceeding 12 months. The Permit will not be closed until permanent seeding has been established to a minimum of 70% density over the entire disturbed area.
  - The contractor shall maintain installed erosion and sediment control devices in a manner that preserves their effectiveness for preventing sediment from leaving the site or entering a sensitive area such as a natural stream corridor, areas of the site intended to be left undisturbed, a storm sewer, or an on-site drainage channel.
  - The contractor is responsible for providing erosion and sediment control for the duration of a project. If the City determines that the BMPs in place do not provide adequate erosion and sediment control at any time during the project, the contractor shall install additional or alternate measures that provide effective control.
  - Concrete wash or rinse water from concrete mixing equipment, tools and/or ready-mix trucks, tools, etc. may not be discharged into or be allowed to run directly into any existing water body or storm inlet. One or more locations for concrete wash out will be designated on site, such that discharges during concrete washout will be contained in a small area where waste concrete can solidify in place.
  - Chemicals or materials capable of causing pollution may only be stored onsite in their original container. Materials stored outside must be in closed and sealed water-proof containers and located outside of drainage ways or areas subject to flooding. Locks and other means to prevent or reduce vandalism shall be used. Spills will be reported as required by law and immediate actions taken to contain them.
  - Silt fences and erosion control BMPs which are shown along the back of curb must be installed within two weeks of curb backfill and prior to placement of base asphalt. Exact locations of these erosion control methods may be field adjusted to minimize conflicts with utility construction; however, anticipated disturbance by utility construction shall not delay installation.
  - Interior Silt Fence shall be installed as necessary during construction. Portions may be limited as vegetation is established and hardscape is installed. Entire length may be installed at the contractor's option to aid in stabilizing slopes.
  - Private Erosion & Sediment Control inspections are required in accordance with NPDES schedule and requirements. After inspections, provide the City of Prairie Village with reports and documentation.

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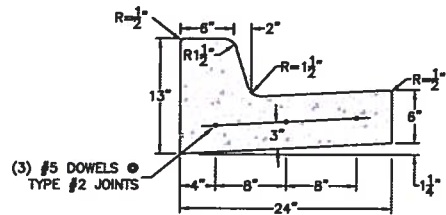
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**7930 STATE LINE ROAD  
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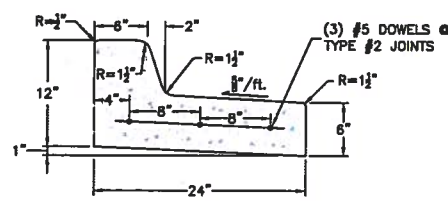
**EROSION CONTROL PLAN**

Design: JWB Drawn: JWB  
 Checked: RAE  
 Issue Date: 09/25/15  
 Project Number: 021220

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C4



TYPE "B" CURB



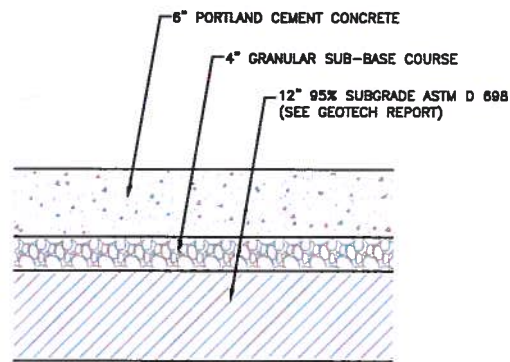
TYPE "B" (Dry) CURB

NOTES:

1. ALL CONCRETE SHALL CONFORM TO KDOT GRADE 4.0 (AE).
2. ALL JOINTS WITH EXISTING CURB SHALL BE TYPE #2 JOINTS.
3. A TYPE #2 JOINT SHALL BE PLACED AT ALL CURB RETURNS.
4. A TYPE #1 JOINT SHALL BE PLACED AT 15' OC.
5. AB-3 MAY BE USED AS A LEVELING COURSE TO BRING SUBGRADE TO PROPER ELEVATION (6" max.).
6. DURING DRY CURB TRANSITIONS, WATER SHALL FLOW FROM THE GUTTER TO THE LIP @ 0.5% min. SLOPE.

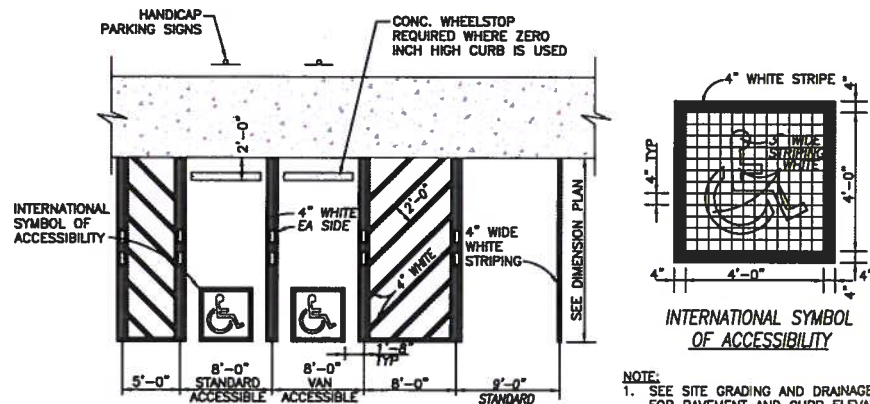
002 Concrete Curb & Gutter

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009 Concrete Section

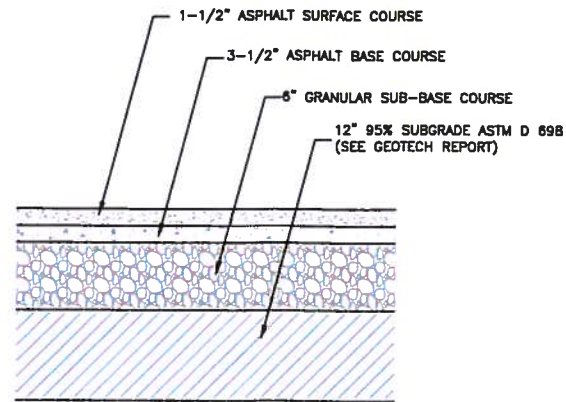
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NOTE:  
1. SEE SITE GRADING AND DRAINAGE PLAN FOR PAVEMENT AND CURB ELEVATIONS, AND ASSOCIATED ALLOWABLE SLOPES FOR ACCESSIBLE PARKING

018 (ADA) Handicap Parking Striping

Not to Scale

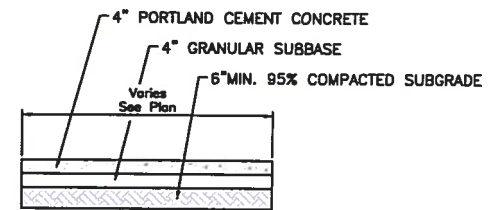


004 Asphalt Section

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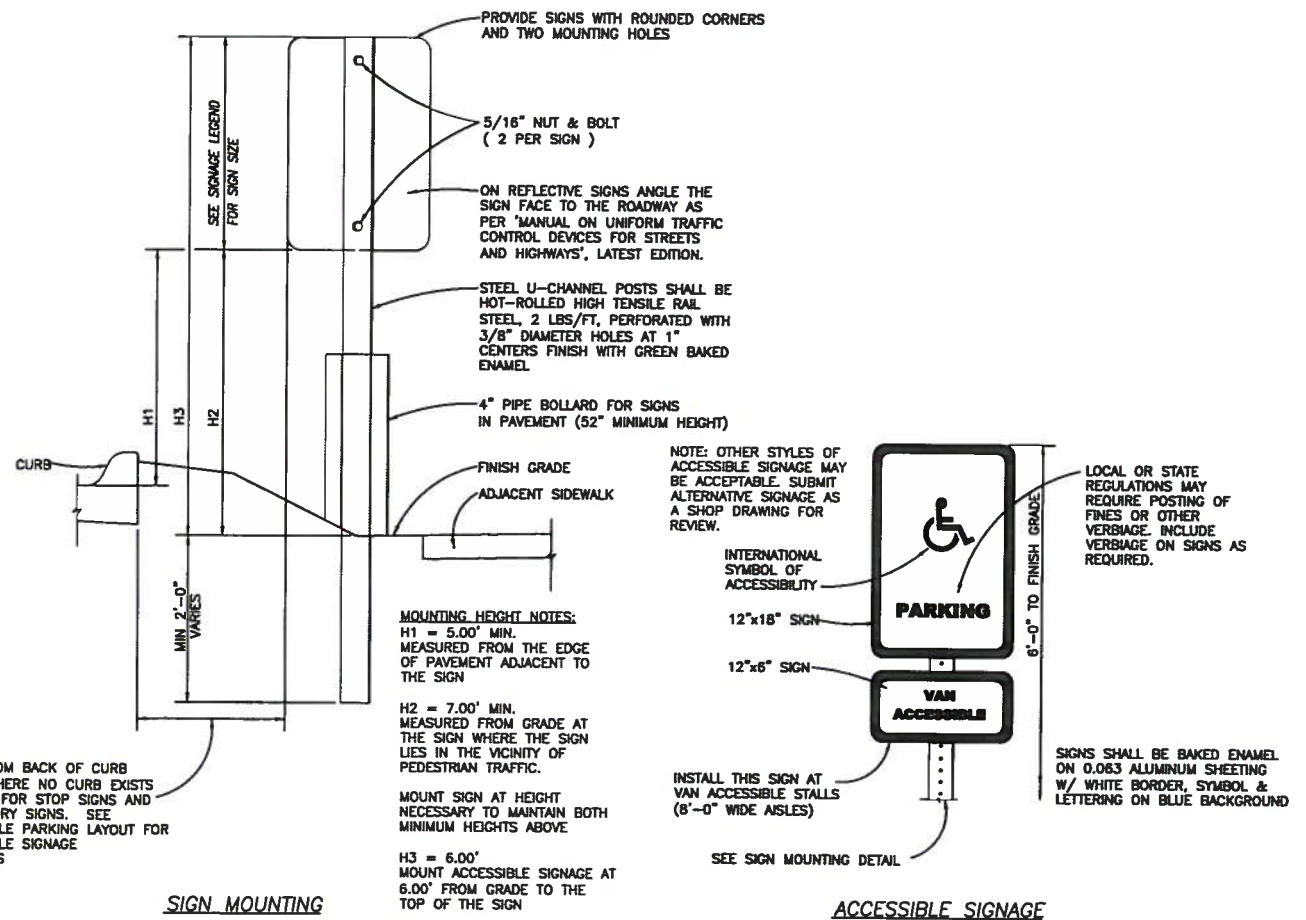
NOTES:

1. CONTROL JOINT SPACING SHALL MATCH WIDTH OF SIDEWALK.
2. REFER TO LANDSCAPING PLANS FOR SCORING PATTERNS.
3. ISOLATION JOINTS SHALL BE PLACED @ 250' CENTERS OR WHERE WALKS ABUT CURBS, BUILDINGS, ETC....
4. ALL EXTERIOR CONCRETE SHALL HAVE A BROOM FINISH.



013 Concrete Sidewalk Section

Not to Scale



SIGN MOUNTING

ACCESSIBLE SIGNAGE

019 (ADA) Handicap Parking Signage

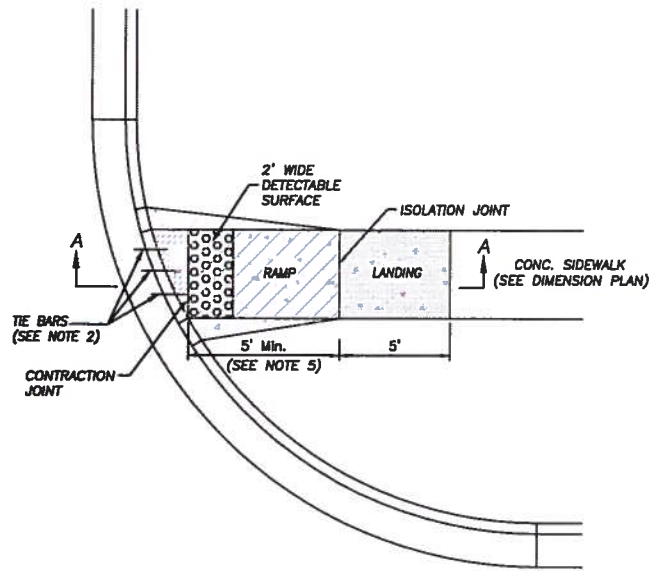
Not to Scale

**BHC RHODES**  
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P: (913) 663-1900 F: (913) 663-1633  
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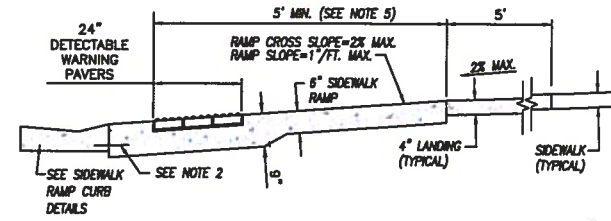
Prepared For:  
BLOCK AND COMPANY, INC.  
605 WEST 47TH STREET  
SUITE 200  
KANSAS CITY, MO 64112  
P: (816) 753-6000

7930 STATE LINE ROAD  
FINAL DEVELOPMENT PLANS  
PRAIRIE VILLAGE, KANSAS  
CONSTRUCTION DETAILS

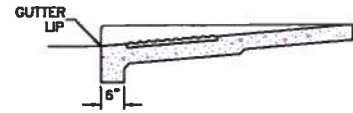
Design: JWB Drawn: JWB  
Checked: RAE  
Issue Date: 09/25/15  
Project Number: 021220



- NOTES:**
- SIDEWALK RAMP LOCATION DETERMINED FROM THE INTERSECTION OF THE EXTENSION OF BACK OF SIDEWALK AND BACK OF CURB & GUTTER.
  - TIE BARS #4 EPOXY COATED @ 12" O.C.
  - LONGITUDINAL JOINT SPACING TO MATCH WIDTH OF SIDEWALK.
  - ISOLATION JOINTS SHALL BE PLACED WHERE WALK ABUTS DRIVEWAYS AND SIMILAR STRUCTURES, AND 250' CENTERS MAX.
  - SIDEWALK RAMP SHALL BE LENGTHENED TO PROVIDE ADA COMPLIANCE SLOPE BUT NEED NOT EXCEED 15'.
  - ADA RAMP SLOPE MAX. = 1"/FT. ADA CROSS SLOPE MAX. = 2%.
  - SEE DETECTABLE WARNING DETAIL FOR THE INSTALLATION REQUIREMENTS.



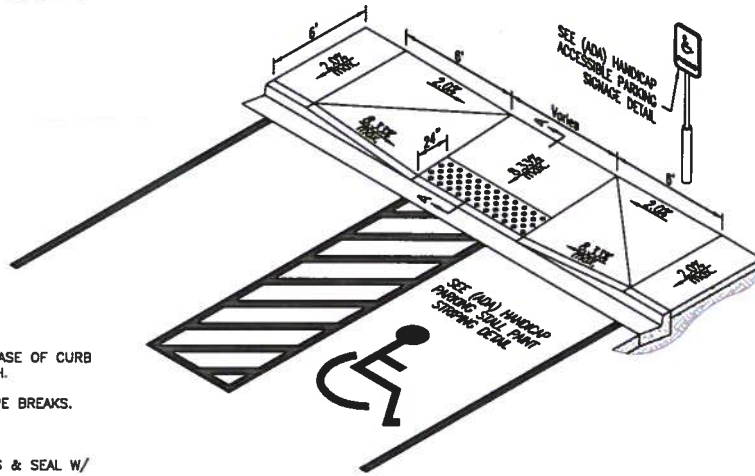
SECTION A-A



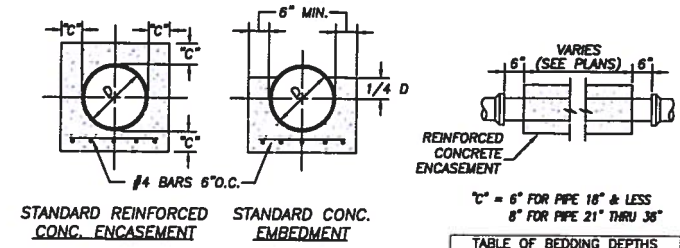
SECTION A-A  
MONOLITHIC CURB & SIDEWALK

**GENERAL NOTES:**

- PLACE TRUNCATED DOME DETECTABLE WARNING PANELS @ BASE OF CURB RAMP. INSTALL ACROSS FULL WIDTH OF RAMP 24" MIN. DEPTH.
- TOOLED JOINTS ARE REQUIRED AT ALL SIDEWALK RAMP SLOPE BREAKS.
- THICKEN CONCRETE UNDER DETECTABLE WARNING PANEL.
- IN FREEZE THAW ZONES, LEAVE 1/8" GAP IN BETWEEN PANELS & SEAL W/ SIKAFLEX 1A SEALANT OR APPROVED EQUAL.

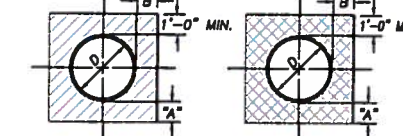


017 Sidewalk Ramp  
Not to Scale



STANDARD REINFORCED CONC. ENCASEMENT  
STANDARD CONC. EMBEDMENT

TYPE	P	LOAD FACTOR
REINFORCED	0.40%	3.5
REINFORCED PLAN	1.00%	4.8
		2.8



CLASS "B" BEDDING (FLEXIBLE OR SEMI-FLEXIBLE PIPE)  
CLASS "B" BEDDING (RIGID PIPE)

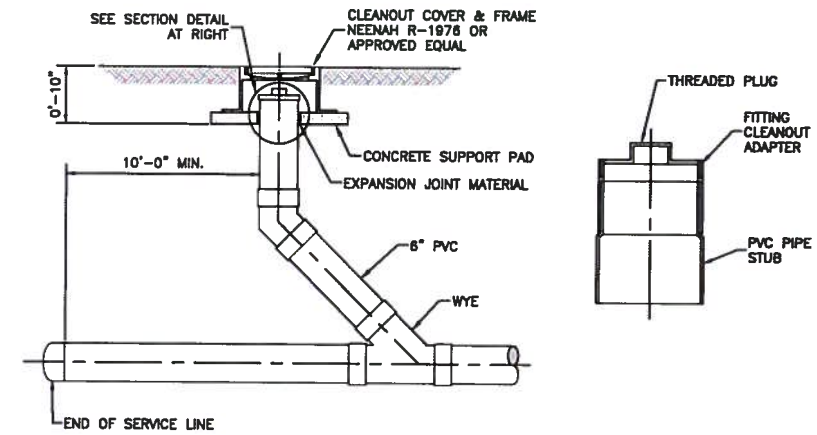
TABLE OF BEDDING DEPTHS & SIDE CLEARANCES

D	ROCK		SOIL	
	A	B	A	B
4"-18"	6"	6"	4"	6"
21"-24"	9"	9"	4"	7"
27"-30"	9"	9"	4"	8"

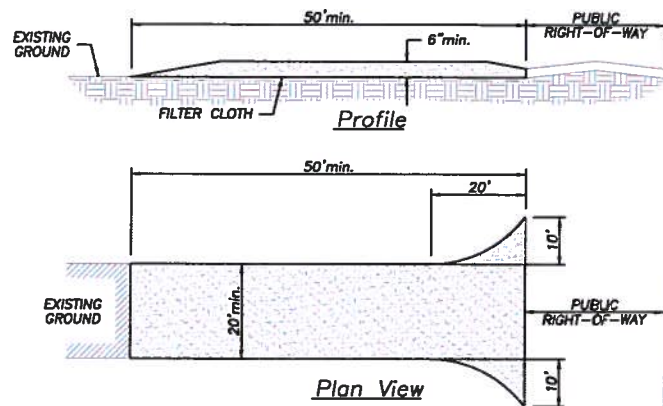
REINFORCED CONCRETE ENCASEMENT  
 "C" = 6" FOR PIPE 18" & LESS  
 8" FOR PIPE 21" THRU 36"  
 D NOMINAL PIPE SIZE  
 A FILL BELOW PIPE (SEE TABLE)  
 B SIDE CLEARANCES (SEE TABLE)  
 P AREA TRANSVERSE STEEL EXPRESSED AS A % OF AREA OF CONCRETE AT CROWN

HAND PLACED & HAND TAMPED BACKFILL  
 GRANULAR FILL  
 CONCRETE

205 Standard Embedments  
Not to Scale



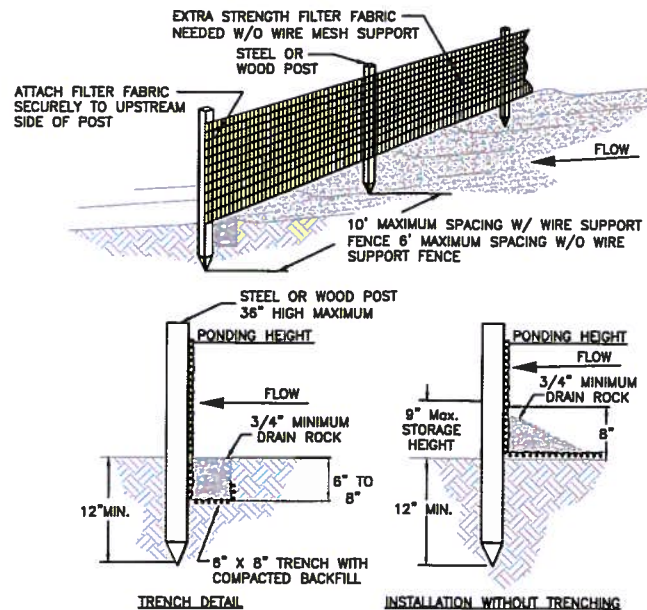
201 Cleanout  
Not to Scale



**CONSTRUCTION SPECIFICATIONS:**

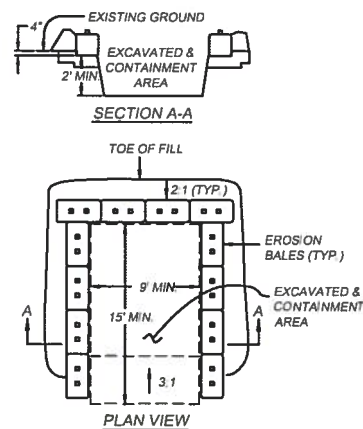
1. STONE SIZE - USE (2) INCH STONE, OR RECLAIMED OR RECYCLED EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN (50) FEET.
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWENTY (20) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 3:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AS NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**600 Temporary Construction Entrance**  
Not to Scale

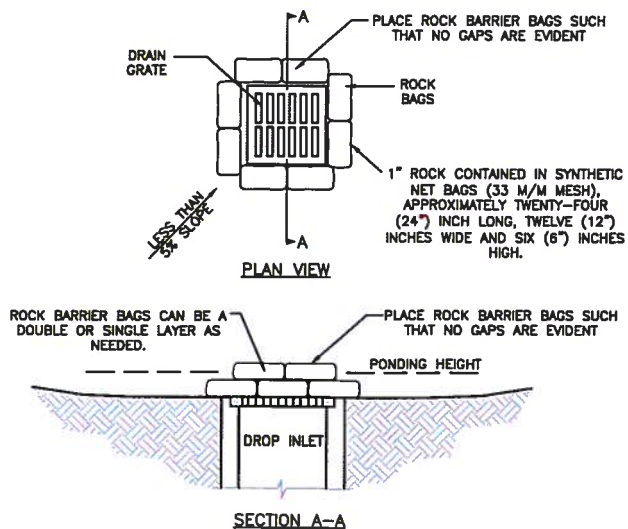


- NOTES:**
1. MUST BE INSTALLED PROPERLY TO AVOID NOTICE OF VIOLATION.
  2. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE POUNDING EFFICIENCY.
  3. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9\"/>
  - 4. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

**601 Filter Fabric Silt Fence**  
Not to Scale



**602 Concrete Washout**  
Not to Scale



- NOTES:**
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%.)
  2. A "REASONABLE" DESIGN SIZE PARTICLE TO CAPTURE MUST BE SELECTED.
  3. SIZE DISTRIBUTION OF UPSTREAM SOIL PARTICLES MUST BE EVALUATED.
  4. INFLOW AND OUTFLOW FROM THE SYSTEM FOR A SPECIFIC FREQUENCY STORM MUST BE KNOWN.
  5. POND VOLUME IS DIRECTLY PROPORTIONAL TO THE DISCHARGE RATE OF WATER FROM THE SYSTEM.
  6. POND VOLUME IS INVERSELY PROPORTIONAL TO THE MASS OF THE DESIGN SIZE SUSPENDED PARTICLE.
  7. A SYSTEM MUST PROVIDE SUFFICIENT FLOW TO ALLOW FOR DEPOSITION OF DESIGN SIZE PARTICLES.
  8. THE PONDING HEIGHT MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.

**603 Rock Bag Drop Inlet Barrier**  
Not to Scale

Rev.	Date	Description	By	App.

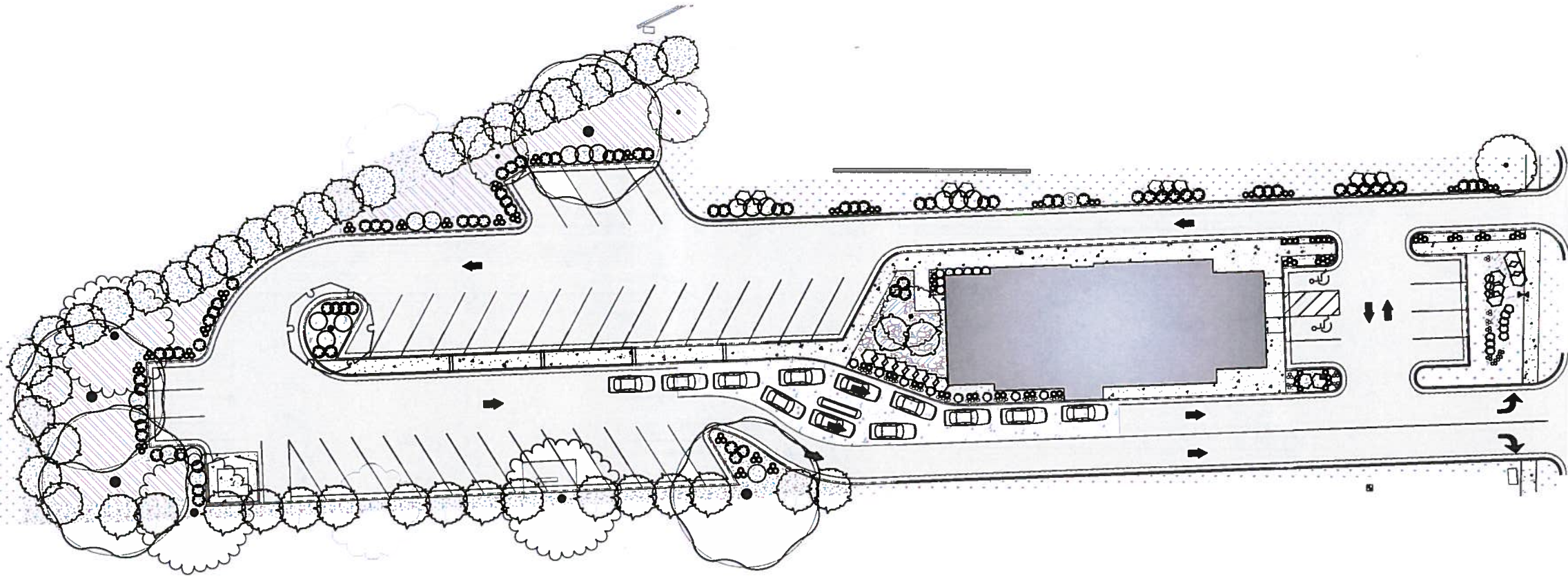
**BHC RHODES**  
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**7930 STATE LINE ROAD**  
**FINAL DEVELOPMENT PLANS**  
**PRAIRIE VILLAGE, KANSAS**  
**EROSION CONTROL DETAILS**

Design: JWB Drawn: JWB  
Checked: RAE  
Issue Date: 09/25/15  
Project Number: 021220

Sep 25, 2015 - 12:56pm Plotted By: jwb/rae V:\021220\DWG\021220-8175-SITE-DTL.dwg Layout: Erosion Control Details



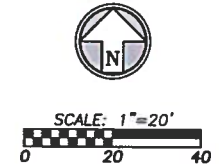
**LANDSCAPING NOTES**

- ALL DISTURBED AREAS SHALL BE SODDED WITH TURF-TYPE TALL FESCUE SOD WITH A MINIMUM OF THREE CULTIVARS.
- ALL LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 6-INCH DEPTH OF TOPSOIL COMPACTED TO 85% DENSITY AT OPTIMUM MOISTURE CONTENT.
- THE ENTIRE SURFACE TO BE LANDSCAPED SHOULD BE REASONABLE SMOOTH AND FREE FROM STONES, ROOTS OR OTHER DEBRIS.
- SOD SHALL BE MACHINE STRIPPED AT A UNIFORM SOIL THICKNESS OF APPROXIMATELY ONE INCH (PLUS OR MINUS 1/4-INCH). THE MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH, AND SHALL BE DETERMINED AT THE TIME OF CUTTING IN THE FIELD. PRECAUTIONS SHALL BE TAKEN TO PREVENT DRYING AND HEATING. SOD DAMAGED BY HEAT AND DRY CONDITIONS, AND SOD CUT MORE THAN 18 HOURS BEFORE BEING INCORPORATED INTO THE WORK SHALL NOT BE USED.
- HANDLING OF SOD SHALL BE DONE IN A MANNER THAT WILL PREVENT TEARING, BREAKING, DRYING AND OTHER DAMAGE. PROTECT EXPOSED ROOTS FROM DEHYDRATION. DO NOT DELIVER MORE SOD THAN CAN BE LAID WITHIN 24 HOURS.
- MOISTEN PREPARED SURFACE IMMEDIATELY PRIOR TO LAYING SOD. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE INSTALLING SOD. FERTILIZE, HARROW OR RAKE FERTILIZER IN THE TOP 1-1/2-INCHES OR TOPSOIL, AT A UNIFORM RATE.
- FERTILIZER SHALL BE 20-10-5 COMMERCIAL FERTILIZER OF THE GRADE, TYPE, AND FORM SPECIFIED AND SHALL COMPLY WITH THE RULES OF THE STATE OF ARKANSAS DEPT. OF AGRICULTURE. FERTILIZER SHALL BE IDENTIFIED ACCORDING TO THE PERCENT N,P,K IN THAT ORDER.
- SATURATE SOD WITH FINE WATER SPRAY WITHIN TWO HOURS OF PLANTING. DURING THE FIRST WEEK AFTER PLANTING, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A MINIMUM DEPTH OF FOUR INCHES.
- CONTRACTOR SHALL PROVIDE FULL MAINTENANCE FOR NEWLY LANDSCAPED AREAS FOR A PERIOD OF 30 DAYS AFTER THE DATE OF FINAL ACCEPTANCE. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVE-COLORED, VIABLE TURF AND LANDSCAPED AREA MUST BE ESTABLISHED. THE LANDSCAPED AREAS SHALL BE FREE OF WEEDS, OPEN JOINTS, BARE AREAS AND SURFACE IRREGULARITIES.

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT.	CAL.	SIZE
	3	Gleditsia triacanthos inermis 'Shademaster'™ / Shademaster Locust	B & B	2" Cal	12-15' H
	4	Koeleruteria paniculata / Golden Rain Tree	B & B	2" Cal	12-15' H
	4	Quercus bicolor / Swamp White Oak	B & B	2" Cal	12-15' H
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	PLANT HT.	
	2	Amelanchier arborea / Dawny Serviceberry	7 gal	2' height	
	79	Calliocalyx dichotoma 'Early Amethyst' / Beautyberry	7 gal	2' height	
	20	Euonymus alatus / Winged Euonymus	15 gal	3' height	
	28	Euonymus alatus 'Odum'™ / Little Moses Dwarf Burning Bush	3 gal		
	6	Rhus typhina 'Tiger Eyes' / Tiger Eyes Sumac	3 gal		
	43	Thuja occidentalis 'Green Giant' / Green Giant Arborvitae	B & B	7'-8' H	
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME / COMMON NAME	SIZE		
	82	Achillea millefolium / Common Yarrow	1 gal		
	124	Eragrostis spectabilis / Purple Love Grass	3 gal		
	57	Schizachyrium scaparium / Little Bluestem Grass	3 gal		
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT.	SPACING	
	9,178 sf	Festuca arundinacea 'Watersaver Blend' / Watersaving Blend of Tall Fescue	sod		
	7,524	Pachysandra terminalis / Japanese Spurge	plug	9" o.c.	
MULCH / GRAVEL	QTY	BOTANICAL NAME / COMMON NAME	DEPTH	SIZE	
	3.50 cu yd.	Native Cobblestone	2" - 3" deep	4" - 8" stones	
	71 cu yd.	Double Ground Hardwood Mulch	2" - 3" deep		

**SLIM CHICKEN LANDSCAPING PLAN**



Sep 25, 2016 1:28pm Revised By: jaffar@bca V:\021220\DWG\DWG\Sheet\021220-817P-817P-817P-Landscape Plan

**BHC RHODES**  
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 605 WEST 47TH STREET  
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**7930 STATE LINE ROAD**  
**FINAL DEVELOPMENT PLANS**  
**PRAIRIE VILLAGE, KANSAS**  
**LANDSCAPE PLAN**

Design: NAB Drawn: NAB  
 Checked: RAE  
 Issue Date: 09/25/16  
 Project Number: 021220

Rev.	Date	Description	By	App.

**PLANTING NOTES**

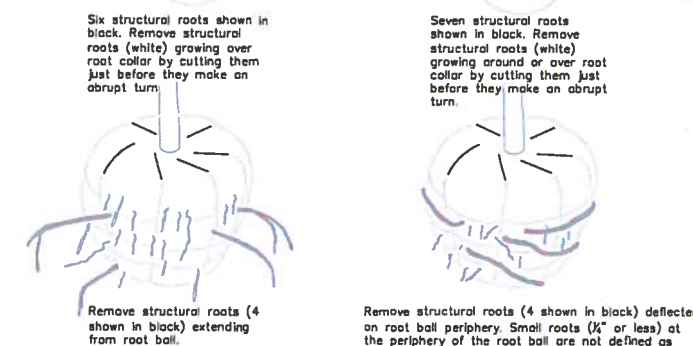
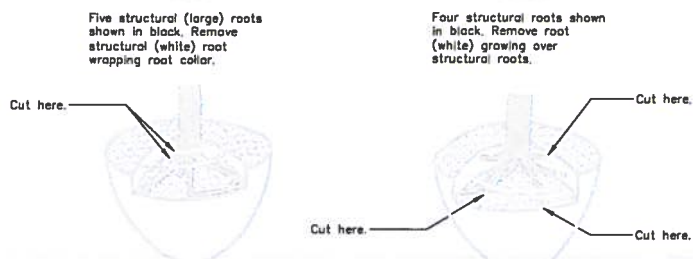
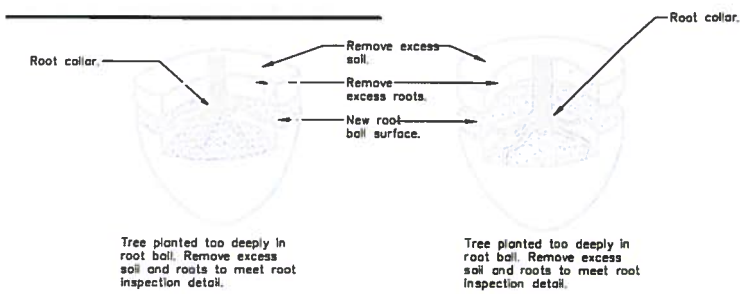
1. LOCATION OF ALL EXISTING UTILITIES NEEDS TO BE DONE BEFORE COMMENCING WORK.
2. THE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES MASSING SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
  - A. CREEPING GROUND COVER SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.
  - B. ALL TREES SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.
  - C. ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
  - D. ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
3. MULCH ALL PLANTING BED AREAS TO A MINIMUM DEPTH OF 3". MULCH INDIVIDUAL TREES TO A MINIMUM DEPTH OF 4".
4. NOTE: IF PLANTS ARE NOT LABELED - THEY ARE EXISTING AND SHALL REMAIN.
5. ALL LANDSCAPED AREAS IN ROW SHALL BE SODDED AND IRRIGATED UNLESS OTHERWISE SPECIFIED.

**MATERIALS:**

1. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF DISEASE AND INSECTS AS PER AAN STANDARDS.
2. SHREDDED BARK MULCH INSTALLED AT TREES SHALL BE FINELY CHIPPED AND SHREDDED HARDWOOD CHIPS, CONSISTING OF PURE WOOD PRODUCTS AND FREE OF ALL OTHER FOREIGN SUBSTANCES. PINE BARK COMPOST MULCH INSTALLED AT PLANTING BED AREAS SHALL BE FREE OF ALL OTHER FOREIGN SUBSTANCES.

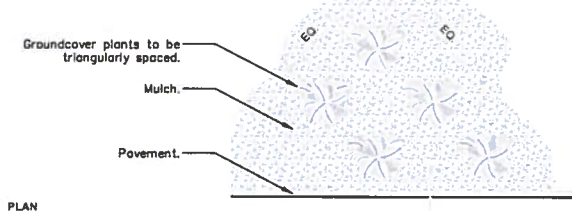
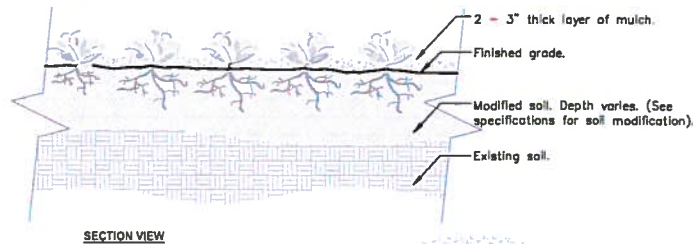
**INSTALLATION:**

1. ALL COMPACTED SOIL AND ROLL SPLIT WITHIN THE AREA TO BE LANDSCAPED SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN TWO (2) FEET AND SHALL BE BACKFILLED WITH TOPSOIL.
2. ALL PLANTING BEDS SHALL BE AMENDED WITH 1 CUBIC YARD OF PEAT MOSS PER 1,000 SQUARE FEET. TILL PEAT MOSS INTO SOIL TO A 6" DEPTH. A 10-10-10 FERTILIZER SHALL BE SPREAD OVER ALL PLANTING AREAS PRIOR TO PLANTING, AT A RATE OF 50 POUNDS PER 2,000 SQUARE FEET.
3. AFTER PLANTS HAVE BEEN INSTALLED, ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE PRIOR TO MULCH APPLICATION.
4. PLANT PIT BACKFILL FOR TREES AND SHRUBS SHALL BE 50% PEAT OR WELL COMPOSTED MANURE AND 50% TOPSOIL.
5. TREES PLANTED IN LANDSCAPED PLANTING AREAS SHALL BE SITUATED A MINIMUM OF THREE (3) FEET FROM ANY CURB.
6. PLANT MATERIAL SHALL BE MAINTAINED AND GUARANTEED FOR A PERIOD OF TWO YEARS AFTER OWNER'S ACCEPTANCE OF FINISHED JOB. ALL DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED AT LANDSCAPE CONTRACTOR'S EXPENSE.
7. LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE, AT WHICH POINT THE TWO YEAR GUARANTEE BEGINS.



- Notes:**
- 1- All trees shown are rejectable unless they undergo recommended correction.
  - 2- First step 1, then step 2. Adjust hole depth to allow for the removal of excess soil and roots over the root collar.
  - 3- Roots and soil may be removed during the correction process; substrate/soil shall be replaced after the correction has been completed.
  - 4- Trees shall pass root observations detail following correction.

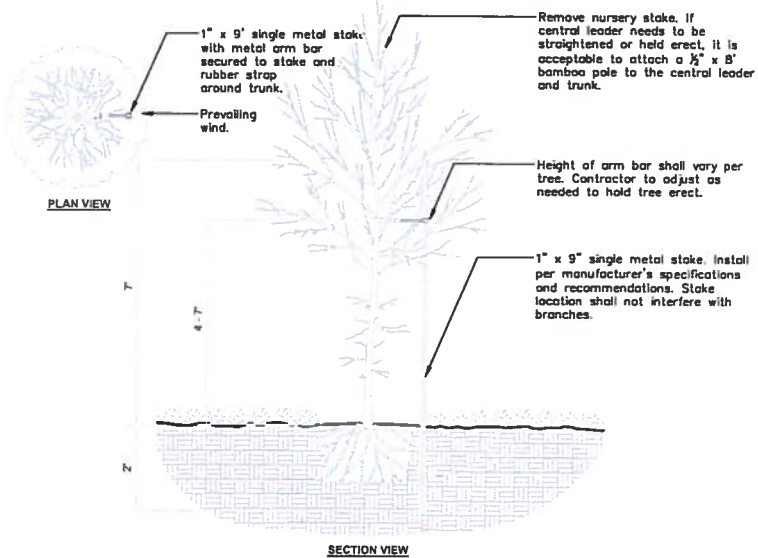
**1 ROOT CORRECTION DETAIL - BALLED AND BURLAPPED**  
NOT TO SCALE



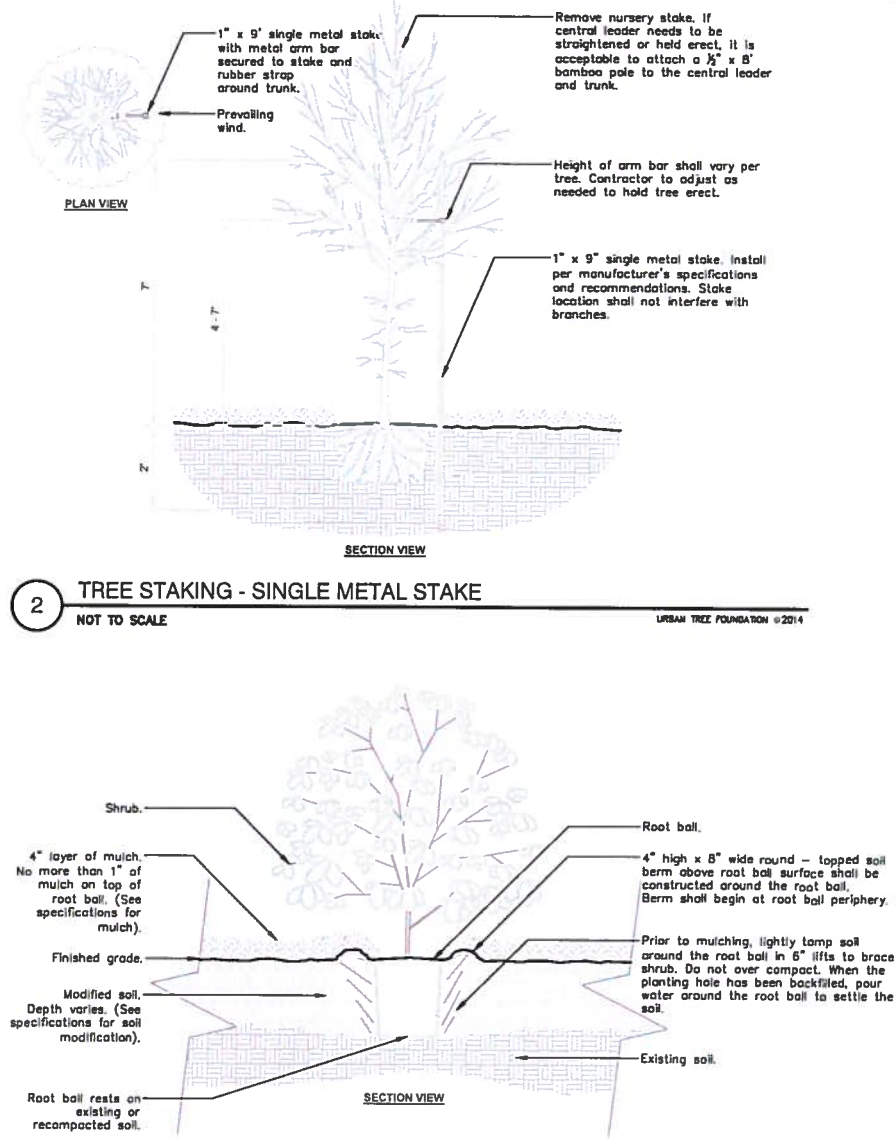
- Notes:**
- 1- See planting legend for groundcover species, size, and spacing dimension.
  - 2- Small roots ( $\frac{1}{2}$ " or less) that grow around, up, or down the root ball periphery are considered a normal condition in container production and are acceptable however they should be eliminated at the time of planting. Roots on the periphery can be removed at the time of planting. (See root ball shaving container detail).
  - 3- Settle soil around root ball of each groundcover prior to mulching.

**4 GROUND COVER**  
NOT TO SCALE

**2 TREE STAKING - SINGLE METAL STAKE**  
NOT TO SCALE

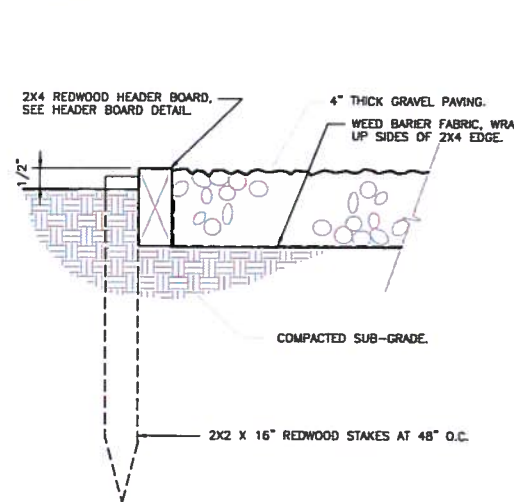


**3 SHRUB - MODIFIED SOIL**  
NOT TO SCALE



- Notes:**
- 1- Shrubs shall be of quality prescribed in the root observations detail and specifications.
  - 2- See specifications for further requirements related to this detail.

**5 EDGE AT GRAVEL PAVING**  
NOT TO SCALE



Sep 25, 2015 12:21pm Plotted By: jff/jarts V:\021220\DWG\DWG\Sheet\021220-9RFS-SRF-LAND.dwg Layout: Layout1

Rev.	Date	Description	By	App.

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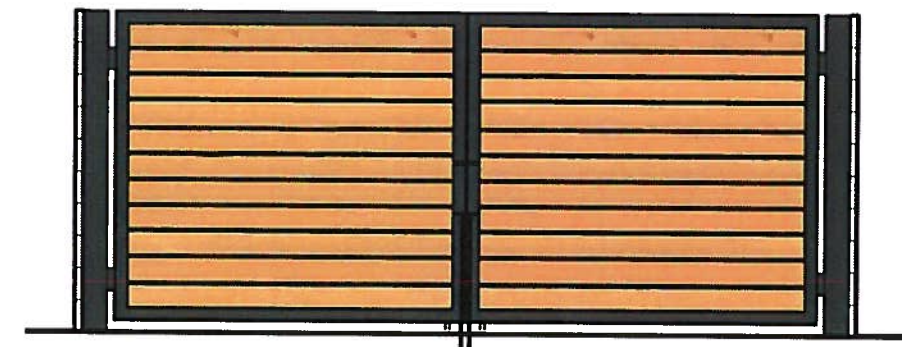
**7930 STATE LINE ROAD  
FINAL DEVELOPMENT PLANS  
PRAIRIE VILLAGE, KANSAS**

**LANDSCAPE DETAILS**

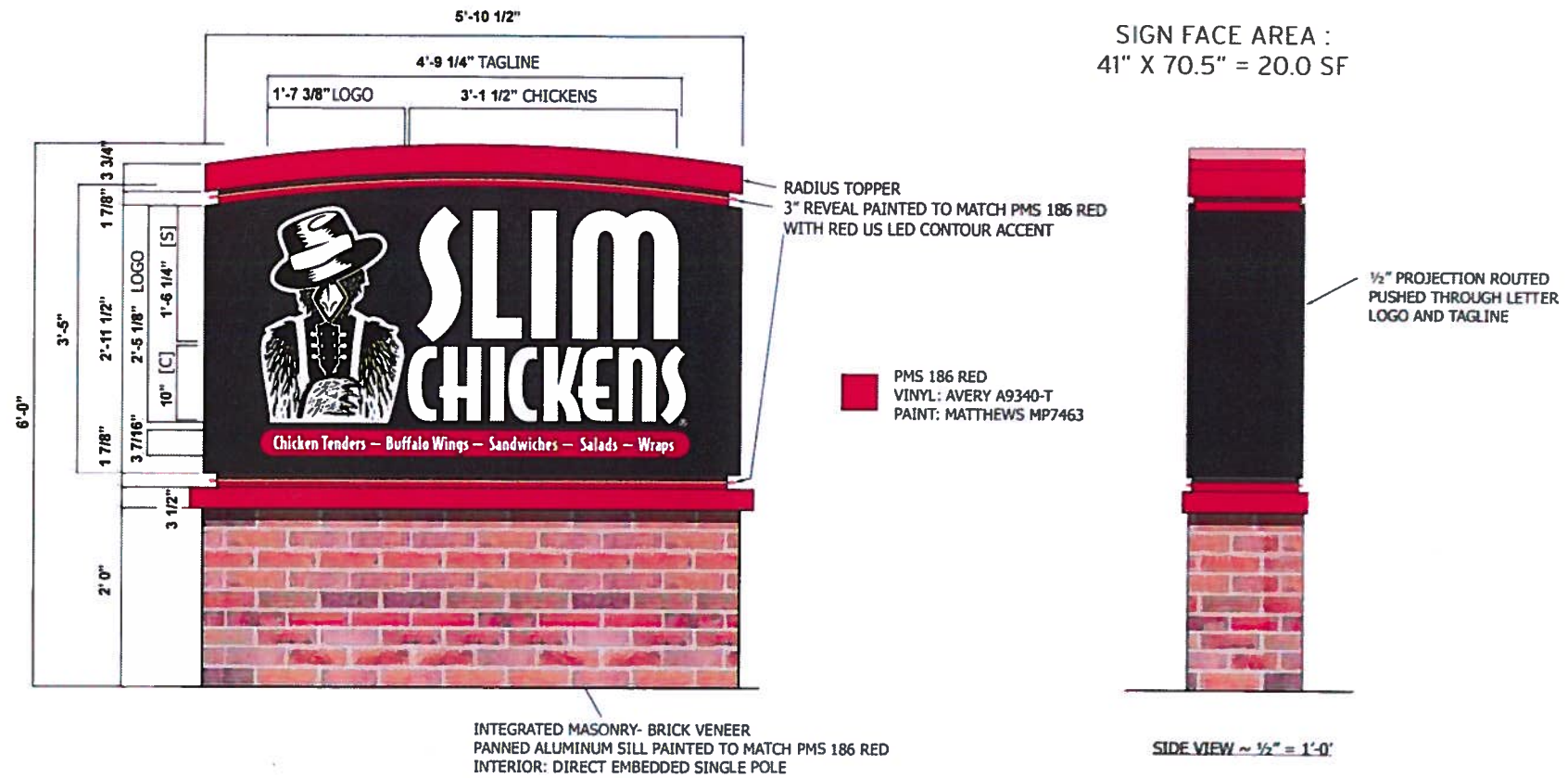
Design: JWB | Drawn: JWB  
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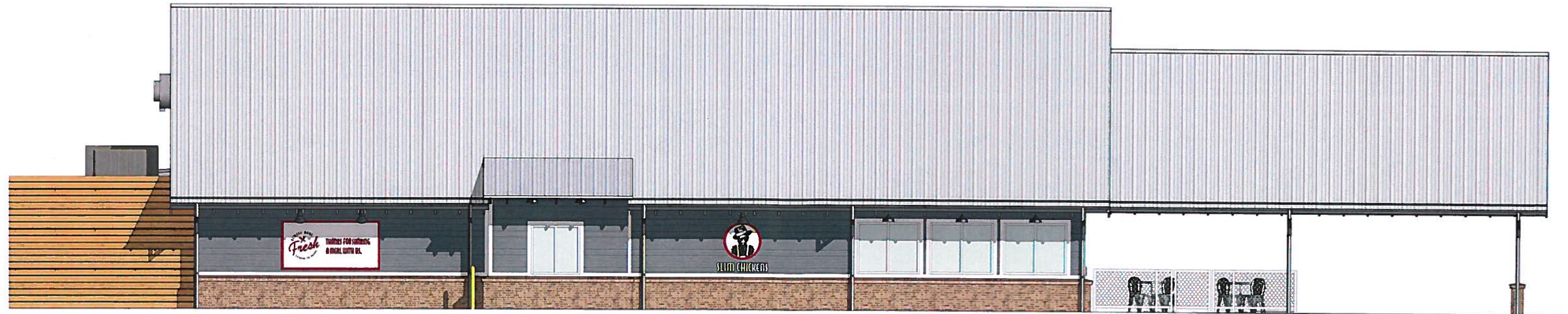
FRONT ELEVATION  
SCALE : 1/4" = 1'



TRASH ENCLOSURE ELEVATIONS  
SCALE : 1/4" = 1'



MONUMENT SIGN  
SCALE : 1/2" = 1'



SIDE ELEVATION  
SCALE : 1/8" = 1'



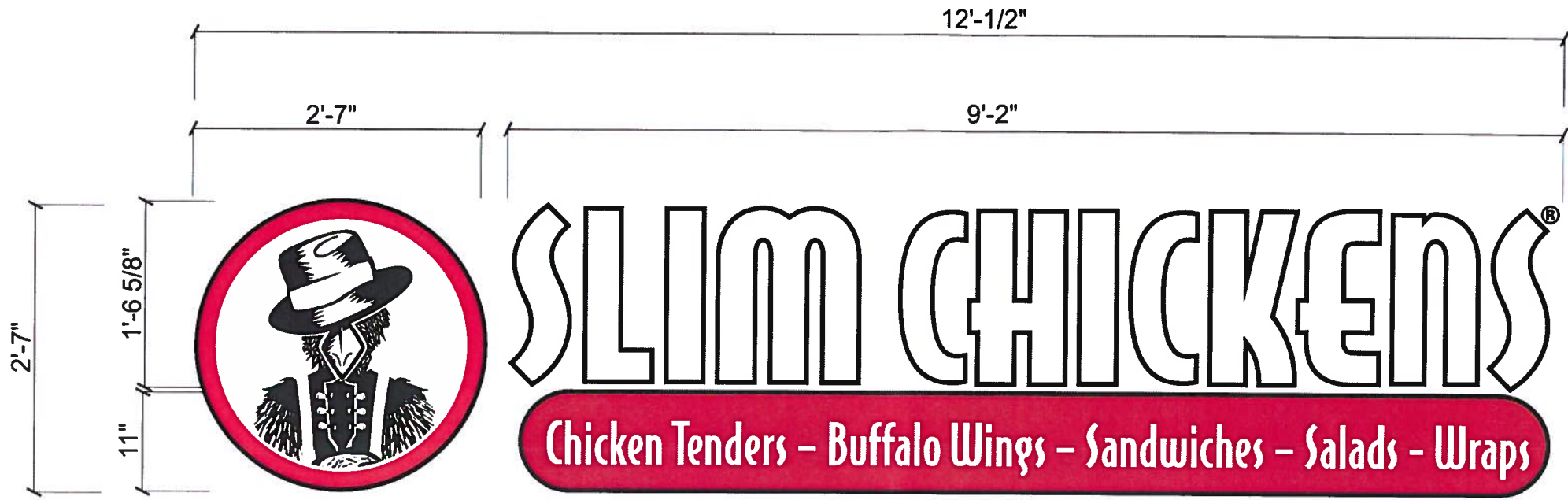


# SLIM CHICKENS<sup>®</sup>

**SIGN SPECIFICATION PROGRAM**

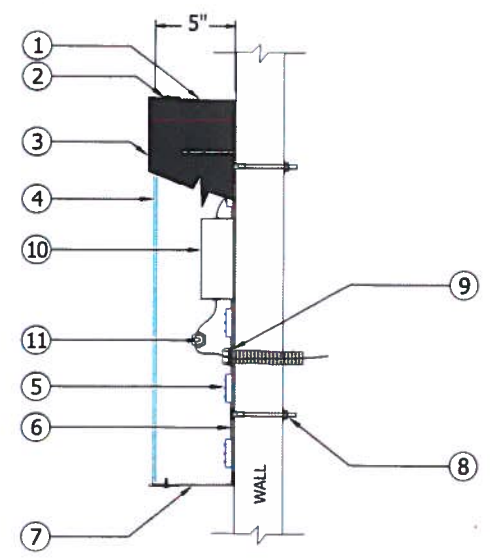
**UPDATED 2/23/15**

Sign:	Channel Letters 18 5/8" Ltr / 2'-7" Logo
Sign Type:	Face Lit
Illumination:	LED Illuminated
Square Footage:	31.11



**1A CHANNEL LETTERS**  
Scale: 3/4"=1'-0"

- OPAQUE BLACK VINYL
- PMS 186 RED  
VINYL: AVERY A9340-T  
PAINT: MATTHEWS MP7463



**SELF CONTAINED FACE LIT CHANNEL LETTERS**  
SCALE: NTS TYPICAL

- ① .040" X 5" PRE-FINISHED BLACK ALUMINUM COIL (WHITE INSIDE)
- ② #8 - 1/2" PAN HEAD SCREWS
- ③ 1" PRE-FINISHED BLACK JEWELITE CHEMICALLY BONDED TO FACES
- ④ 3/16" ACRYLIC / STANDARD COLORS
- ⑤ JT[C] .7 LEDs 6500 K/ 1 ROW SECURED TO BACK OF LETTER
- ⑥ .063" PRE-FINISHED BLK/WHT ALUMINUM BACK
- ⑦ 1/4" DIA. WEEP HOLES (EXTERIOR APPLICATIONS ONLY)
- ⑧ MOUNTING HARDWARE (TBD BY WALL CONSTRUCTION)
- ⑨ 7/8" ELECTRICAL HOLE / 3/4" COUPLER W/ FLEXIBLE CONDUIT
- ⑩ MAXBRITE 60w 12v 120-277 POWER SUPPLIES
- ⑪ TOGGLE SWITCH / MOUNT TO TOGGLE FRONT TO BACK

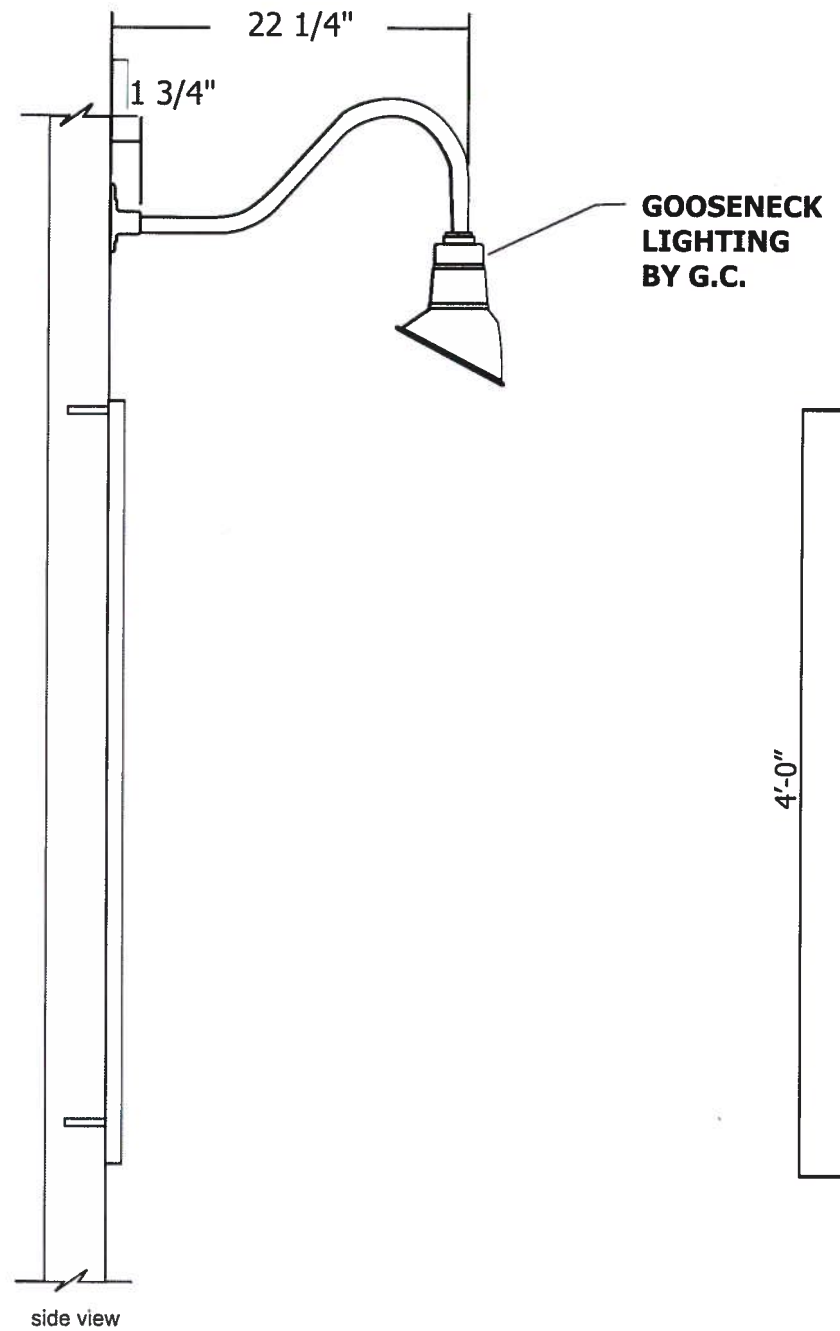
**ALL HARDWARE MUST BE NON-CORROSIVE**

REVISION INFO	
R2 - 00.00.00	XX
R3 - 00.00.00	XX
R4 - 00.00.00	XX
R5 - 00.00.00	XX
R6 - 00.00.00	XX


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Sign:	Non Illum 4'-8" Pan Sign
Sign Type:	.125 Alum.
Illumination:	Non Illuminated
Square Footage:	32



**2** ALUMINUM PAN SIGN  
Scale: 1"=1'-0"

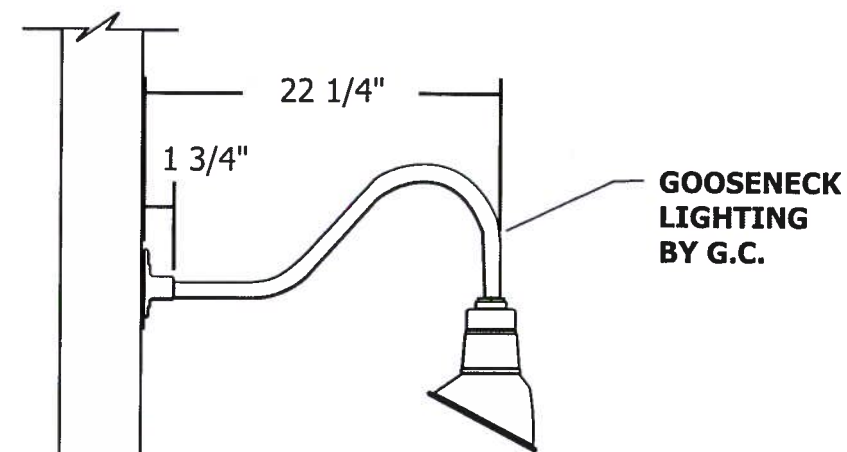
 PMS 186 RED  
VINYL: AVERY A9340-T  
PAINT: MATTHEWS MP7463

REVISION INFO	
R2 - 00.00.00	XX
R3 - 00.00.00	XX
R4 - 00.00.00	XX
R5 - 00.00.00	XX
R6 - 00.00.00	XX

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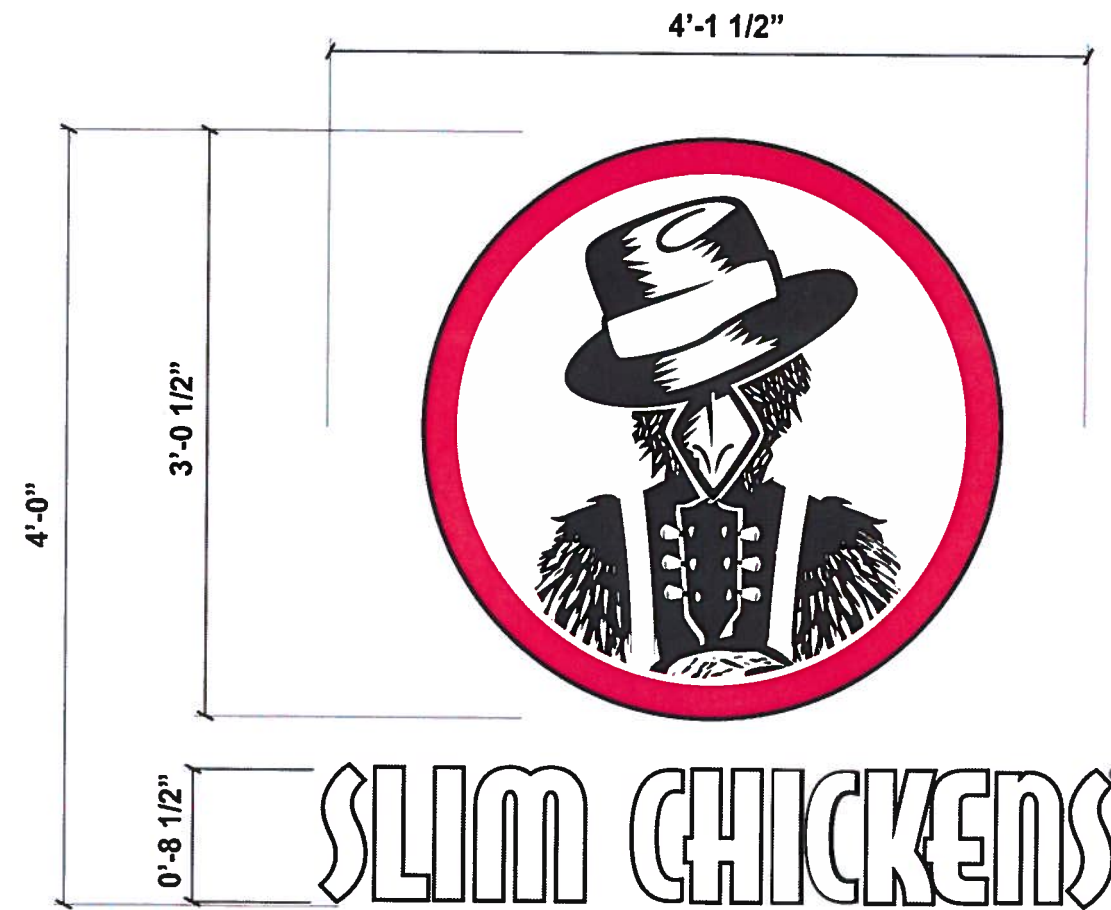
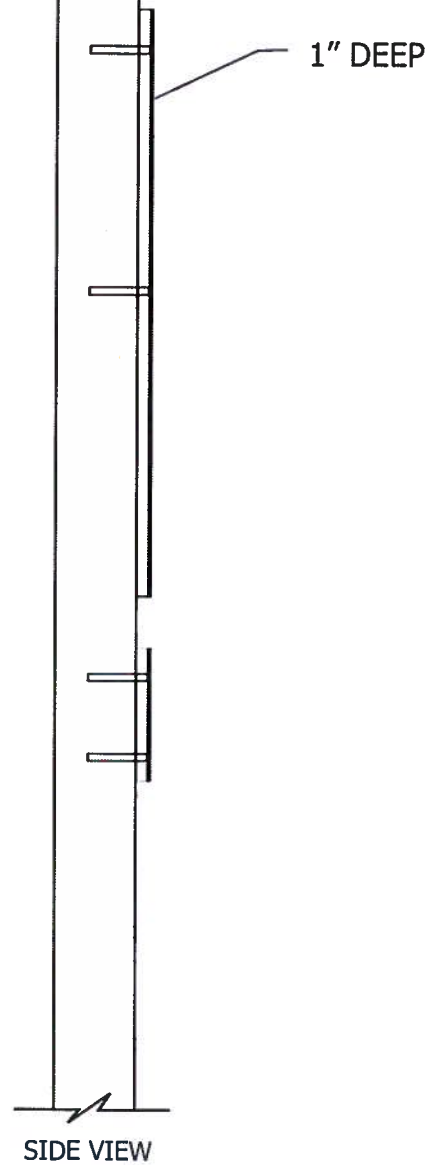
Sign:	9 1/2" Non Illum Letters 41" Logo
Sign Type:	1" Deep aluminum wall sign
Illumination:	Non Illuminated
Square Footage:	21.9



NON-ILLUMINATED ALUMINUM WALL SIGN  
 .125" ALUMINUM FACE WITH .125" DEEP ALUMINUM RETURNS  
 PAINTED MATTHEWS BLACK SATIN FINISH  
 SURFACE DIGITAL PRINT APPLIED 1ST SURFACE  
 FLAT CUT .125" ALUMINUM REG MARK DISC STUD MOUNTED FLUSH TO WALL  
**NOTE: PRINT MUST BE UV COATED**  
 ATTACHMENT: STUDS WELDED TO BACK OF FACE MOUNT FLUSH TO WALL INTO SILICONE BEDS

**CHICKEN LOGO MUST BE SEAMLESS**

**ALL HARDWARE MUST BE NON-CORROSIVE**



- OPAQUE BLACK VINYL
- PMS 186 RED  
VINYL: AVERY A9340-T  
PAINT: MATTHEWS MP7463

NON ILLUMINATED  
 LETTER SET & CIRCLE LOGO  
 3A  
 Scale: 1"=1'-0"

3/8" STUDS WELDED TO  
 BACK OF FACE  
 EMBEDDED IN SILICONE

NON ILLUMINATED CIRCLE LOGO W/TAGLINE 5b of 20

**JONES SIGN**  
 Your Vision. Accomplished.  
 400 MACK DRIVE CROYDON, PA 19021  
 PH: 215.788.3898 FX: 215.788.7588

SS# 58961-R1  
 Client: SLIM CHICKENS

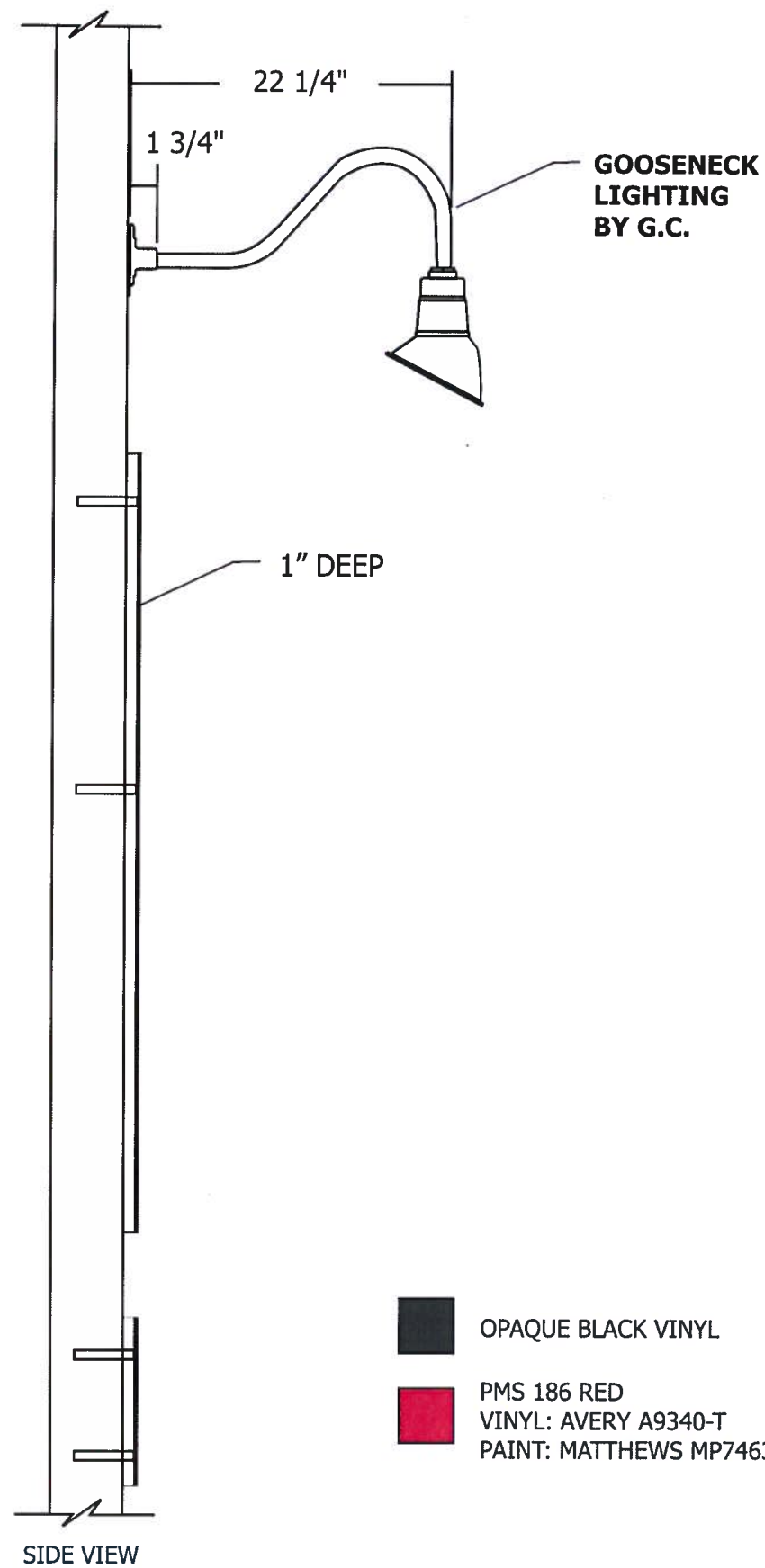
Date: 2.23.15  
 Drawn By: JM  
 Merlin #: XXXXX

REVISION INFO	
R2 - 00.00.00	XX
R3 - 00.00.00	XX
R4 - 00.00.00	XX
R5 - 00.00.00	XX
R6 - 00.00.00	XX

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Sign:	9 1/2" Non Illum Letters 41" Logo
Sign Type:	1" Deep aluminum wall sign
Illumination:	Non Illuminated
Square Footage:	21.9



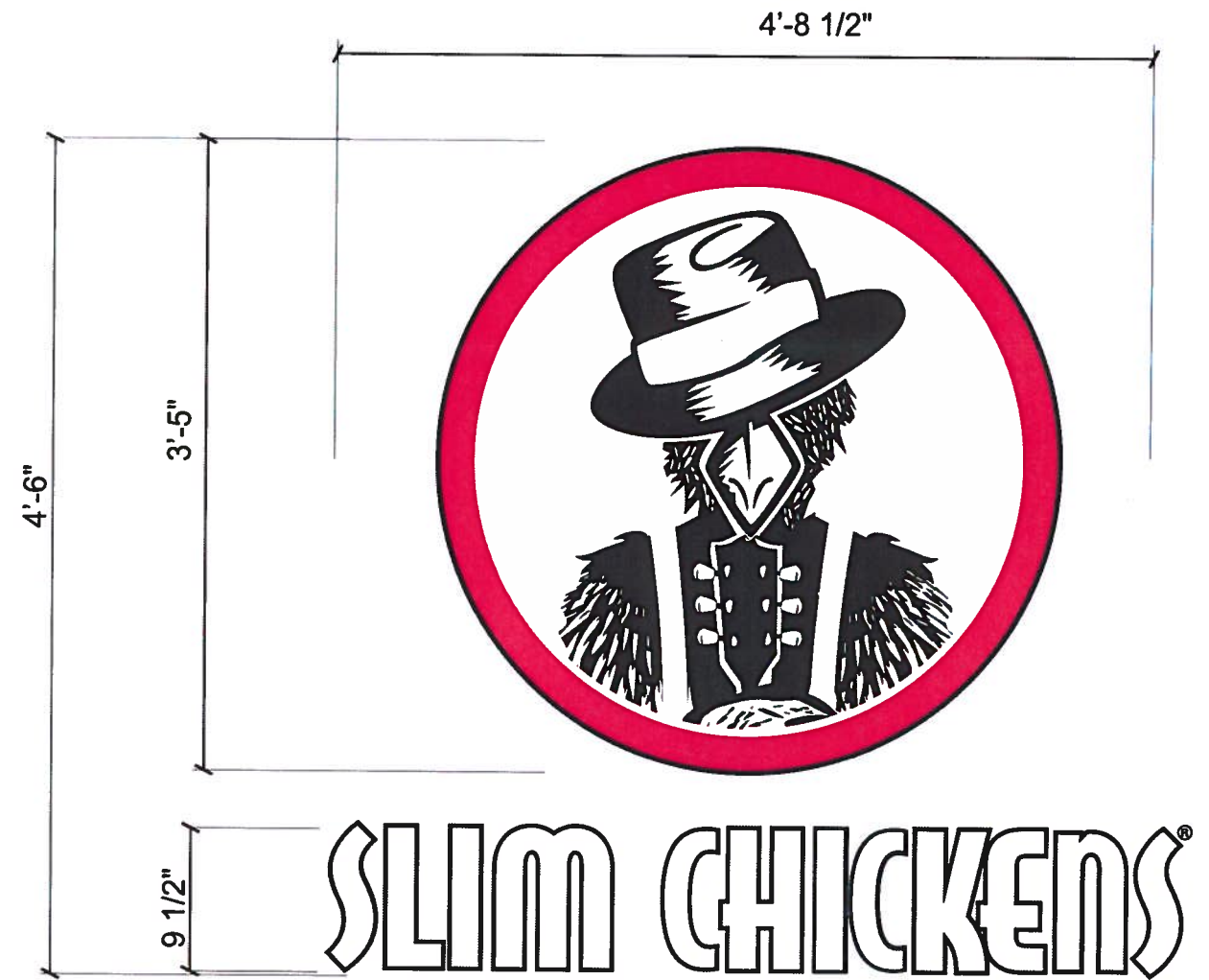
3/8" STUDS WELDED TO BACK OF FACE EMBEDDED IN SILICONE

SIDE VIEW

NON-ILLUMINATED ALUMINUM WALL SIGN  
 .125" ALUMINUM FACE WITH .125 1" DEEP ALUMINUM RETURNS  
 PAINTED MATTHEWS BLACK SATIN FINISH  
 SURFACE DIGITAL PRINT APPLIED 1ST SURFACE  
 FLAT CUT .125" ALUMINUM REG MARK DISC STUD MOUNTED FLUSH TO WALL  
**NOTE: PRINT MUST BE UV COATED**  
 ATTACHMENT: STUDS WELDED TO BACK OF FACE MOUNT FLUSH TO WALL INTO SILICONE BEDS

**CHICKEN LOGO MUST BE SEAMLESS**

**ALL HARDWARE MUST BE NON-CORROSIVE**



NON ILLUMINATED LETTER SET & CIRCLE LOGO

3A

Scale: 1"=1'-0"

NON ILLUMINATED CIRCLE LOGO W/TAGLINE | 5 of 20

**JONES SIGN**  
 Your Vision. Accomplished.  
 400 MACK DRIVE CROYDON, PA 19021  
 PH: 215.788.3898 FX: 215.788.7588

SS# 58961-R1  
 Client: SLIM CHICKENS

Date: 2.23.15  
 Drawn By: JM  
 Merlin #: XXXXX

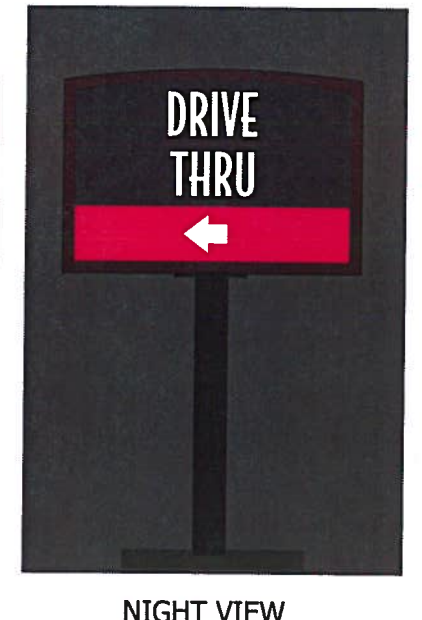
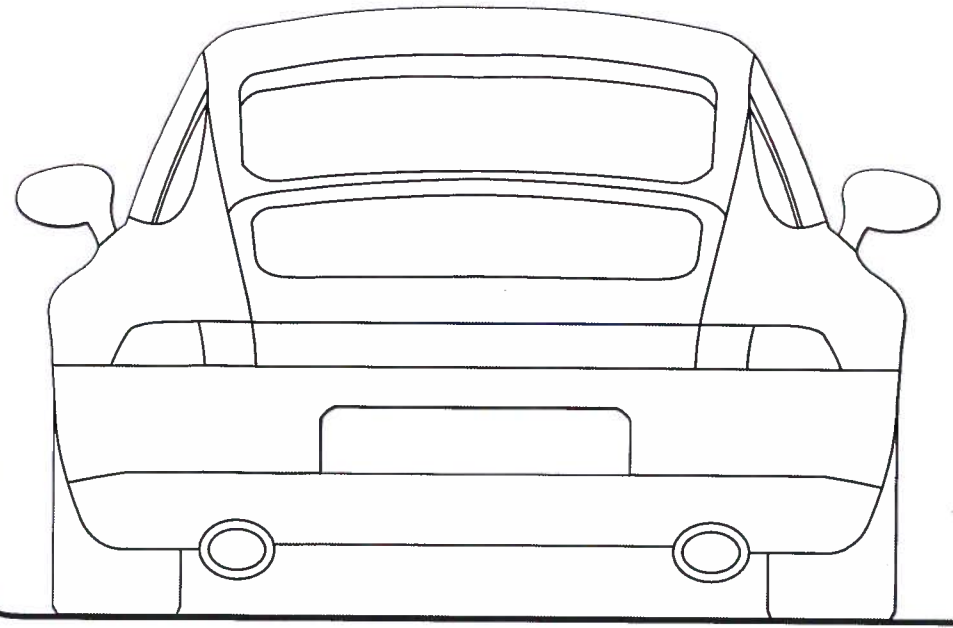
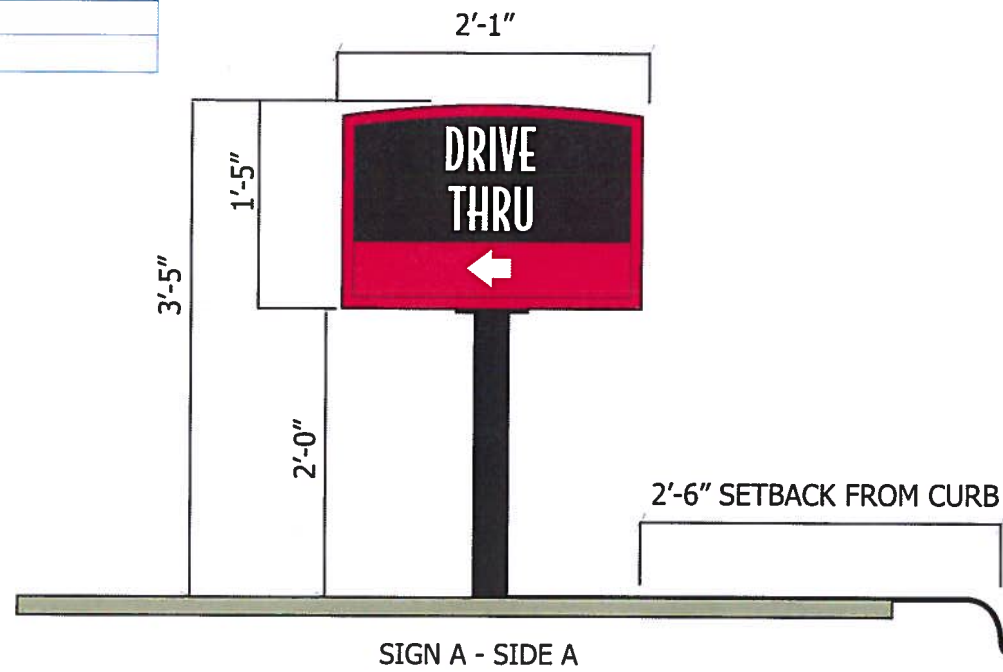
REVISION INFO

R2 - 00.00.00	XX
R3 - 00.00.00	XX
R4 - 00.00.00	XX
R5 - 00.00.00	XX
R6 - 00.00.00	XX

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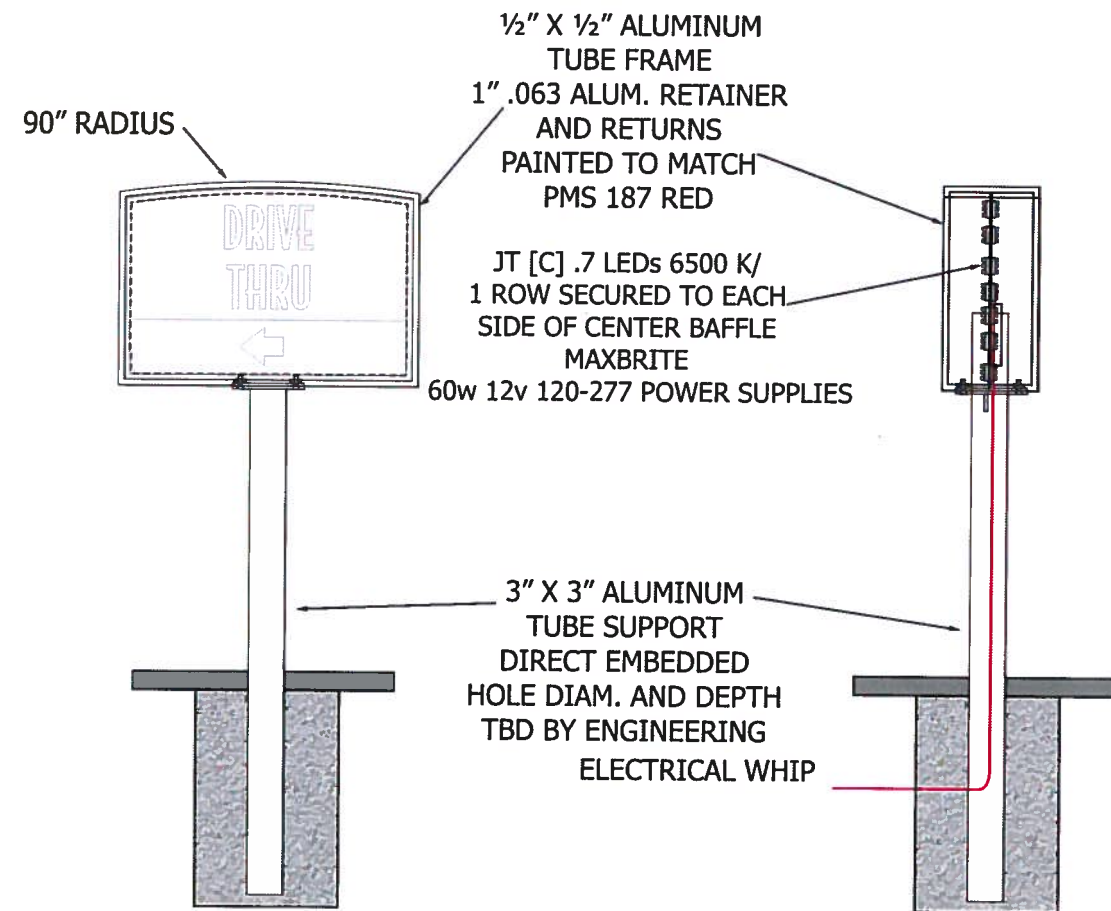


Sign:	Illuminated 3' 5" Tall Directional
Sign Type:	D/F Directional
Illumination:	Face Lit
Square Footage:	3 Sq. Ft Per Side



8A D/F DIRECTIONAL SIGN  
Scale: 3/4"=1'-0"

PMS 186 RED  
VINYL: AVERY A9340-T  
PAINT: MATTHEWS MP7463

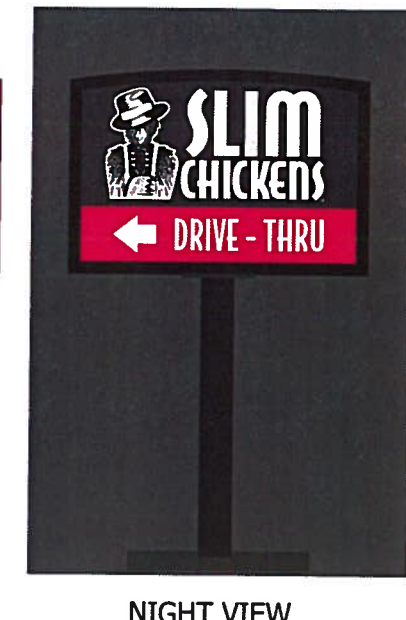
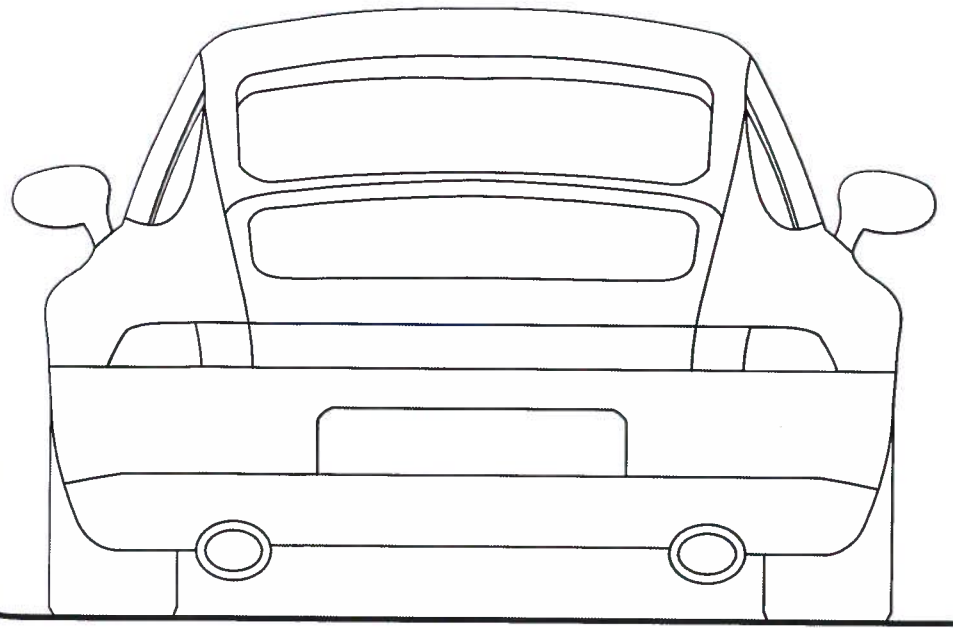
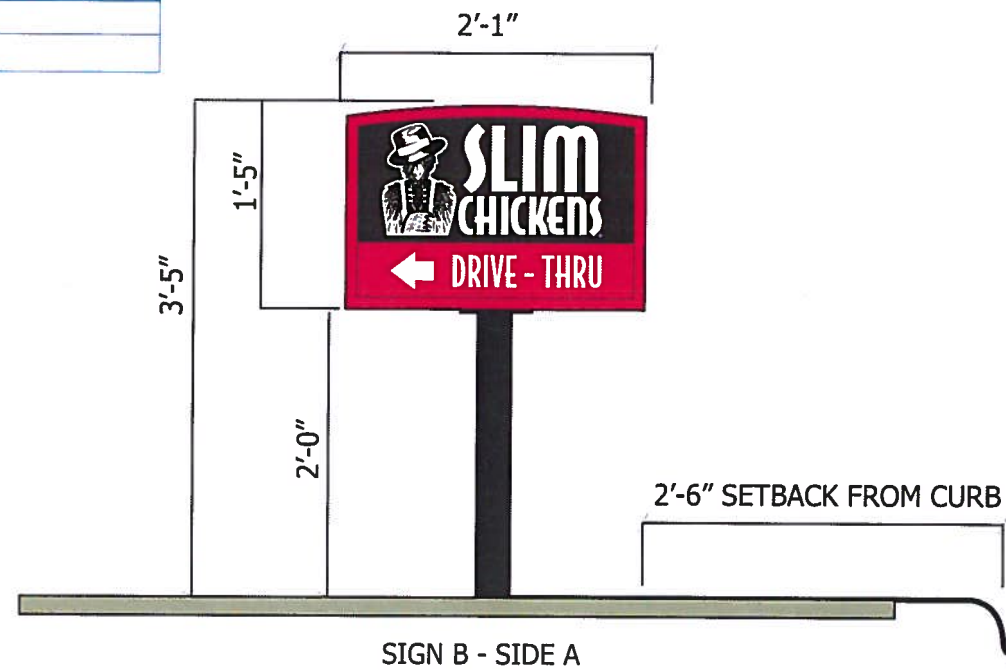


ALL HARDWARE MUST BE NON-CORROSIVE  
TAG LINE TO BE DETERMINED

REVISION INFO	R2 - 00.00.00 XX
	R3 - 00.00.00 XX
	R4 - 00.00.00 XX
	R5 - 00.00.00 XX
	R6 - 00.00.00 XX

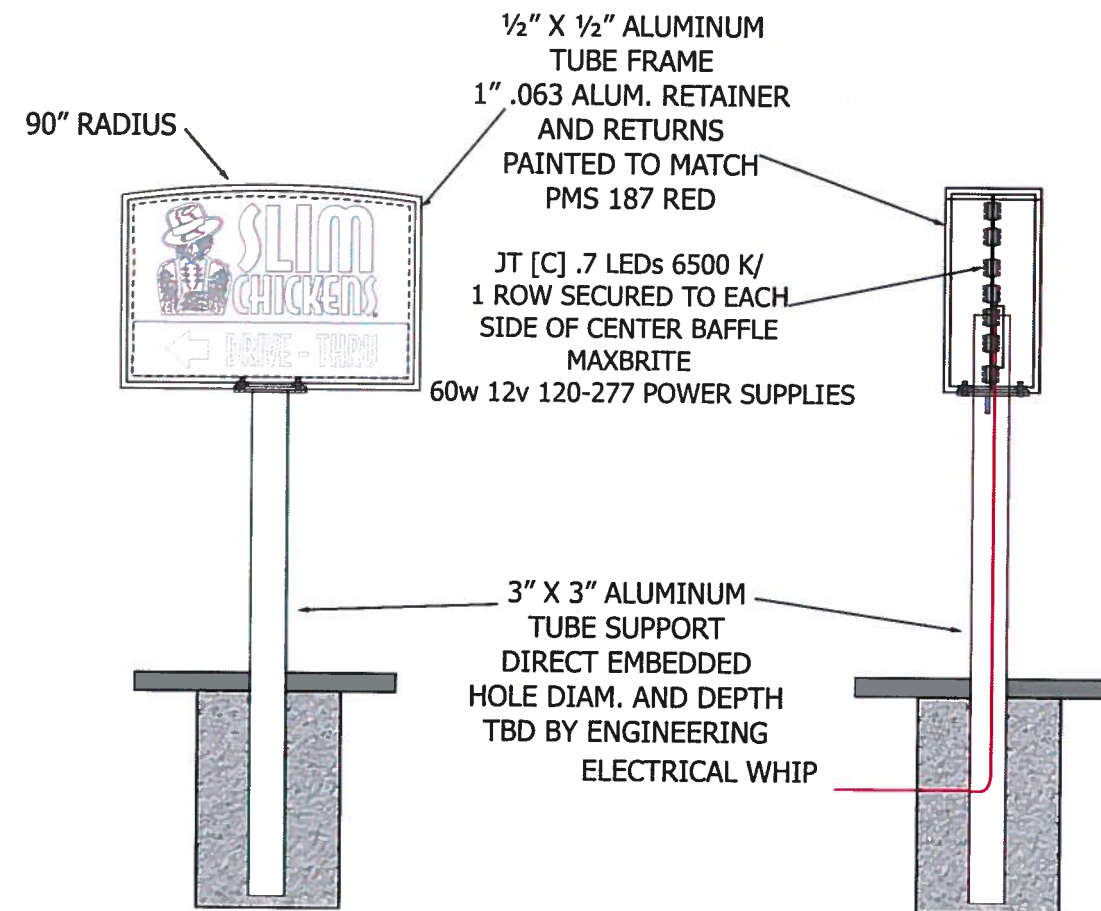
This drawing is submitted for your exclusive use in connection with a project being planned by Jones Signs. It is not to be shown to anyone outside your organization, nor is it to be used, reproduced, copied or exhibited in any fashion without the expressed permission of Jones Signs.

Sign:	Illuminated 3' 5" Tall Directional
Sign Type:	D/F Directional
Illumination:	Face Lit
Square Footage:	3 Sq. Ft Per Side



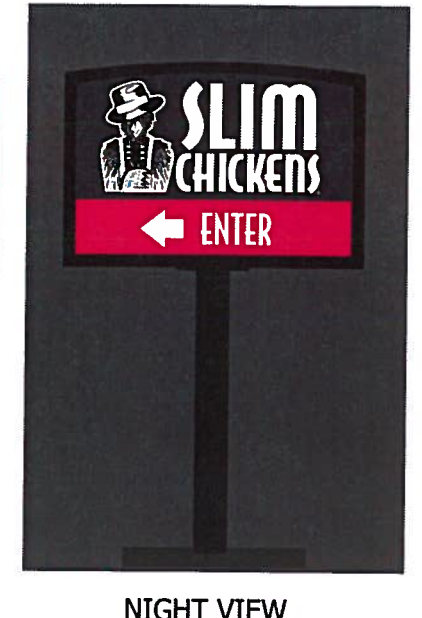
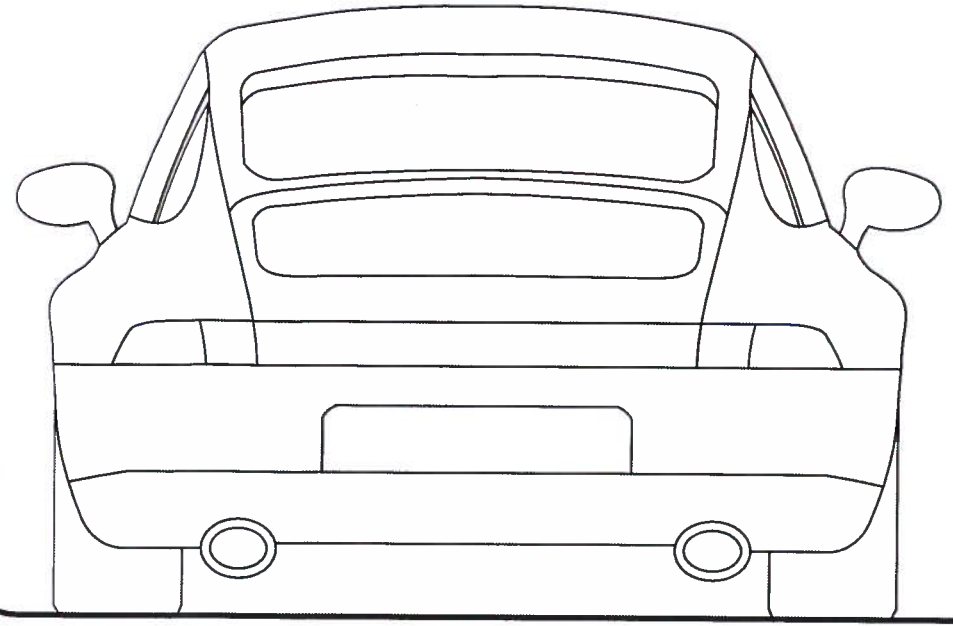
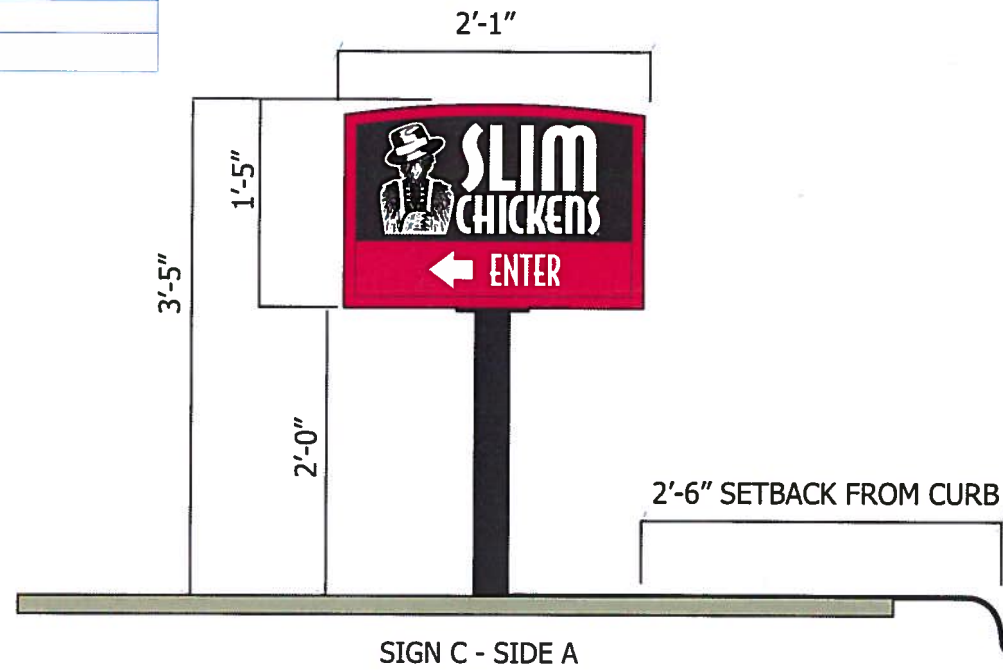
**8B** D/F DIRECTIONAL SIGN  
Scale: 3/4"=1'-0"

PMS 186 RED  
VINYL: AVERY A9340-T  
PAINT: MATTHEWS MP7463



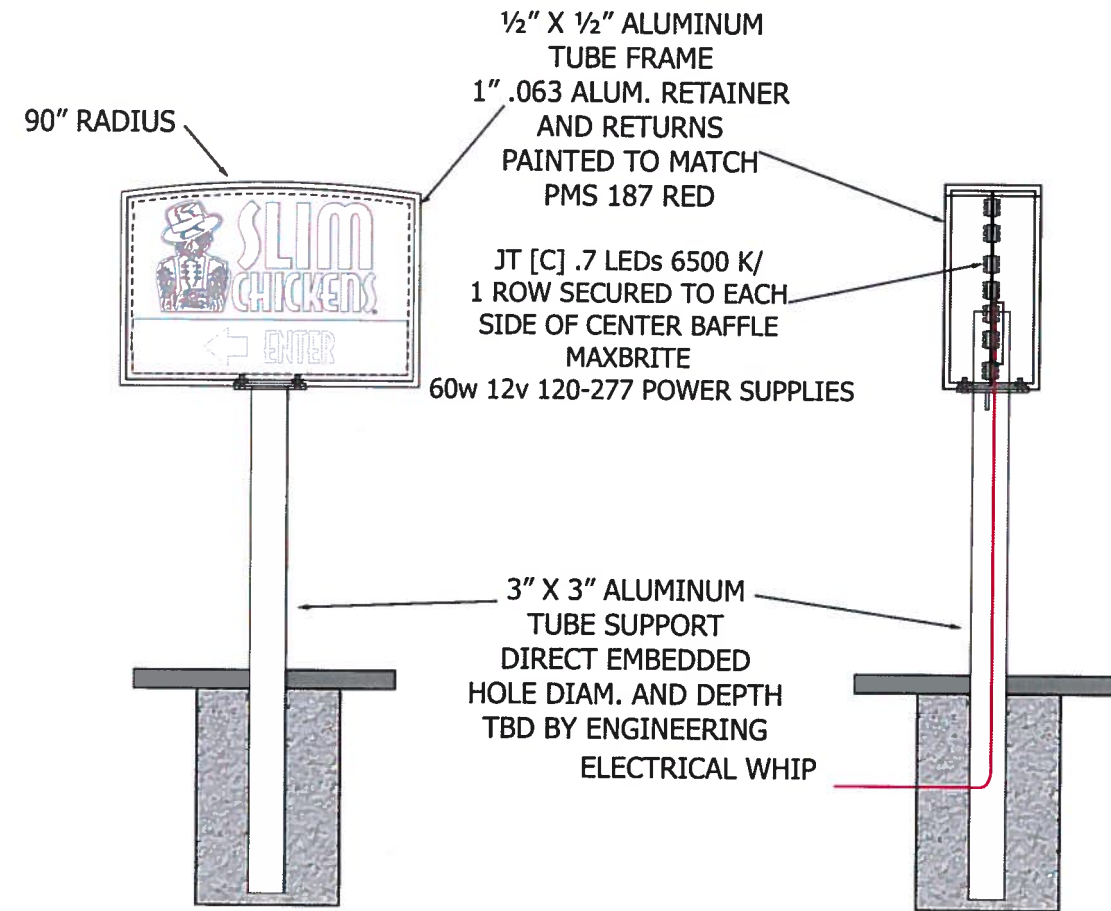
**ALL HARDWARE MUST BE NON-CORROSIVE  
TAG LINE TO BE DETERMINED**

Sign:	Illuminated 3' 5" Tall Directional
Sign Type:	D/F Directional
Illumination:	Face Lit
Square Footage:	3 Sq. Ft Per Side



8C D/F DIRECTIONAL SIGN  
Scale: 3/4"=1'-0"

PMS 186 RED  
VINYL: AVERY A9340-T  
PAINT: MATTHEWS MP7463



ALL HARDWARE MUST BE NON-CORROSIVE  
TAG LINE TO BE DETERMINED

DIRECTIONAL SIGN | 19 of 20

**JONES SIGN**  
Your Vision. Accomplished.  
400 MACK DRIVE CROYDON, PA 19021  
PH: 215.788.3898 FX: 215.788.7588

SS# 58961-R1  
Client: SLIM CHICKENS

Date: 2.23.15  
Drawn By: JM  
Merlin #: XXXXX

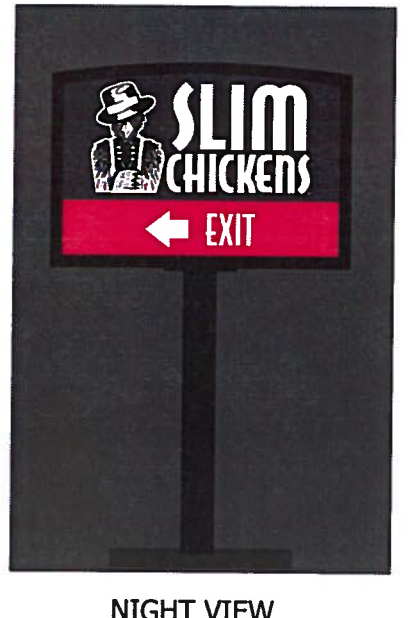
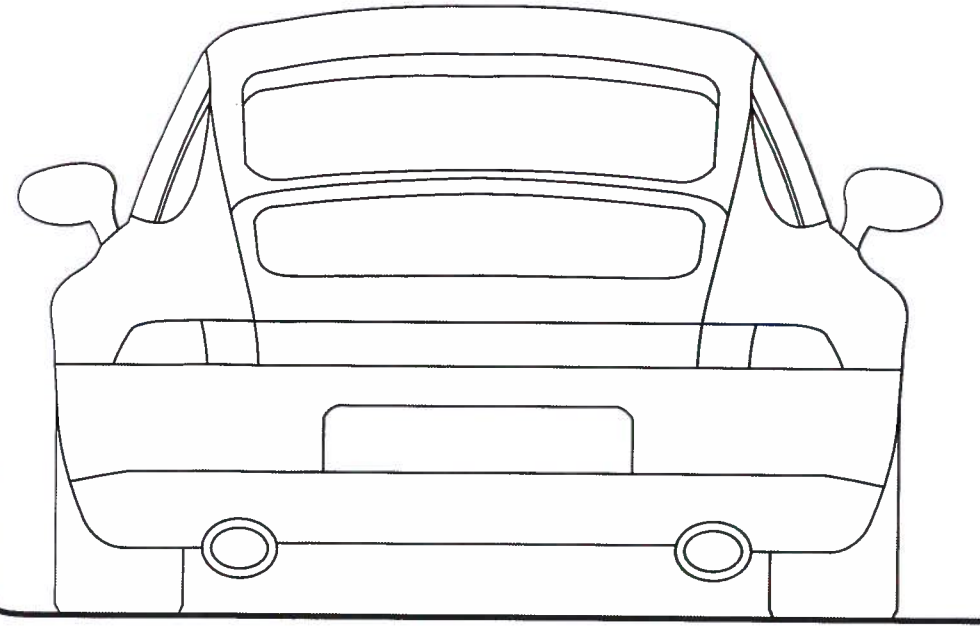
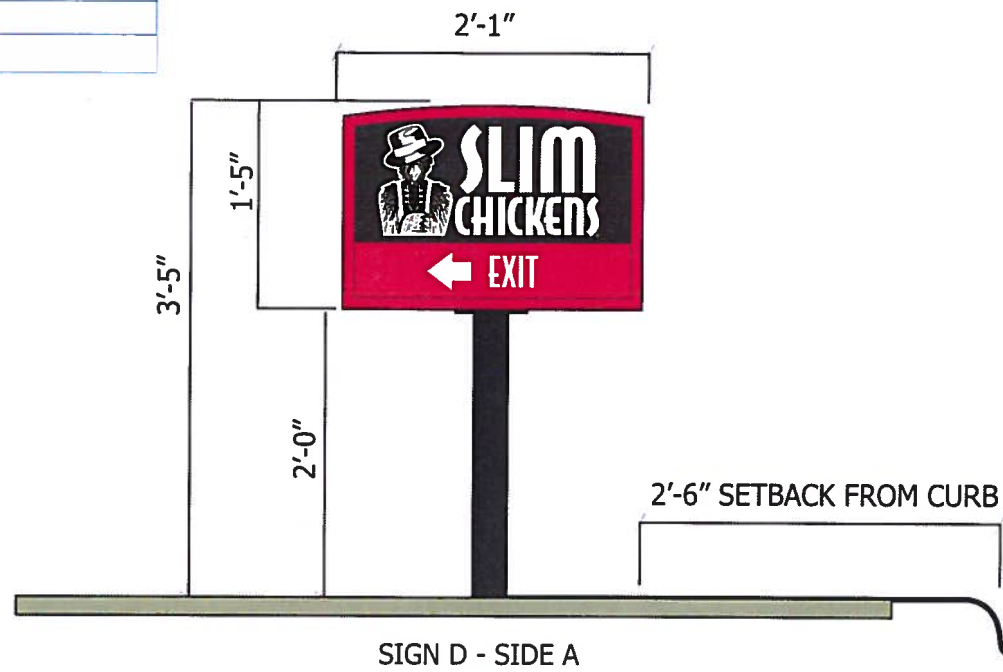
REVISION INFO	
R2 - 00.00.00	XX
R3 - 00.00.00	XX
R4 - 00.00.00	XX
R5 - 00.00.00	XX
R6 - 00.00.00	XX

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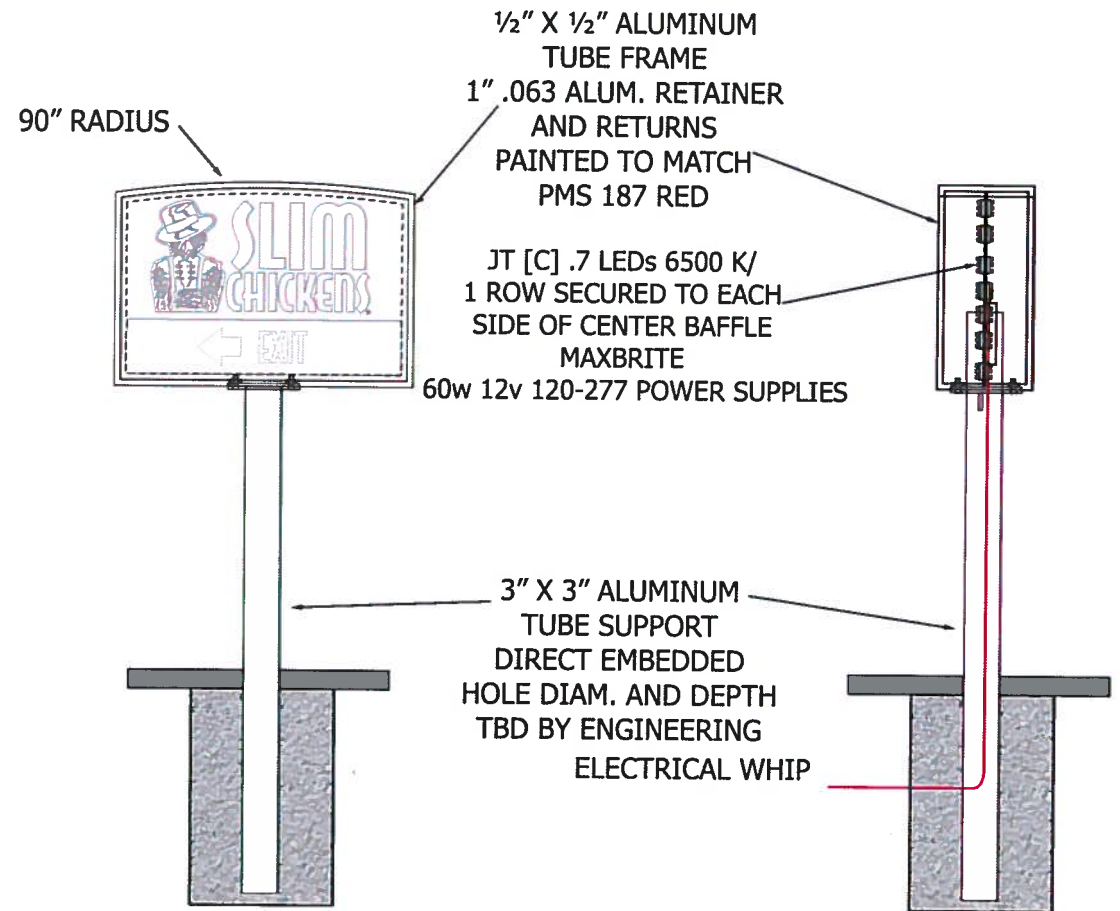


Sign:	Illuminated 3' 5" Tall Directional
Sign Type:	D/F Directional
Illumination:	Face Lit
Square Footage:	3 Sq. Ft Per Side



**8D** D/F DIRECTIONAL SIGN  
Scale: 3/4"=1'-0"

PMS 186 RED  
VINYL: AVERY A9340-T  
PAINT: MATTHEWS MP7463

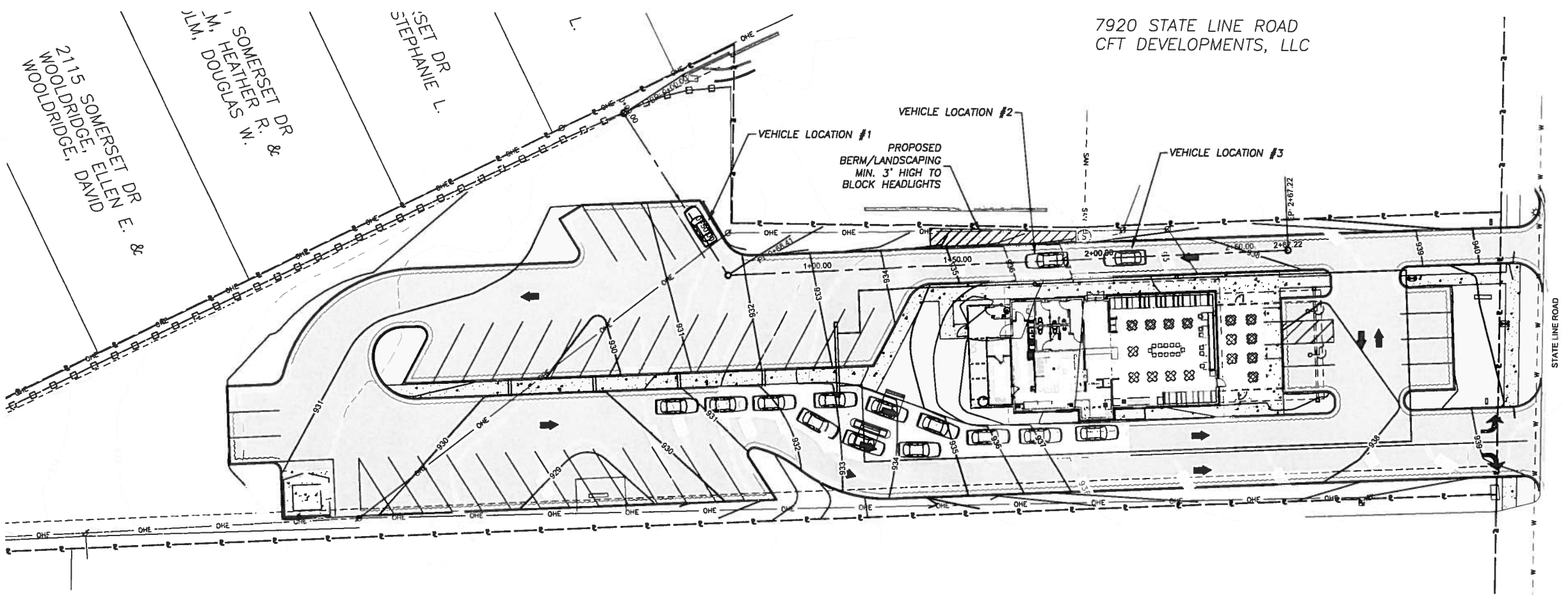


**ALL HARDWARE MUST BE NON-CORROSIVE**  
**TAG LINE TO BE DETERMINED**

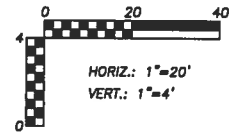
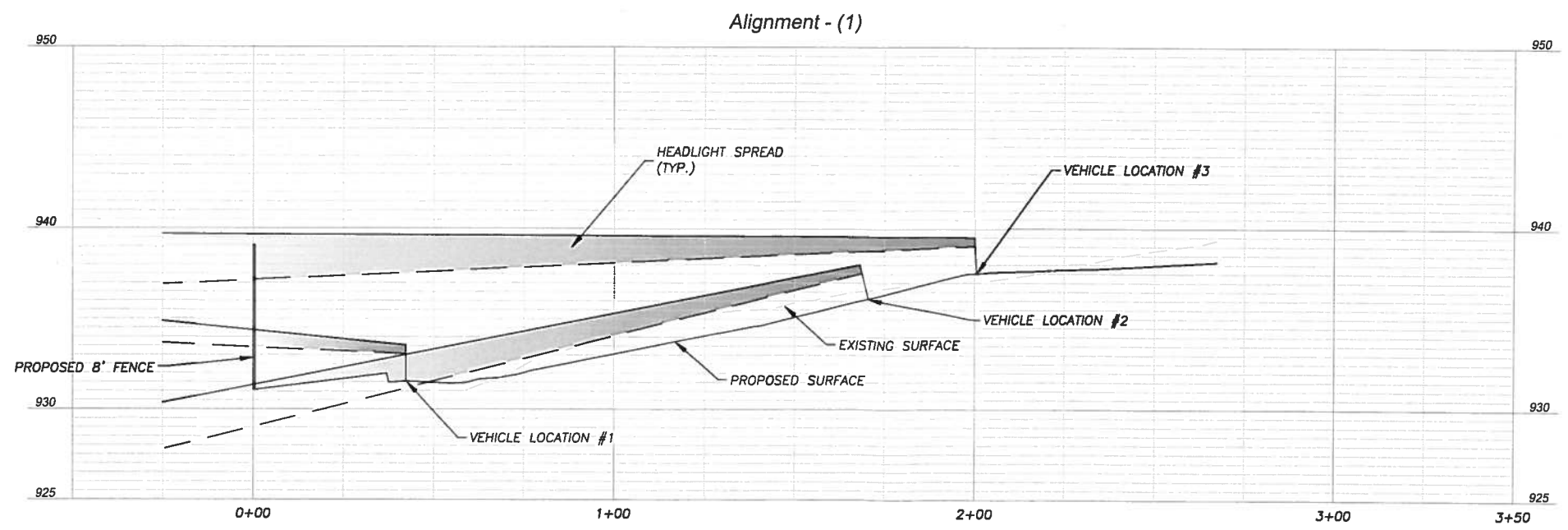
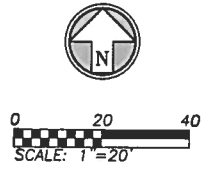
DIRECTIONAL SIGN | 20 of 20

REVISION INFO	
R2 - 00.00.00 XX	_____
R3 - 00.00.00 XX	_____
R4 - 00.00.00 XX	_____
R5 - 00.00.00 XX	_____
R6 - 00.00.00 XX	_____

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7920 STATE LINE ROAD  
CFT DEVELOPMENTS, LLC



Rev.	Date	Description	By	App.

**BHC RHODES**  
Civil Engineering & Surveying • Utilities  
7101 College Blvd., Suite 400  
Overland Park, Kansas 66210  
P: (913) 863-1900 F: (913) 863-1633  
BHC Rhodes is a member of the Parsons Brinckerhoff & Company, P.A.

Prepared For:  
**BLOCK AND COMPANY, INC.**  
605 WEST 47TH STREET  
SUITE 200  
KANSAS CITY, MO 64112  
P: (816) 755-6000

**7930 STATE LINE ROAD  
FINAL DEVELOPMENT PLANS  
PRAIRIE VILLAGE, KANSAS**

**HEADLIGHT PROFILE**

Design: JWB | Drawn: JWB  
Checked: RAE  
Issue Date: 06/19/2015  
Project Number: 021220

Sep 25, 2015 - 11:38am Performed By: jwb,baertz V:\021220\021220-021220-SHIFTS-SITE-PLAN-ROAD.dwg Layout: Layout1

HOOD INFORMATION - Job#2315605

HOOD NO.	TAG	MODEL	LENGTH	MAX. COOKING TEMP.	EXHAUST PLENUM RISER(S)					TOTAL SUPPLY CFM	HOOD CONSTRUCTION	HOOD CONFIG.	
					WIDTH	LENG.	DIA.	CFM	S.P.			END TO END	ROW
1		4830 ND-2-PSP-F	12' 6 00"	600 Deg.	2588		16"	2588	-0 900"	2096	430 SS Where Exposed	ALONE	ALONE

FOR QUESTIONS, CALL THE OKLAHOMA / N.WARK REGIONAL OFFICE  
12101 EAST 51ST STREET, SUITE 101-A, TULSA, OK 74146  
PHONE: (800) 221-7633 FAX: (919) 227-5945

HOOD INFORMATION

HOOD NO.	TAG	FILTER(S)				LIGHT(S)			UTILITY CABINET(S)				FIRE SYSTEM PIPING	HOOD HANGING WGT		
		TYPE	QTY.	HEIGHT	LENGTH	EFFICIENCY @ 9 MICRONS	QTY.	TYPE	WIRE GUARD	LOCATION	FIRE SYSTEM TYPE	SIZE			ELECTRICAL MODEL #	SWITCHES QUANTITY
1		Captrate Solo Filter	9	20"	16"	93% See Filter Spec.	4	L55 Series E26	NO	Left	Ansul R102	3 0/3 0	SC-311110FP	1 Light 1 Fan	YES	947 LBS

HOOD OPTIONS

HOOD NO.	TAG	OPTION
1		FIELD WRAPPER 6'00" High Front, Left, Right
		BACKSPLASH 114'00" High X 191'81" Long 430 SS Vertical
		BACKSPLASH 114'00" High X 211'50" Long 430 SS Vertical
		BACKSPLASH 114'00" High X 80'69" Long 430 SS Vertical
		RIGHT END STANDOFF (FINISHED) 1" Wide 48" Long Insulated
		BACKSPLASH - INSIDE CORNER 114'00" High X 2'00" Leg Length 430 SS Vertical
		BACKSPLASH - INSIDE CORNER 114'00" High X 2'00" Leg Length 430 SS Vertical
		BACKSPLASH - OUTSIDE CORNER 80'00" High X 2'00" Leg Length 430 SS Vertical
		RIGHT QUARTER END PANEL 23" Top Width, 0" Bottom Width, 23" High 430 SS
		LEFT QUARTER END PANEL 23" Top Width, 0" Bottom Width, 23" High 430 SS
		INSULATION FOR TOP OF HOOD
		STRUCTURAL FRONT PANEL
		INSULATION FOR BACK OF HOOD
		SENSOR-CV MOUNT SENSOR(S) IN HOOD CAPTURE VOLUME

**AIR BALANCE NOTE.**  
TOTAL EXHAUST = HOOD EXHAUST\* - HOOD SUPPLY  
TOTAL EXHAUST = 2,588 CFM - 2,096 CFM  
TOTAL EXHAUST = 492 CFM NEEDED FROM HVAC

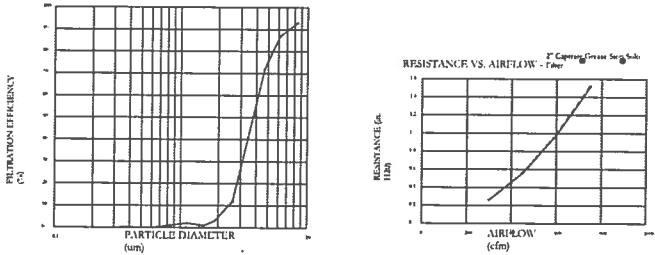
NOTES:  
\*INCLUDES DISHWASHER HOOD(S) IN EXHAUST TOTALS.  
THIS HOOD SYSTEM HAS A HEAT SENSOR(S) THAT COMPLIES WITH IMC 507.2.1.1 FOR AUTOMATIC FAN ACTIVATION WHENEVER COOKING OPERATIONS OCCUR.

CAPTIVE-AIRE HOODS ARE BUILT IN COMPLIANCE WITH  
NFFA #96  
UL 710 & UL710 STANDARDS  
E.T.L. LISTED 3054804-001

SPECIFICATION: CAPTRATE GREASE-STOP SOLO FILTER

THE CAPTRATE GREASE-STOP SOLO FILTER IS A SINGLE-STAGE FILTER FEATURING A UNIQUE S-BAFFLE DESIGN IN CONJUNCTION WITH A SLOTTED REAR BAFFLE DESIGN, TO DELIVER EXCEPTIONAL FILTRATION EFFICIENCY.  
FILTER IS STAINLESS STEEL CONSTRUCTION, AND SIZED TO FIT INTO STANDARD 2-INCH DEEP HOOD CHANNEL(S).  
UNITS SHALL INCLUDE STAINLESS STEEL HANDLES AND A FASTENING DEVICE TO SECURE THE TWO COMPONENTS WHEN ASSEMBLED.  
GREASE EXTRACTION EFFICIENCY PERFORMANCE SHALL REMOVE AT LEAST 75% OF GREASE PARTICLES FIVE MICRONS IN SIZE, AND 90% GREASE PARTICLES SEVEN MICRONS IN SIZE AND LARGER, WITH A CORRESPONDING PRESSURE DROP NOT TO EXCEED 1.0 INCHES OF WATER GAUGE.

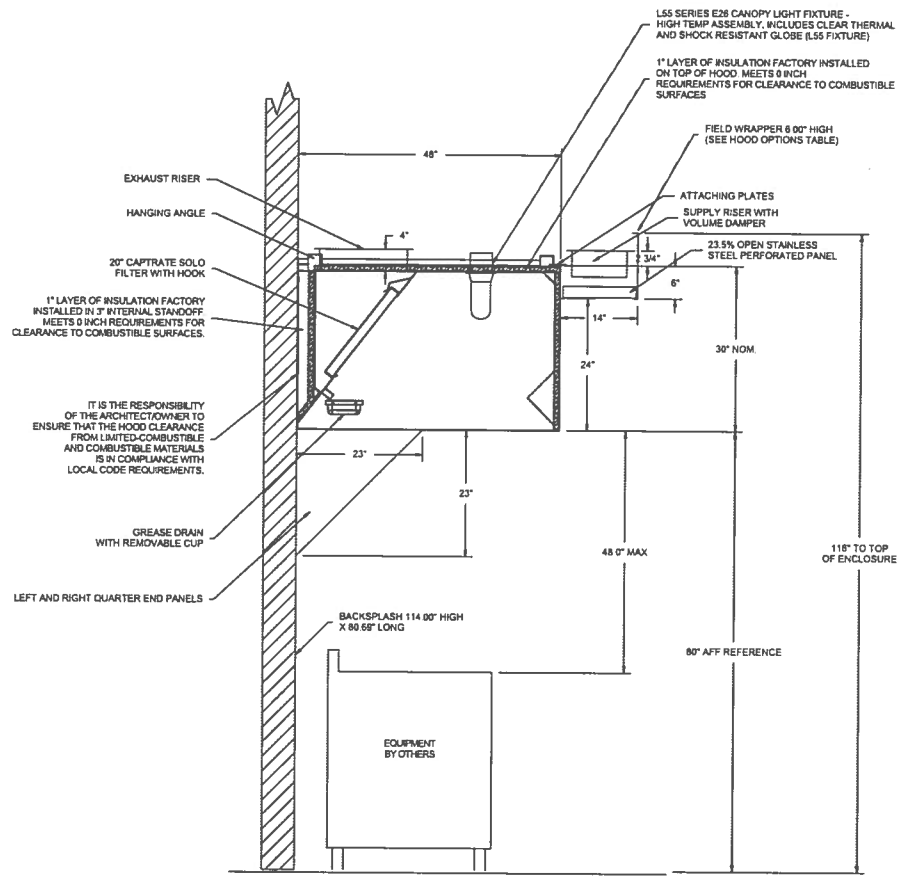
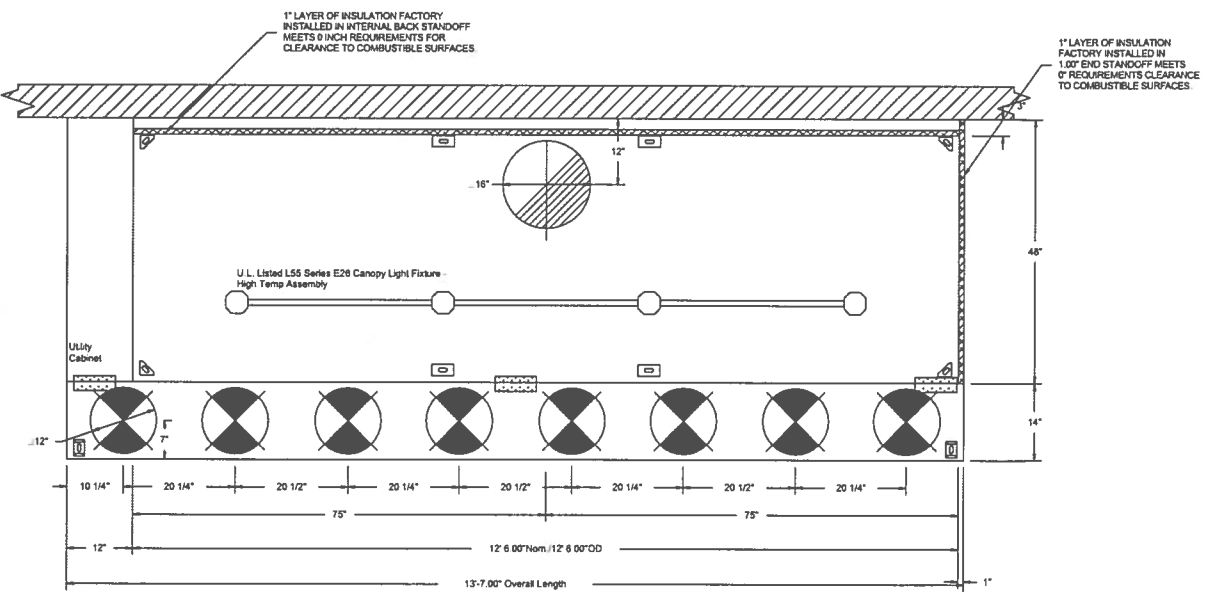
THE CAPTRATE GREASE-STOP SOLO WAS TESTED TO ASTM STANDARD ASTM F2519-05. FILTER COLLECTION EFFICIENCY



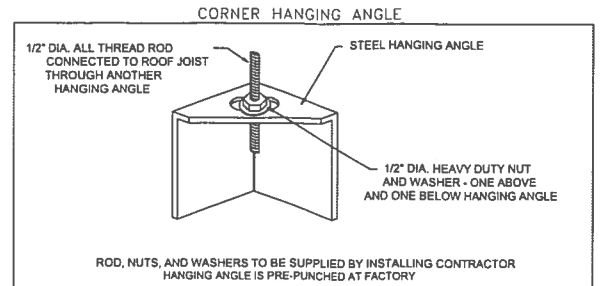
CAPTRATE FILTERS ARE BUILT IN COMPLIANCE WITH:  
NFFA #96  
NSF STANDARD #2  
UL STANDARD #1046  
INT. MECH. CODE (IMC)

PERFORATED SUPPLY PLENUM(S)

HOOD NO.	TAG	POS.	LENGTH	WIDTH	HEIGHT	TYPE	RISER(S)		
							WIDTH	LENG.	DIA.
1		Front	163"	14"	6"	MUA	12"	261	0.087"
						MUA	12"	261	0.087"
						MUA	12"	261	0.087"
						MUA	12"	261	0.087"
						MUA	12"	261	0.087"
						MUA	12"	261	0.087"
						MUA	12"	261	0.087"
						MUA	12"	261	0.087"



**DO NOT INSTALL**  
HVAC RETURNS   
OR 4-WAY DIFFUSERS   
WITHIN TEN (10) FEET OF HOOD



\*\* Below Work to be performed by factory trained and TAB certified servicing agent \*\*  
- Verify that all components are installed correctly and are in accordance with as built drawings  
- All equipment to be commissioned per start-up procedures in O&M documents  
- Check fan rotation, belt tension, blower and motor rpm, amperage and adjust if necessary  
- Hood / Fans test and balance worksheet and provide to the Mechanical Engineer  
- Verify and adjust equipment to ensure hood captures correctly and features perform as designed  
- Consult with contractors and answer their questions or direct them to the technical support line  
- Provide guidance on the proper function and maintenance of equipment to Owners or General Contractors  
- Complete Manufacturers Startup and Warranty form and send copy to Mechanical Engineer for their files

SECTION VIEW - MODEL 4830ND-2-1SP-F  
HOOD #1

**REVISIONS**


**CAPTIVE-AIRE**  
OKLAHOMA OFFICE  
12101 East 51st Street, Suite 101-A, Tulsa, OK, 74146  
PHONE: (800) 221-7633 FAX: (919) 227-5947 EMAIL: rmg@captivaire.com

STREET ADDRESS  
CITY, STATE 00000

DATE: 1/2015  
DWG.#: 2315605  
DRAWN BY: JWF\_CAS80  
SCALE: 3/4" = 1'-0"  
MASTER DRAWING

SHEET NO.  
H1.0

**EXHAUST FAN INFORMATION - Job#2315605**

FAN UNIT NO.	TAG	FAN UNIT MODEL #	CFM	ESP.	RPM	H.P.	B.H.P.	∅	VOLT	FLA	WEIGHT (LBS.)	SONES
1	KEF-1	NCA16HPFA	2588	1.200	1272	1.500	0.9790	3	208	5.0	152	14

**MUA FAN INFORMATION Job#2315605**

FAN UNIT NO.	TAG	FAN UNIT MODEL #	BLOWER	HOUSING	CFM	ESP.	RPM	H.P.	B.H.P.	∅	VOLT	FLA	WEIGHT (LBS.)	SONES
2	KMAU-1	INLINE1L-G10	G10	INLINE.1L	2096	0.500	969	1.000	0.7500	3	208	3.9	184	11

**FAN OPTIONS**

FAN UNIT NO.	TAG	OPTION (Qty - Descr)
1	KEF-1	1 - Grease Box
		1 - Fan Base Ceramic Seal - For Grease Ducts
2	KMAU-1	1 - INLINE1 Indoor Hanging Option - Includes 2 HSA125 Hanging Spring Isolators per Uni-Strut

**FAN ACCESSORIES**

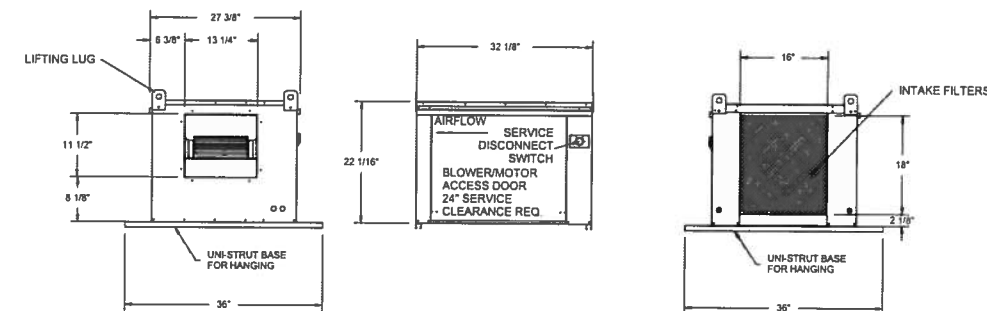
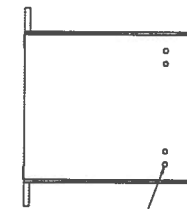
FAN UNIT NO.	TAG	EXHAUST				SUPPLY			
		GREASE CUP	GRAVITY DAMPER	WALL MOUNT	SIDE DISCHARGE	GRAVITY DAMPER	MOTORIZED DAMPER	WALL MOUNT	
1	KEF-1	YES							
2	KMAU-1				YES				

**CURB ASSEMBLIES**

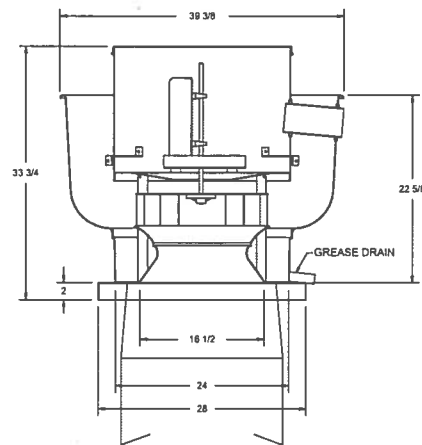
NO.	ON FAN	WEIGHT	ITEM	SIZE
1	#1	41 LBS	Curb	26.500"W x 28.500"L x 20.000"H Hinged

Locations in cold or hot climates may require tempered make-up air. Please consult with CaptiveAire for more information and/or pricing.

FAN #2 INLINE1L-G10 - SUPPLY FAN (KMAU-1)  
 1. LOW PROFILE INLINE SUPPLY UNIT W/ 10" BLOWER IN SIZE #1 HOUSING. INSULATED HOUSING  
 2. SIDE DISCHARGE - AIR FLOW RIGHT → LEFT  
 3. INDOOR HANGING CRADLE FOR THE SIZE 1 UNITEMPERED INLINE UNIT 2 HSA125 HANGING ISOLATORS PER UNI-STRUT INCLUDED.



FAN #1 NCA16HPFA - EXHAUST FAN (KEF-1)



**FEATURES:**

- ROOF MOUNTED FANS
- RESTAURANT MODEL
- UL705 AND UL782
- AMCA SOUND AND AIR CERTIFIED
- WIRING FROM MOTOR TO DISCONNECT SWITCH
- WEATHERPROOF DISCONNECT
- HIGH HEAT OPERATION 300°F (149°C)
- GREASE CLASSIFICATION TESTING

**NORMAL TEMPERATURE TEST**  
 EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING AIR AT 300°F (149°C) UNTIL ALL FAN PARTS HAVE REACHED THERMAL EQUILIBRIUM AND WITHOUT ANY DETERIORATING EFFECTS TO THE FAN WHICH WOULD CAUSE UNSAFE OPERATION.

**ABNORMAL FLARE-UP TEST**  
 EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING BURNING GREASE VAPORS AT 600°F (316°C) FOR A PERIOD OF 15 MINUTES WITHOUT THE FAN BECOMING DAMAGED TO ANY EXTENT THAT COULD CAUSE AN UNSAFE CONDITION.

**OPTIONS**

- GREASE BOX
- FAN BASE CERAMIC SEAL - FOR GREASE DUCTS

DUCTWORK BETWEEN EXHAUST RISER ON HOOD AND FAN (BY OTHERS)

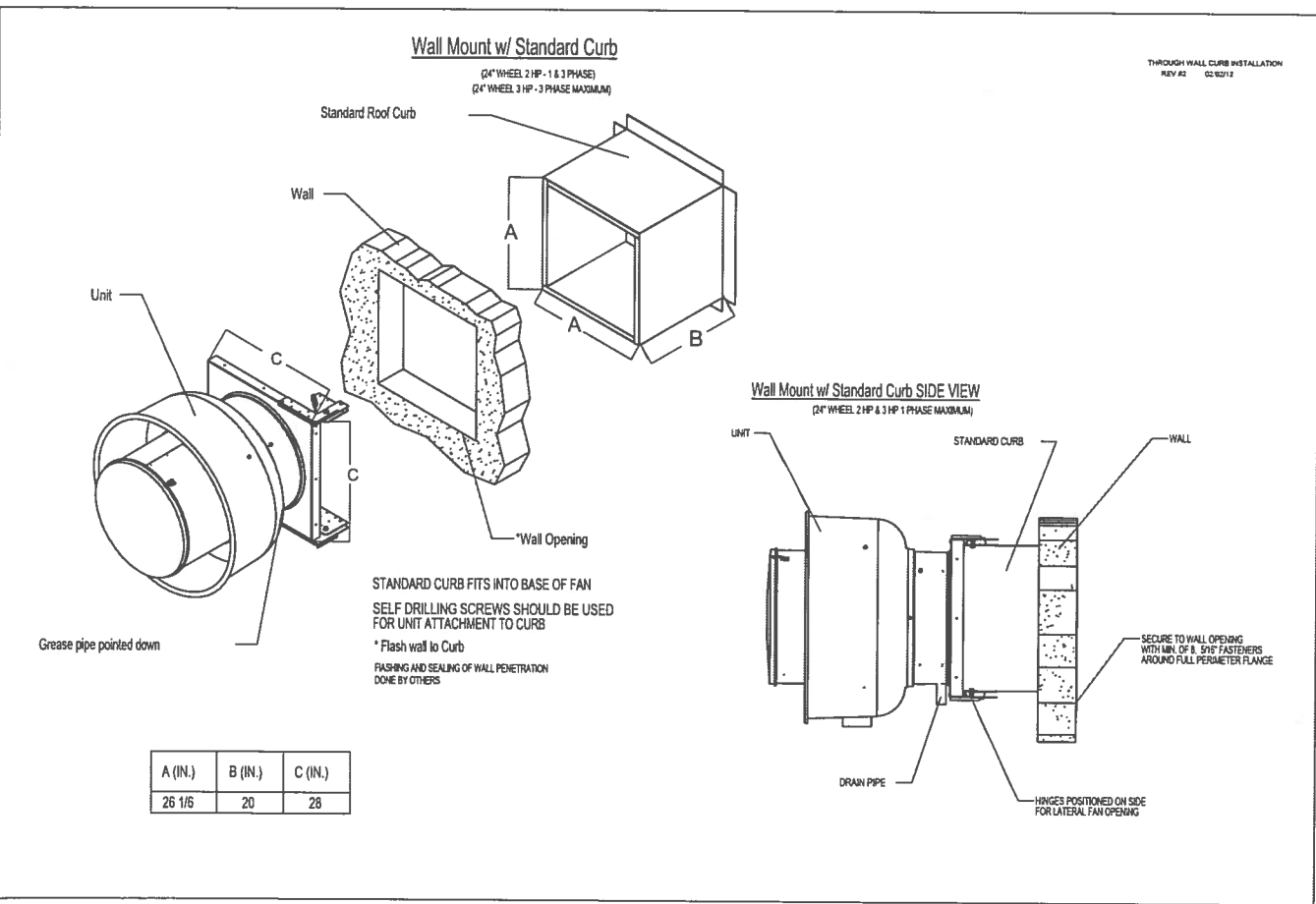
\*\* Below Work to be performed by factory trained and TAB certified servicing agent. \*\*

- Verify that all components are installed correctly and are in accordance with as built drawings
- All equipment to be commissioned per start-up procedures in O&M documents
- Check fan rotation, belt tension, blower and motor rpm, amperage and adjust if necessary
- Hood / Fans test and balance worksheet and provide to the Mechanical Engineer
- Verify and adjust equipment to assure hood captures correctly and features perform as designed
- Consult with contractors and answer their questions or direct them to the technical support line
- Provide guidance on the proper function and maintenance of equipment to Owners or General Contractors
- Complete Manufacturers Start-up and Warranty form and send copy to Mechanical Engineer for their files

FOR QUESTIONS, CALL THE OKLAHOMA / N.WARK REGIONAL OFFICE  
 12101 EAST 51ST STREET, SUITE 101-A, TULSA, OK 74146  
 PHONE (800) 221-7633 FAX: (919) 227-5945

**REVISIONS**


**CAPTIVE**  
 OKLAHOMA OFFICE  
 12101 East 51st Street, Suite 101A, Tulsa, OK, 74146 PHONE: (918) 258-0291 FAX: (919) 227-5947 EMAIL: rpg80@captiveaire.com www.captiveaire.com



STREET ADDRESS  
 CITY, STATE 00000

DATE: \_\_\_\_\_

DWG.#: 2315605

DRAWN BY: JUF\_CAS80

SCALE: 1/4" = 1'-0"

MASTER DRAWING

SHEET NO. H3.0

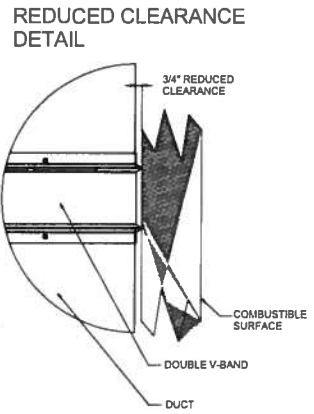
FOR QUESTIONS, CALL THE  
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12101 EAST 51ST STREET, SUITE 101-A, TULSA, OK 74146  
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**EXAMPLE ONLY**



**FACTORY BUILT DOUBLE WALL GREASE DUCT MODEL DW-3Z SPECIFICATION:**  
FURNISH DOUBLE WALL FACTORY BUILT GREASE DUCT FOR USE WITH TYPE I KITCHEN HOODS WHICH COMPLY TO THE REQUIREMENTS OF NFPA 96. PRODUCTS SHALL BE ETL LISTED TO UL 197E AND UL-2211 FOR VENTING AIR AND GREASE VAPORS FROM COMMERCIAL COOKING OPERATION. TESTING HAS BEEN EXTENDED TO RECOGNIZE ASTM E230 AND ASTM E119 DUE TO SIMILAR TESTING CRITERIA. MODELS DW-3R AND 3Z ARE USED FOR GREASE DUCT APPLICATIONS WHEN INSTALLED IN ACCORDANCE WITH THESE INSTRUCTIONS AND NFPA 96 STANDARD FOR VENTILATION CONTROL AND FIRE PROTECTION OF COMMERCIAL COOKING OPERATIONS. DOUBLE WALL GREASE DUCTS ARE LISTED FOR A CONTINUOUS INTERNAL TEMPERATURE OF 500 DEGREES F AND INTERMITTENT TEMPERATURES OF 700 DEGREES F.  
THE DUCT SECTIONS SHALL BE CONSTRUCTED OF AN INNER DUCT WALL AND AN OUTER WALL WITH INSULATION IN BETWEEN. THE INNER DUCT WALL SHALL BE CONSTRUCTED OF 18 GAUCH THIN, 438 TYPE STAINLESS STEEL AND BE AVAILABLE IN DIAMETERS 8" THROUGH 24". THE OUTER WALL SHALL BE CONSTRUCTED OF STAINLESS STEEL AT A MINIMUM OF 264 HCH THICKNESS. THE DUCT BASED ON MODEL NUMBER SHALL INCLUDE LAYERS OF SUPER WOOL 8ET PLUS INSULATION BETWEEN THE INNER AND OUTER WALL. GREASE DUCT JOINTS SHALL BE HELD TOGETHER BY MEANS OF FORMED V-CRAMPS AND SEALED WITH 3/4 FIRE BARRIER 2000+. THE DUCT WALL ASSEMBLY SHALL BE TESTED AT 3/4" OR ZERO INCH CLEARANCE, ACCORDING TO CLASSIFICATION.  
CLASSIFICATIONS AND CLEARANCES  
UL 2211 STANDARD FOR FIRE RESISTIVE GREASE DUCT ENCLOSURE ASSEMBLIES. CHAPTER 7 OF THIS STANDARD REFERENCE A TEST LABELED INTERNAL FIRE TEST SECTION 7.11 REFERENCE THIS INSTALLATION CONDITION, CONDITION A AND CONDITION B. CONDITION A REPRESENTS ALL INSTALLATION CONDITION EXCEPT FOR INSTALLATION WITHIN NON-VENTILATED COMBUSTIBLE ENCLOSURES. CONDITION B REPRESENTS INSTALLATION WITHIN A NON-VENTILATED COMBUSTIBLE ENCLOSURE.  
MODEL DW-3Z IS CLASSIFIED UNDER UL2211 AS AN ALTERNATE TO 2 HR FIRE RESISTIVE SHAFT ENCLOSURES WITH A MINIMUM BEND CLEARANCE TO COMBUSTIBLES (SIZE 8" TO 24" DIAMETER). MODEL 3Z IS LISTED IN ACCORDANCE WITH THE REQUIREMENTS FOR DUCT ENCLOSURE CONDITION A AND B.  
DOUBLE WALL GREASE DUCT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION OPERATION AND MAINTENANCE MANUAL, ETL LISTING, STATE AND LOCAL CODES. FANS SHALL BE SUPPORTED INDEPENDENTLY FROM THE GREASE DUCT SECTIONS. PROTECT GREASE DUCT FROM TWISTING OR MOVEMENT CAUSED BY FAN TORQUE OR VIBRATION.  
CERTIFICATIONS  
THE DW-3Z SERIES HAS BEEN CERTIFIED BY ITS TEST CERTIFICATION MARK INDICATES THAT THE PRODUCT HAS BEEN TESTED TO AND HAS MET THE MINIMUM REQUIREMENTS OF A WIDELY RECOGNIZED (CONSUMER) U.S. AND CANADIAN PRODUCTS SAFETY STANDARD. THAT THE MANUFACTURING SITE HAS BEEN AUDITED AND THAT THE APPLICANT HAS AGREED TO A PROGRAM OF PERIODIC FACTORY FOLLOW-UP INSPECTIONS TO VERIFY CONTINUED PERFORMANCE.

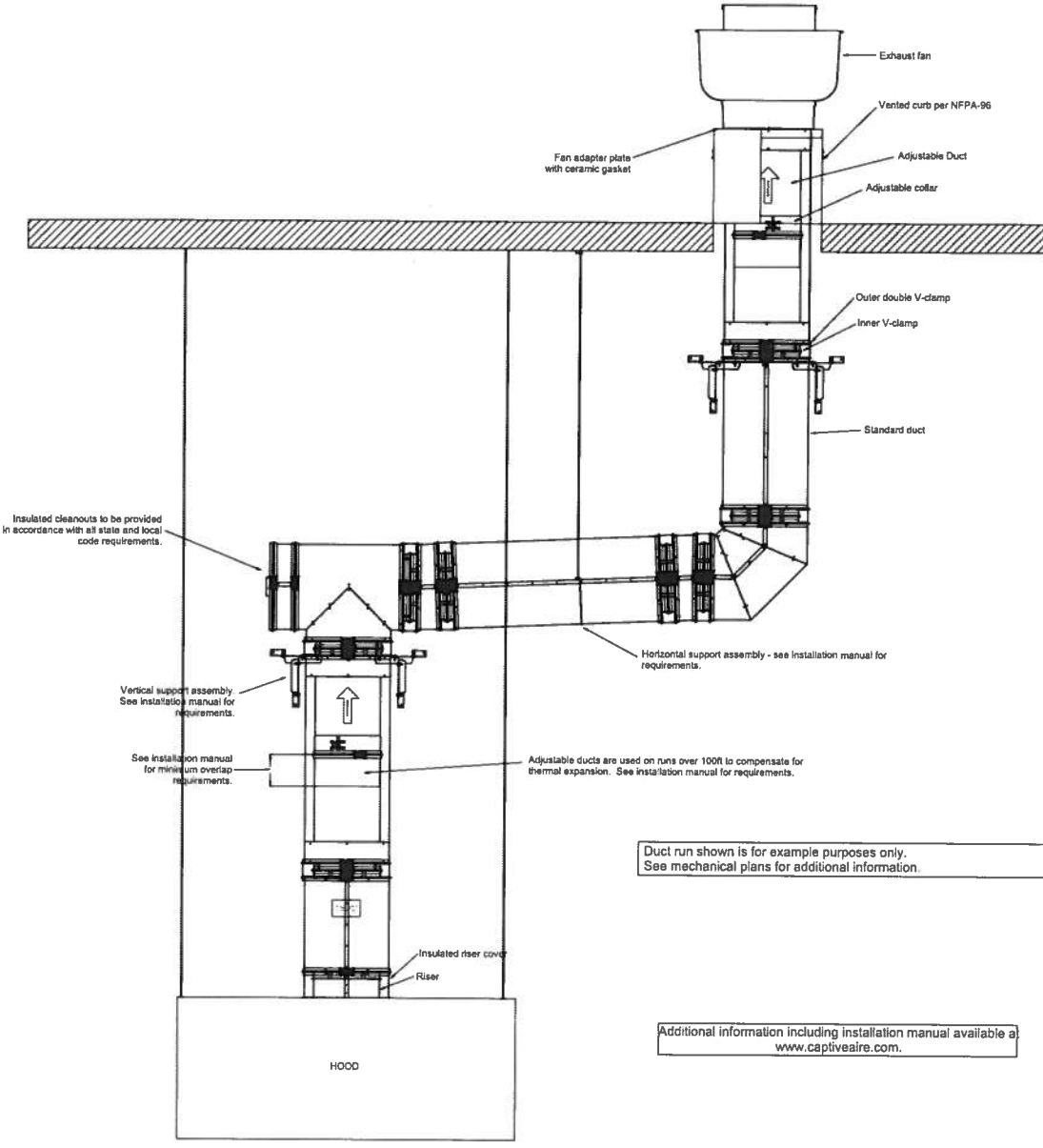
3Z

**FACTORY BUILT DOUBLE WALL GREASE DUCT MODEL DW-3R SPECIFICATION:**  
FURNISH DOUBLE WALL FACTORY BUILT GREASE DUCT FOR USE WITH TYPE I KITCHEN HOODS WHICH COMPLY TO THE REQUIREMENTS OF NFPA 96. PRODUCTS SHALL BE ETL LISTED TO UL 197E AND UL-2211 FOR VENTING AIR AND GREASE VAPORS FROM COMMERCIAL COOKING OPERATION. TESTING HAS BEEN EXTENDED TO RECOGNIZE ASTM E230 AND ASTM E119 DUE TO SIMILAR TESTING CRITERIA. MODELS DW-3R AND 3Z ARE USED FOR GREASE DUCT APPLICATIONS WHEN INSTALLED IN ACCORDANCE WITH THESE INSTRUCTIONS AND NFPA 96 STANDARD FOR VENTILATION CONTROL AND FIRE PROTECTION OF COMMERCIAL COOKING OPERATIONS. DOUBLE WALL GREASE DUCTS ARE LISTED FOR A CONTINUOUS INTERNAL TEMPERATURE OF 500 DEGREES F AND INTERMITTENT TEMPERATURES OF 700 DEGREES F.  
THE DUCT SECTIONS SHALL BE CONSTRUCTED OF AN INNER DUCT WALL AND AN OUTER WALL WITH INSULATION IN BETWEEN. THE INNER DUCT WALL SHALL BE CONSTRUCTED OF 18 GAUCH THIN, 438 TYPE STAINLESS STEEL AND BE AVAILABLE IN DIAMETERS 8" THROUGH 24". THE OUTER WALL SHALL BE CONSTRUCTED OF STAINLESS STEEL AT A MINIMUM OF 264 HCH THICKNESS. THE DUCT BASED ON MODEL NUMBER SHALL INCLUDE LAYERS OF SUPER WOOL 8ET PLUS INSULATION BETWEEN THE INNER AND OUTER WALL. GREASE DUCT JOINTS SHALL BE HELD TOGETHER BY MEANS OF FORMED V-CRAMPS AND SEALED WITH 3/4 FIRE BARRIER 2000+. THE DUCT WALL ASSEMBLY SHALL BE TESTED AT 3/4" OR ZERO INCH CLEARANCE, ACCORDING TO CLASSIFICATION.  
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MODEL DW-3R IS CLASSIFIED UNDER UL2211 AS AN ALTERNATE TO 2 HR FIRE RESISTIVE SHAFT ENCLOSURES WITH A REDUCED CLEARANCE TO COMBUSTIBLES (SIZE 8" TO 24" DIAMETER). MODEL 3R IS LISTED IN ACCORDANCE WITH THE REQUIREMENTS FOR DUCT ENCLOSURE CONDITION B.  
MODEL DW-3R 3/4" CLEARANCE TO COMBUSTIBLES FROM THE SURFACE OF THE DUCT OUTER SHELL. ZERO INCH CLEARANCE FROM COMBUSTIBLES FROM THE TIP OF THE OUTER V-BAND.  
DOUBLE WALL GREASE DUCT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION OPERATION AND MAINTENANCE MANUAL, ETL LISTING, STATE AND LOCAL CODES. FANS SHALL BE SUPPORTED INDEPENDENTLY FROM THE GREASE DUCT SECTIONS. PROTECT GREASE DUCT FROM TWISTING OR MOVEMENT CAUSED BY FAN TORQUE OR VIBRATION.  
CERTIFICATIONS  
THE DW-3R SERIES HAS BEEN CERTIFIED BY ITS TEST CERTIFICATION MARK INDICATES THAT THE PRODUCT HAS BEEN TESTED TO AND HAS MET THE MINIMUM REQUIREMENTS OF A WIDELY RECOGNIZED (CONSUMER) U.S. AND CANADIAN PRODUCTS SAFETY STANDARD. THAT THE MANUFACTURING SITE HAS BEEN AUDITED AND THAT THE APPLICANT HAS AGREED TO A PROGRAM OF PERIODIC FACTORY FOLLOW-UP INSPECTIONS TO VERIFY CONTINUED PERFORMANCE.

3R

**FACTORY BUILT DOUBLE WALL GREASE DUCT MODEL DW-2R SPECIFICATION:**  
FURNISH DOUBLE WALL FACTORY BUILT GREASE DUCT FOR USE WITH TYPE I KITCHEN HOODS WHICH COMPLY TO THE REQUIREMENTS OF NFPA 96. PRODUCTS SHALL BE ETL LISTED TO UL 197E AND UL-2211 FOR VENTING AIR AND GREASE VAPORS FROM COMMERCIAL COOKING OPERATION. TESTING HAS BEEN EXTENDED TO RECOGNIZE ASTM E230 AND ASTM E119 DUE TO SIMILAR TESTING CRITERIA. MODELS DW-3R AND 3Z ARE USED FOR GREASE DUCT APPLICATIONS WHEN INSTALLED IN ACCORDANCE WITH THESE INSTRUCTIONS AND NFPA 96 STANDARD FOR VENTILATION CONTROL AND FIRE PROTECTION OF COMMERCIAL COOKING OPERATIONS. DOUBLE WALL GREASE DUCTS ARE LISTED FOR A CONTINUOUS INTERNAL TEMPERATURE OF 500 DEGREES F AND INTERMITTENT TEMPERATURES OF 700 DEGREES F.  
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MODEL DW-2R IS CLASSIFIED UNDER UL2211 AS AN ALTERNATE TO 2 HR FIRE RESISTIVE SHAFT ENCLOSURES WITH A REDUCED CLEARANCE TO COMBUSTIBLES (SIZE 8" TO 24" DIAMETER). MODEL 2R IS LISTED IN ACCORDANCE WITH THE REQUIREMENTS FOR DUCT ENCLOSURE CONDITION B.  
MODEL DW-2R 3/4" CLEARANCE TO COMBUSTIBLES FROM THE SURFACE OF THE DUCT OUTER SHELL. ZERO INCH CLEARANCE FROM COMBUSTIBLES FROM THE TIP OF THE OUTER V-BAND.  
DOUBLE WALL GREASE DUCT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION OPERATION AND MAINTENANCE MANUAL, ETL LISTING, STATE AND LOCAL CODES. FANS SHALL BE SUPPORTED INDEPENDENTLY FROM THE GREASE DUCT SECTIONS. PROTECT GREASE DUCT FROM TWISTING OR MOVEMENT CAUSED BY FAN TORQUE OR VIBRATION.  
CERTIFICATIONS  
THE DW-2R SERIES HAS BEEN CERTIFIED BY ITS TEST CERTIFICATION MARK INDICATES THAT THE PRODUCT HAS BEEN TESTED TO AND HAS MET THE MINIMUM REQUIREMENTS OF A WIDELY RECOGNIZED (CONSUMER) U.S. AND CANADIAN PRODUCTS SAFETY STANDARD. THAT THE MANUFACTURING SITE HAS BEEN AUDITED AND THAT THE APPLICANT HAS AGREED TO A PROGRAM OF PERIODIC FACTORY FOLLOW-UP INSPECTIONS TO VERIFY CONTINUED PERFORMANCE.

2R



Additional information including installation manual available at  
[www.captiveair.com](http://www.captiveair.com).

STREET ADDRESS  
CITY, STATE 00000

DATE: 1/2015

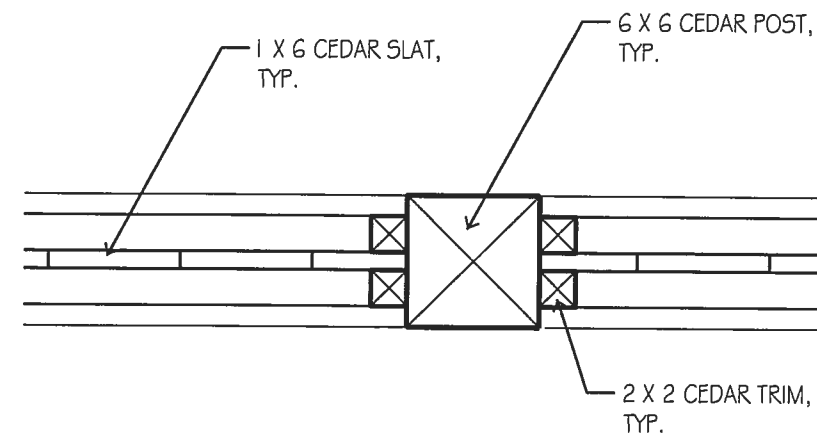
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2315605

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JJF\_CAS80

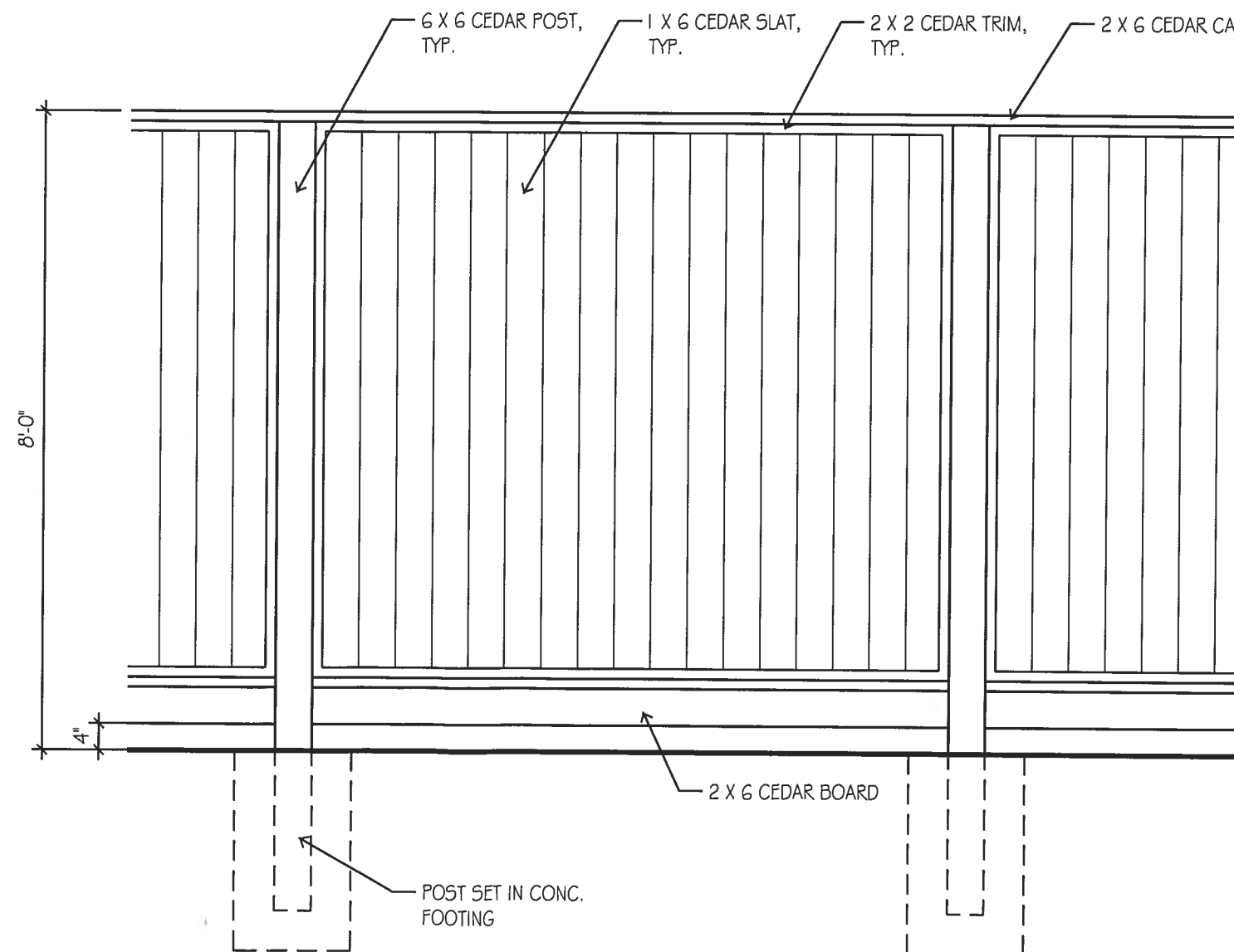
SCALE:  
3/4" = 1'-0"

MASTER DRAWING

SHEET NO.  
H5.0



**ENLARGED PLAN** (2)  
SCALE: 1 1/2" = 1'-0"



**TYPICAL FENCE ELEVATION** (1)  
SCALE: 1/2" = 1'-0"



10955 LOWELL AVENUE, SUITE 700 • OVERLAND PARK, KS 66210  
ph: 913.649.8181 • fx: 913.649.1275 • www.klover.net

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project title  
SLIM CHICKENS

project location  
7930 STATELINE ROAD  
PRARIE VILLAGE, KS 66208

project number  
15135.001

drawing issuance  
FINAL PLANNING SUBMITTAL 09.25.15

drawing revision  
#  
professional seal

### Site Lighting Fixture Schedule

Type Mark	Description	Manufacturer	Model	Mounting	Voltage	Wattage	Lamp Type	QTY	Mounting AFF
T1	Pole Mounted LED, Type 3, Pole to be 20' square steel	Cooper - McGRAW	GLEON-AE-04-LED-E1-SL4-BZ-HSS	Pole	120 V	202 W	LED	1	22'
T2	Pole Mounted LED, type 5 narrow, Pole to be 20' square steel	Cooper - McGRAW	GLEON-AE-04-LED-E1-SN-Q-BZ	Pole	120 V	202 W	LED	3	22'
T3	Pole Mounted LED, type 2, Pole to be 20' square steel	Cooper - McGRAW	GLEON-AE-04-LED-E1-SL2-BZ-HSS	Pole	120 V	202 W	LED	3	22'
K	RLM Dome Gooseneck	TMS Lighting	SC30250-LD-K	Wall Mount	120 V	22 W	LED	12	Over Windows: 94" Drive Thru 109" Main Entrance 106" to Center of Box

**McGRAW-EDISON**

**DESCRIPTION**  
The GLEON™ LED luminaire delivers exceptional performance in a highly visible, low-profile design. Patented, high-efficiency Asymmetrical Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, machine, building areas and security lighting applications. 90-130° beam.

**OPERATIONAL FEATURES**

**Construction:** Extruded aluminum driver enclosure internally isolated from Light Source for optimal thermal performance. Heavy-duty die-cast aluminum and zinc anode housing and die-cast aluminum heat sink. A unique, custom pending waterproof housing and seal are provided with standard structural rigidity. 3G – vibration tested. Optional heat sink harness available for use at every 1000 electrical chamber. Housing is IP68 rated.

**Optics:** Choice of 18 patented, high efficiency AsymLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spanning. AsymLED Optics spread narrow distributions with the capability to meet individual equipment requirements. Offered standard in 8000K, 7000K CCT and museum 95 CR. Optional 6500K CCT and 3000K CCT. For the ultimate level of spill light control, an optional lens with shield assembly can be field or factory installed. The lens side shield is designed to minimize ingress with the SL2, SL3, SL4 or AXL optics.

**Electrical:** LED drivers are mounted in removable tray assembly for ease of replacement. 175-277V 30/50/80/100/150W LED driver. Standard with 0-10V dimming. Chipped resistor with ColorCast. Lighting proprietary motor module designed to withstand 150V of transient line surge. The GLEON LED luminaire is suitable for operation in -40°C to 40°C ambient temperatures. For applications with ambient temperatures exceeding 40°C, specify the HSL (High Ambient) option. Light Sources are IP68 rated. Order their IP68 luminaire enclosure encased in 8000K hours. Available in standard LA drive harness and optional 820mA and 850mA drive harness.

**Mounting:** Extruded aluminum arm includes internal ball guide allowing for easy re-positioning of fixture during assembly. Designed for pole or wall mounting. When mounting two or more luminaires at 90° or 135° apart, the LED mounted arm may be required. Refer to the arm mounting requirement table on page 3. Round pole top indicator included. For wall mounting, specify and mount bracket option. 3G – vibration rated.

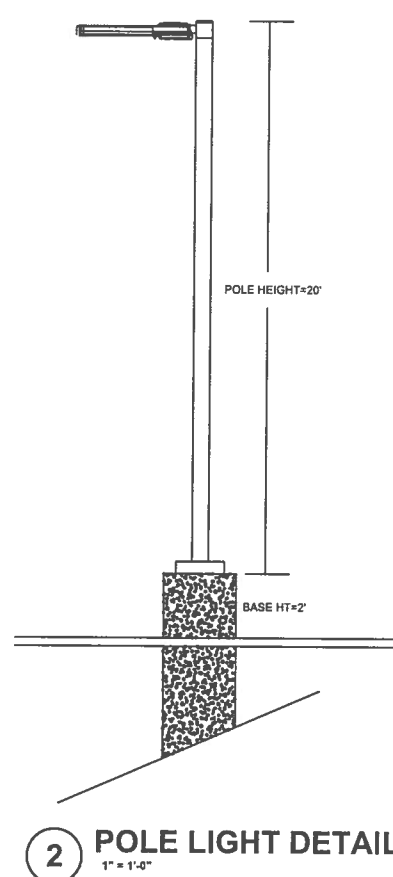
**Finish:** Housing finished in super durable T5C polyester powder coat paint, 2.5 mil minimum thickness for superior protection against fade and color bleed thru to powder coated black. Standard colors include black, bronze, grey, white, dark aluminum and graphite metallic. RAL and custom color matching available. Contact the McGraw-Edison Architectural Color brochure for the complete selection.

**Warranty:** Five-year warranty.

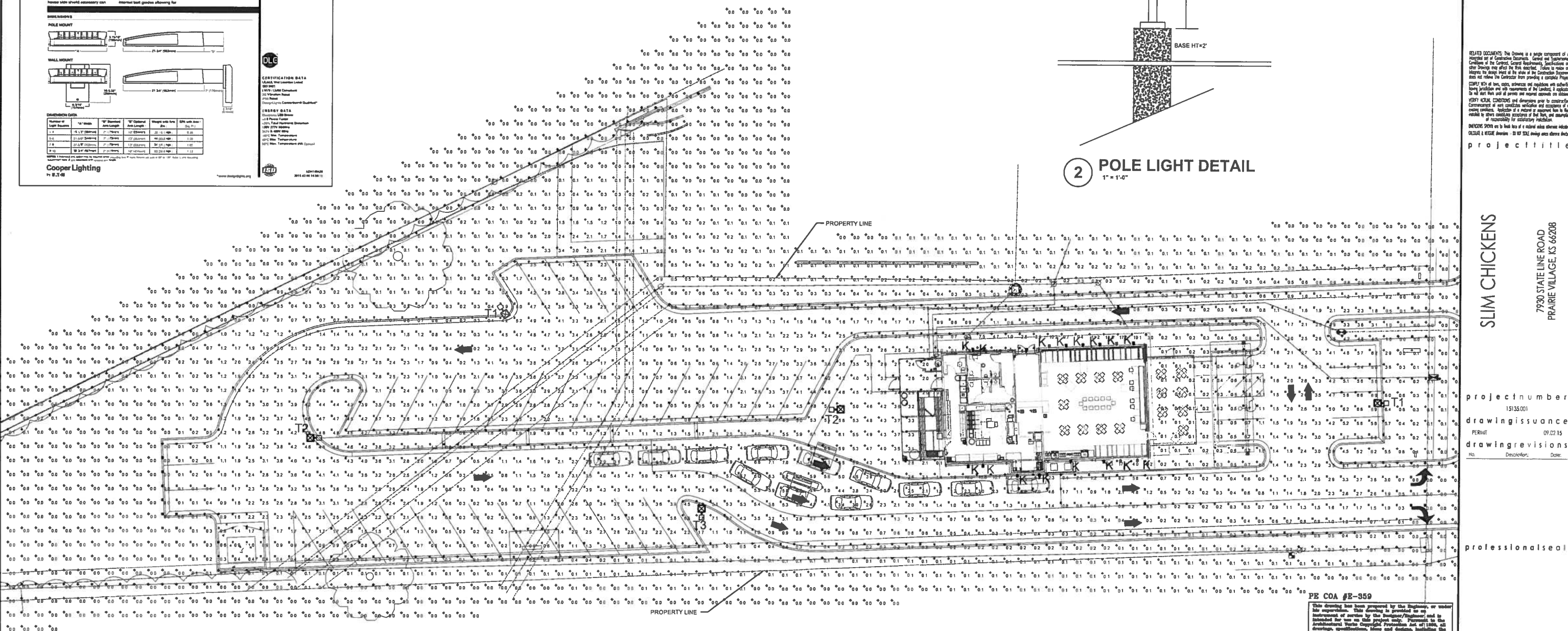
**GLEON GALLEON LED**  
Solid State LED  
AREA WTS LUMINAIRE

**CERTIFICATION DATA**  
ULAH, Inc. Luminaire Listed 90-130°  
16199: Lume Components  
UL 924: Voltage Base  
F1: Ballast  
F2: LED  
F3: Lens/Flare  
F4: Mounting Base  
UL Power Factor  
UL: Full range Dimmer  
UL94: Flammable  
100-100°C Min. Temperature  
100-100°C Max. Temperature  
100°C Min. Temperature  
100°C Max. Temperature

**COOPER LIGHTING**  
BY E-1-08



ALL EXTERIOR SITE LIGHTING SHALL BE DESIGNED TO PREVENT OFF-SITE GLARE



**RELATED DOCUMENTS:** The Drawings are a single component of an integrated set of Construction Documents. General and Supplementary Conditions of the Contract, Scope Requirements, Specifications and other Drawings are all part of the Contract Documents. Failure to review and accept the scope sheet at the start of the Construction Documents does not release the Contractor from providing a complete Project.

**VERIFY:** Verify all dimensions and locations with site/field survey prior to construction and before placement of any permanent work. The Engineer/Designer/Professional is not responsible for the design, construction or maintenance of any work unless it is specifically stated on the drawings or specifications.

**REVISIONS:** REVISIONS are indicated on the drawings by a circled number and a description. All revisions shall be made before construction. The Engineer/Designer/Professional is not responsible for the design, construction or maintenance of any work unless it is specifically stated on the drawings or specifications.

project title