

PLANNING COMMISSION AGENDA  
CITY OF PRAIRIE VILLAGE  
TUESDAY, SEPTEMBER 1, 2015  
7700 MISSION ROAD  
7:00 P.M.

- I. CALL TO ORDER
- II. ROLL CALL
- III. APPROVAL OF PC MINUTES - AUGUST 4, 2015
- IV. PUBLIC HEARINGS  
None
- V. NON-PUBLIC HEARINGS
  - PC2015-114 Request for Site Plan Approval - Wireless Antenna  
7700 Mission Road  
Current Zoning: R-1a  
Applicant: Selective Site Consultants for Verizon
  - PC2015-115 Request for Site Plan Approval  
7501 Mission Road  
Current Zoning: C-0  
Applicant: Chris Hafner, Davidson Architecture
- VI. OTHER BUSINESS
  - Reconsideration of  
PC2015-06 Request for Rezoning from C-O (Office Building District ) & R-1b  
(Single Family Residential) to CP-1 (Planned Restricted Business District) and  
Development Plan  
7930 State Line Road  
Applicant: Mitch DiCarlo with Block & Company
  - PC2015-07 Request for Conditional Use Permit for Drive-Thru Service Window  
7930 State Line Road  
Current Zoning: C-0 & R-1b  
Applicant: Mitch DiCarlo with Block & Company
- VII. ADJOURNMENT

Plans available at City Hall if applicable  
If you cannot be present, comments can be made by e-mail to  
[Cityclerk@Pvkansas.com](mailto:Cityclerk@Pvkansas.com)

\*Any Commission members having a conflict of interest, shall acknowledge that conflict prior to the hearing of an application, shall not participate in the hearing or discussion, shall not vote on the issue and shall vacate their position at the table until the conclusion of the hearing

**PLANNING COMMISSION MINUTES**  
**August 4, 2015**

**ROLL CALL**

The Planning Commission of the City of Prairie Village met in regular session on Tuesday, August 4, 2015, in the Municipal Building Council Chambers at 7700 Mission Road. Chairman Nancy Wallerstein called the meeting to order at 7:00 with the following members present: Gregory Wolf, James Breneman, Nancy Wallerstein, Patrick Lenahan and Jonathan Birkel.

The following persons were present in their advisory capacity to the Planning Commission: Chris Brewster, City Planning Consultant; Wes Jordan, Assistant City Administrator and Joyce Hagen Mundy, Commission Secretary.

**APPROVAL OF MINUTES**

Jim Breneman moved for the approval of the minutes of the Planning Commission for July 7, 2015 as submitted. The motion was seconded by Gregory Wolf and passed by a vote of 5-0.

Nancy Wallerstein noted on page 20 of the July 29<sup>th</sup> minutes the motion by Mr. Wolf references the Commission finding favorably on the Golden Factors. She noted that these were not specifically discussed and asked that the reference to the discussion be removed. Similarly on page 10 it states that Chairman Nancy Wallerstein led the Commission in the review of the factors. She asked that that reference be removed.

Gregory Wolf moved for the approval of the minutes of the July 29<sup>th</sup> minutes of the Planning Commission as amended noting the Commission accepted the analysis of the Golden Factors as presented in the staff report. The motion was seconded by Jim Breneman and passed by a vote of 5 - 0.

**PUBLIC HEARINGS**

There were no Public Hearings scheduled before the Commission.

**NON PUBLIC HEARINGS**

**PC2015-107 Request for Building Line Modification  
6842 Granada Lane**

Earlier in the evening the Board of Zoning Appeals granted a variance subject to two conditions from Section 19.08.020 to extend the garage 10 feet, which will encroach into the front yard setback, for his home for approximate 50 square foot addition that extends the southeast corner of his garage closest to the intersection of Granada Lane and 69<sup>th</sup> Street into the platted setback line of 35 feet adjacent to Granada Lane and 20 feet

adjacent to 69<sup>th</sup> Street. The house sets at an angle on the lot. The lot has an unusual configuration and was enlarged by a vacation of a portion of 69<sup>th</sup> Street.

The house is a split-level and he would like to finish the lower level for an office and children's playroom. Access to the lower level is through the garage. He would like to build a wall so the access to the lower level is an enclosed portion of the house. In doing that the garage becomes unusable, unless extended approximately 9.5 feet.

The lot is an odd shape because of the curving of Granada Lane at the intersection. Because of the curving, a platted setback line was put on the lot at 35 feet from Granada Lane and 20 feet from 69<sup>th</sup> Street. The platted line on Granada is set at 35 feet on the south side and gets as close to approximately 12' near the Granada/ 69<sup>th</sup> frontage (this would roughly correspond to a 30 feet front setback by zoning). The platted line on 69<sup>th</sup> is set at 20 feet from the original right of way on the west side and as close to 12 feet near the Granada / 69<sup>th</sup> frontage (this would roughly correspond to a 15 feet street side setback by zoning). [Note: because the house sits at an angle within this platted buildable area, the closest part of the current house is approximately 23 feet on the northeast corner currently, and is proposed for approximately 18 feet.

Chris Brewster noted that the house was built based on the platted setbacks and actually a small corner of the garage encroaches on the 30-foot front setback that would otherwise be required by zoning (on 69<sup>th</sup>). It is obvious that the platted setback lines were established in order to provide a buildable lot. Typically the platted setback line would run parallel to the property line. In this case they do not, possibly due to the curve of the property line along the north and east. The platted setback lines supersede zoning setbacks and the original building permit was granted based on the platted setback. Based on the survey, the southeast corner of the existing garage sets back from Granada Lane approximately 23 feet, but within the platted setback. He noted the proposed southeast corner of the garage would setback approximately 18 feet from Granada Lane.

Under the procedure for Building Line Modifications, the applicant is required to send notices to all owners within 200' and meet with neighborhood residents prior to the Planning Commission meeting. The applicant met with the adjacent homeowners on May 18, 2015.

Per code the Planning Commission is to consider the following factors in the granting of a Building Line Modification. The following analysis was provided in the staff report:

- 1. That there are special circumstances or conditions affecting the property;**  
The lot has an unusual configuration, particularly, the curved property line at the intersection with 69<sup>th</sup> Street. The buildable area of the lot is reduced and the buildable area of the lot is compromised.
- 2. The building line modification is necessary for reasonable and acceptable development of the property in question;**

In order to make the lower level an integrated space in the house, the applicant proposed to enclose the access so that it will not be necessary to go into the garage to enter the lower level. The proposed extension will provide a more reasonable use of the property.

- 3. That the granting of the building line modification will not be detrimental to the public welfare or injurious to or adversely affect adjacent property or other property in the vicinity in which the particular property is situated;**

The proposed garage extension will not adversely affect the site distance at the intersection and will have little if any effect on the adjacent property.

Gregory Wolf moved the Planning Commission accept the analysis of the findings of fact provided by staff and grant a Front Building Line Modification for just that portion of the garage necessary to permit the proposed 10-foot expansion of the garage and the applicant meeting the conditions of the earlier granted variance. The motion was seconded by Patrick Lenahan and passed unanimously.

### **PC2015-112 Request for Site Plan Approval for Wireless Antenna 5000 West 95<sup>th</sup> Street**

Emily Roseberry, with Selective Site Consultants, representing Verizon appeared before the Commission to request site plan approval for the addition of a new LTE Antenna on the existing rooftop wireless telecommunications facility at 5000 West 95<sup>th</sup> Street. Currently there are six antenna and two whip antenna on this existing cell tower location on top of a three story office building. The existing antenna is grouped in 2 arrays of 3 antennas on the west and east ends of the building. The proposed new antenna would be the same size as the existing antenna, but only have a single antenna proposed to be located on the north side of the building between the other two existing arrays.

Chris Brewster noted the lot is located on the north side of 95<sup>th</sup> Street, between Nall and Roe. The property is zoned C-O and the installation has a valid special use permit that was renewed in 2009, (PC 2009-11; Ordinance 2209) and continues through 2019.

The property fronts on 95<sup>th</sup> street and has similar scale office and commercial uses to the west and current Meadowbrook Golf Course (adjacent to the future redevelopment site) to the north and east. The property is across the street from an elementary school and residences. At this stage of planning, the development is showing the area closest to this site becoming the park portion of the redevelopment. Currently this site abuts the golf course and maintenance building to the north, and the future plans for this to remain the park portion will not alter any relationships of this site or the cell tower facility to existing land uses.

The initial Special Use Permit (August, 1999) included seven conditions amended through the renewal in 2004. The most recent Special Use Permit renewal in September, 2009 occurred through the City's revised Wireless Communications Facilities ordinance and found that the application met all factors (A - M) of the



ordinance and extended the permit for 10 years. This renewal included the seven original conditions, plus seven additional conditions based on the new ordinance. The conditions relevant to this amended site plan application include:

- 3) All equipment cabinets and wiring shall be contained within the building.
  - 4) The antennas and the frames for mounting them shall be painted a color that blends with the sky so that their visibility is minimized.
- 14) Future renewals and additional carriers may locate on the building subject to the approval of a site plan by the Planning Commission and an amended Special Use Permit will not be required.

It is the opinion of Staff that the request does not substantially change the installation and should be approved. The proposed antenna rooftop location is consistent with the existing antenna on the building and is located on the north side away from the street and will not have any adverse impact on the proposed future development to the north due to the current plans and proximity to open space. The application must comply with all 14 conditions of the existing Special Use Permit.

Staff provided the following analysis of the Site Plan criteria:

**A. The Site is capable of accommodating the building, parking areas and drives with appropriate open space and landscape.**

The capacity of the site to accommodate all equipment was addressed in the renewal of the Special Use Permit. The proposed antenna will not increase any impacts that would require a change to that permit or conditions.

**B. Utilities are available with adequate capacity to serve the proposed development.**  
This is an existing installation and adequate utilities are available to serve the location.

**C. The plan provides for adequate management of stormwater runoff.**

No additional impervious area will be created and therefore a stormwater management plan is not required.

**D. The plan provides for safe and easy ingress, egress, and internal traffic circulation.**

The site is an existing installation on a roof and utilizes the driveway and parking for the building. The ability of the site to accommodate ingress and egress was addressed in the renewal of the Special Use Permit. The proposed antenna will not increase any impacts for ingress and egress to the site.

**E. The plan is consistent with good land planning and good site engineering design principles.**

This is a rooftop installation, which are generally favored in planning and in the City's wireless communication policies and regulations, since they minimize the visual and structural impact of facilities on the abutting property and surrounding community. Additionally, this building has relatively few antennas, and the addition of one antenna is comparable to similar rooftop installations.

**F. An appropriate degree of compatibility will prevail between the architectural quality of the proposed building and the surrounding neighborhood.**

This is a rooftop installation. The proposed antenna will be the same as the existing antenna and located away from the streetscape. Additionally the location is compatible with future development plans to the north that will preserve immediately surrounding areas as open space.

**G. The plan represents an overall development pattern that is consistent with the comprehensive plan and other adopted planning policies.**

This is an existing building and site. While Wireless communication facilities are not specifically addressed in Village Vision, this is an existing building and the cities wireless communication policies and regulations promote co-location and location of equipment on buildings and existing facilities.

Patrick Lenahan confirmed that the antenna would be placed on the existing rack. Nancy Wallerstein confirmed the only carrier on this application was Verizon. Jim Breneman noted with the placement of the antenna on the far north side it would not be visible to properties on the south. Wes Jordan confirmed that the antenna also would not be visible from the property to the north.

Gregory Wolf moved that the Planning Commission find favorably on the site plan criteria as presented in the staff report and approve the proposed site plan application PC2015-112 for the installation of one new LTE Antenna on the existing rooftop wireless telecommunication facility at 5000 West 95<sup>th</sup> Street subject to the following conditions:

1. That the additional antenna be installed as shown on the proposed site plan.
2. That all conditions of the most recent renewal of the Special Use Permit continue to be met.

The motion was seconded by Jim Breneman and passed unanimously.

**PC2015-113 Request for Site Plan Approval for Building Height Elevation  
7201 Springfield**

Sam Lappeman, with Architectural Concepts, Inc., 14700 Mastin Overland Park, presented the request for a building height elevation increase of 3.56 feet for the new home to be built at 7201 Springfield. The lot is sloped to the rear property line, and the current home sits at the very back of the lot. The proposal is to bring the new structure more in line with the orientation of current homes along the block, placing the home close to the front setback line. The current first floor elevation is approximately 1,017.94 feet and the proposed elevation at the new location would be 1,021.5 feet.

Jim Breneman noted that the proposed building is not in line with the adjacent homes. The plot plan shows the house to the right 11' back from the proposed house and the house on the left back 40' from the curb.

Mr. Lappeman clarified that the proposed house would not have the same setback as adjacent homes but would be more in line with them than the previous house which set back significantly on the lot and that the proposed first floor elevation is similar to that of the adjacent homes. Chris Brewster confirmed the proposed front setback is within the city code.

Nancy Wallerstein confirmed that the overall height of the house was within code and that the applicant had reviewed the staff comments. She questioned why plans showing elevations were not submitted. Mr. Lappeman stated they were submitted to the Building Official for review. Martin Rutiaga, the property owner, stated that he had a set of plans and gave them to Mrs. Wallerstein for the Commission to review.

Jonathan Birkel noted he thought that 14' were required between structures and noted the presented plans do not reflect 14'. It was noted that 14' is required in R-1a zoning, the requirement is less in R-1b zoning and the proposed distance between structures meets city code.

Nancy Wallerstein asked why the proposed house does not align with the adjacent houses. Mr. Lappeman stated the house needed to be set farther up in the lot to retain the existing garage in the rear of the property which will remain. Mrs. Wallerstein confirmed the unattached garage meets city code.

Chris Brewster stated the intent of this section is to address the scale and height of new structures as old homes are torn down and new homes are built.

Section 44 of the Zoning ordinance addresses height and area exceptions in the zoning ordinance generally. Section 19.44.030 addresses the elevation of residential structures and reads:

- A. New residential structures or additions set at the same first floor elevation or lower than the original structure shall be exempt from review by the Planning Commission.
- B. New residential structures or additions may raise the first floor elevations six inches for every additional five feet over the minimum side yard setback that the building sets back from both side property lines. The maximum elevation can be raised is three feet without requiring review and approval of the Planning Commission.
- C. New residential structures or additions not meeting paragraphs a or b above shall be submitted to the Planning Commission for review and approval. (Ord. 2019, Sec. III, 2001)

The proposed application will bring the lot and proposed structure more in conformance with the orientation of existing homes on the block and in the area. The proposed elevation is similar to that of existing adjacent homes and would not compromise the intent of the ordinance language limiting changes in elevation from existing structures. Much of this elevation change is a result of the new location for the home and the grade of the property.

Gregory Wolf moved the Planning Commission approve PC2015-113 granting a first floor building elevation increase to 3.56 feet as proposed for the new structure at 7201 Springfield. The motion was seconded by Jim Breneman and passed unanimously.

## **OTHER BUSINESS**

### **Staff Report**

West Jordan reported that the City Council considered the rezoning of 7920 State Line Road at its August 3<sup>rd</sup> meeting. Their primary concern was with the drive-thru with discussion also on sound abatement and the length of the drive-thru. David Wooldridge was the only resident present to address the Council. He voiced many of the same complaints from Panda Express and opposition to the project as presented to the Planning Commission. The motion for rezoning failed by a vote of 5 to 6. A motion was made to approve the rezoning with the deletion of condition #8 which granted the drive-thru. This failed to get the required two thirds vote to override the recommendation of the Planning Commission. The Council then moved to return the item to the Planning Commission for reconsideration particularly focusing on the drive-thru and sound abatement. The applicant when questioned about the need for the drive-thru responded that "It seems to be a critical component of these types of businesses anymore." He did not know if it would be built without one, but felt it would be very questionable. The application will be placed on the September 1<sup>st</sup> Planning Commission agenda.

Wes Jordan also reported that the Prairie Village Homes Association has been working on creating an overlay district. Several drafts have been submitted for review and meetings held with residents. Staff expressed concern with its ability to enforce the proposed conditions of the overlay district. Last week a meeting was held with Mayor Wassmer, Council Representatives of Ward 1, the City Administrator, City Attorney, Chris Brewster and Graham Evans with Gould Evans and PJ Novick with Confluence to discuss possible ways other than through overlay districts to address density while maintaining growth and preserving the character of neighborhoods.

Chris Brewster stated that he had written a code for the City of Fairway that addressed density based on standards of scale and mass of buildings on lots. These are basic standards related to building size and streetscape. This is an incredibly complex issue to address. Perceptions of what is desired and/or appropriate are varied. He noted that everyone is not pleased with the Fairway code.

Mr. Jordan noted that Mr. Brewster was directed to draft something that could be used by Prairie Village that would cover most of the area when development is occurring. An overlay district can be created by a neighborhood, by the Planning Commission or by the City Council.

Planning Commission members shared some of their experiences and thoughts on the proposed Prairie Village overlay district, the Fairway code and addressing the consistency of architectural styles.

Mr. Jordan provided an update on the tower at 63<sup>rd</sup> and Mission. The current installation does not meet the intent of the Planning Commission in its approval as all of the antenna and wiring are not covered. He has spoken with Selective Sites Consultant and a new shroud will be installed that will cover all of the materials. It will not be returning to Planning Commission but handled through the Building Official.

Nancy Wallerstein asked for an update on the Homestead and Chadwick Court Projects. Mr. Jordan replied that both projects were working with the public works department on drainage plans.

**Next Meeting**

The next meeting will be September 1<sup>st</sup> and in addition to the return of the application for 7930 State Line Road, the Commission will consider the site plan for antenna changes by Verizon on the 7700 Mission Road facility and for 7501 Mission Road. Mr. Jordan added the by-laws of the Commission will be reviewed at a future meeting.

**ADJOURNMENT**

With no further business to come before the Commission, Chairman Nancy Wallerstein adjourned the meeting at 7:57 p.m.

Nancy Wallerstein  
Chairman

# STAFF REPORT

**TO:** Prairie Village Planning Commission  
**FROM:** Chris Brewster, AICP, Gould Evans, Planning Consultant  
**DATE:** September 1, 2015, Planning Commission Meeting

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**Application:** PC 2015-114

**Request:** Revised Site Plan Approval to Replace 6 Antenna on Existing Wireless Telecommunications Facility

**Property Address:** 7700 Mission Road

**Applicant:** Emily Roseberry (Verizon)

**Current Zoning and Land Use:** R1-A Single Family – Municipal Office Complex

**Surrounding Zoning and Land Use:** **North:** R-1A Single-Family District – SM East High School  
**East:** R-1A Single-Family District – Single Family Dwellings  
**South:** R-1A Single-Family District – Church  
**West:** R-1A Single-Family District – Single Family Dwellings

**Legal Description:** Prairie Village Municipal Office Complex Tract 1 LYG within (abbreviated) SD PVC 567D 1 BTAO 2935 0

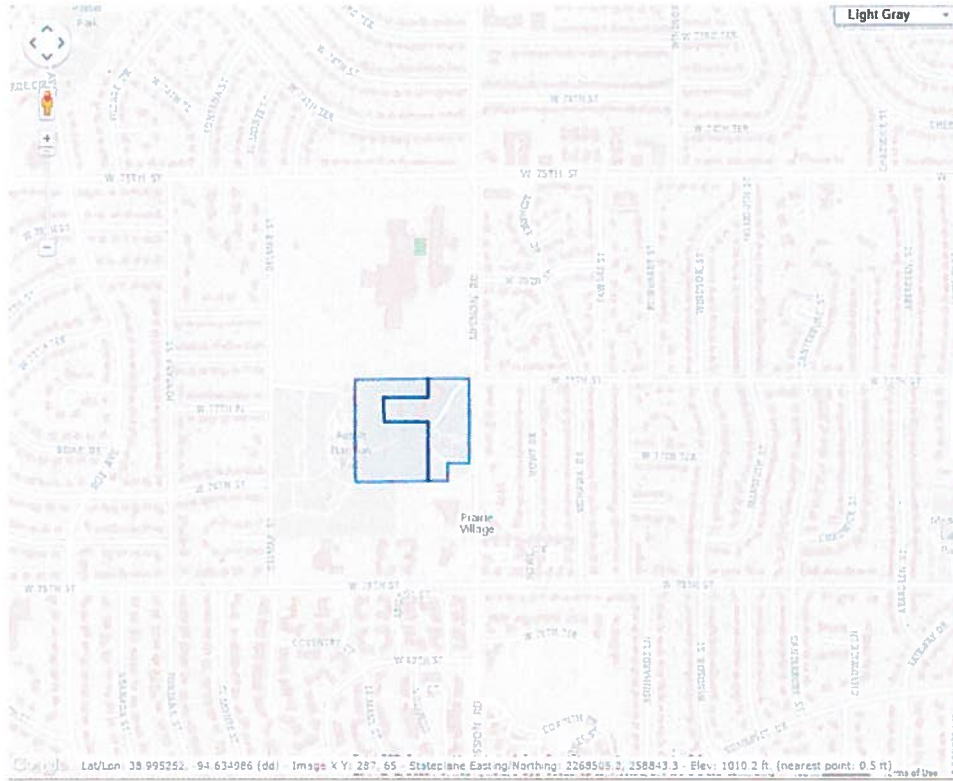
**Property Area:** Cell Tower Compound – approximately 3,200 sq. ft., 0.07 acres  
Municipal Office Complex – 16.75 acres

**Related Case Files:** PC 2014-111 Site Plan Approval for Sprint  
PC 2014-108 Site Plan Approval for Verizon Wireless  
PC 2014-107 Site Plan Approval for AT&T  
PC 2011-114 Site Plan Approval for AT&T  
PC 2009-17 Special Use Permit Renewal for Sprint  
PC 2006-19 Special Use Permit Renewal for Cingular Wireless  
PC 2005-115 Final Plat Municipal Office Complex  
PC 2004-09 Special Use Permit for Sprint  
PC 2001-05 Special Use Permit for AT&T  
PC 2000-05 Special Use Permit for General Dynamics for Metricom  
PC 1997-04 Special Use Permit to Replace Tower

**Attachments:** Application, Drawings & Photos

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**General Location – Map**



**General Location – Aerial**





**Site Location – Birdseye View**



**Specific Location – Street View**





**COMMENTS:**

The applicant is requesting to six antenna on this existing cell tower location. The installation is a monopole tower on the City Hall site. The existing antenna are on the middle platform at approximately 122 feet. There are 12 existing antenna on the platform – 4 per each array. This application will replace the 3 LTE and 3 CDMA antenna on each array. The proposed antenna are about 96 inches x 12 inches x 7 inches – a similar size to the largest existing antenna on each array. The accessory equipment and coaxial cables will be replaced according to the existing cable and equipment placements.

The lot is located on the west side of Mission Road on the City Hall grounds, and the site is located on the northwest portion of the City Hall grounds. The property is zoned R1-A and the installation has a valid special use permit that was renewed in 2009, (PC 2009-17) and continues through 2019.

The property fronts on Mission Road (see street view), site is setback substantially from the streetscape. The closest abutting property to the north is used for the parking lot for Shawnee Mission East High School, and the school building and facilities are setback at a substantial distance from this site across the parking lot.

In October 2009, the Planning Commission approved the Special Use Permit Renewal for this tower and the approval was based on the new Wireless Communications Ordinance. Changes in the installation for carriers are required to be submitted to the Planning Commission for site plan review and approval. The Planning Commission approved similar upgrades for AT&T, Verizon Wireless and Sprint in 2014.

It is the opinion of Staff that the request does not substantially change the installation and should be approved. The proposed antenna is a replacement of existing antenna, is consistent with the existing antenna on the facility, and there will be little or no perceived change or change of impact on adjacent property.

The Planning Commission shall give consideration to the following criteria in approving or disapproving a site plan.

**A. The Site is capable of accommodating the building, parking areas and drives with appropriate open space and landscape.**

The capacity of the site to accommodate all equipment was addressed in the renewal of the Special Use Permit. The proposed antenna exchange will not increase any impacts that would require a change to that permit or conditions.

**B. Utilities are available with adequate capacity to serve the proposed development.**

This is an existing installation and adequate utilities are available to serve the location.

**C. The plan provides for adequate management of stormwater runoff.**

No additional impervious area will be created and therefore a stormwater management plan is not required.

**D. The plan provides for safe and easy ingress, egress, and internal traffic circulation.**

The site is an existing installation and utilizes the driveway and parking for the site. The ability of the site to accommodate ingress and egress was addressed in the renewal of the Special Use Permit. The proposed antenna will not increase any impacts for ingress and egress to the site.

**E. The plan is consistent with good land planning and good site engineering design principles.**

This is an existing installation, and maintenance and upgrades of current facilities are supported by the City's current policies and regulations. Site plan review of exchange of equipment is still required, however this plan is consistent with all existing approvals and standards..

**F. An appropriate degree of compatibility will prevail between the architectural quality of the proposed building and the surrounding neighborhood.**

The proposed antenna will be the same as the existing antenna and located away from the streetscape, and abutting property is a large parking area so there will be little impact on the surrounding area.

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**G. The plan represents an overall development pattern that is consistent with the comprehensive plan and other adopted planning policies.**

This is an existing site. While Wireless communication facilities are not specifically addressed in Village Vision, the City's wireless communication policies and regulations promote upgrade and maintenance of existing facilities.

**RECOMMENDATION:**

It is the recommendation of Staff that the Planning Commission approve the proposed site plan for Verizon based on drawings dated 6/11/2015 subject to the following conditions:

1. That the replacement antenna be installed as shown on the proposed site plan.
2. That all wiring be contained inside the tower.
3. That the new equipment be installed in the existing cabinets.

KCC Prairie Village

App 10085

cust # 01023



**CITY OF PRAIRIE VILLAGE**  
The Star of Kansas

### Planning Commission Application

For Office Use Only
Case No.: 2015-115
Filing Fee: 100 <sup>00</sup>
Deposit: 500 <sup>00</sup>
Date Advertised:
Date Notices Sent:
Public Hearing Date: 9/11/15

Please complete this form and return with information requested to:

Assistant City Administrator  
City of Prairie Village  
7700 Mission Rd.  
Prairie Village, KS 66208

Applicant: Emily Roseberry (Verizon) Phone Number: 913-438-7700  
9900 W 109<sup>th</sup> St, #300  
 Address: Overland Park, KS 66210 E-Mail: eroseberry@ssc.us.com  
 Owner: City of Prairie Village Phone Number: 913-381-6464  
 Address: 7700 Mission Rd. Zip: 66208  
 Location of Property: 7700 Mission Rd.  
 Legal Description: SE quarter of section 21, T.12S, R.25E

Applicant requests consideration of the following: (Describe proposal/request in detail) Verizon Wireless is replacing (6) antennas on existing cell tower.

#### AGREEMENT TO PAY EXPENSES

APPLICANT intends to file an application with the PRAIRIE VILLAGE PLANNING COMMISSION or the PRAIRIE VILLAGE BOARD OF ZONING APPEALS of the CITY OF PRAIRIE VILLAGE, KANSAS (City) for Site plan application. As a result of the filing of said application, CITY may incur certain expenses, such as publication costs, consulting fees, attorney fees and court reporter fees.

APPLICANT hereby agrees to be responsible for and to CITY for all cost incurred by CITY as a result of said application. Said costs shall be paid within ten (10) days of receipt of any bill submitted by CITY to APPLICANT. It is understood that no requests granted by CITY or any of its commissions will be effective until all costs have been paid. Costs will be owing whether or not APPLICANT obtains the relief requested in the application.

[Signature] 7/20/15  
 Applicant's Signature/Date  
 \_\_\_\_\_  
 Owner's Signature/Date



# ANTENNA MOD: SP MODIFICATION

**SITE NAME:** KCYC PRAIRIE VILLAGE  
**SITE NUMBER:** 140622  
**PROJECT NUMBER:** 20141098773  
**STRUCTURE TYPE:** 150' MONOPOLE TOWER

## PROJECT SUMMARY

**SITE ADDRESS:** 7700 MISSION ROAD  
 PRAIRIE VILLAGE, KS 66208  
 JOHNSON COUNTY

**LATITUDE:** 38° 59' 20.02" N

**LONGITUDE:** 94° 37' 58.85" W

**GROUND ELEVATION:** ±1040' AMSL (NAVD83)

**ANTENNA TIP HEIGHT:** VARIES (SEE ANTENNA KEY)

**ANTENNA & HEIGHT:** 122'-0" AGL

**STRUCTURE HEIGHT:** 150'-0" AGL

**OVERALL STRUCTURE HEIGHT:** 153'-0" AGL

**GENERATOR ON SITE:** YES

**TOWER BUILT:** UNKNOWN

**BASED ON SMCO DATED:** 01/07/2015

**BASED ON TOWER ANALYSIS DATED:** 06/08/2015

**BASED ON MOUNT ANALYSIS DATED:** 04/02/2015

## SCOPE OF WORK

- 1) THIS WIRELESS COMMUNICATIONS FACILITY IS NOT INTENDED FOR HUMAN OCCUPANCY.
- 2) THIS FACILITY DOES NOT REQUIRE PORTABLE WATER AND WILL NOT PRODUCE ANY SEWAGE.
- 3) THE SCOPE OF WORK CONSISTS OF MODIFYING THE EXISTING WIRELESS INSTALLATION:
  - A. INSTALLATION OF ANTENNAS, CABLING AND ANCILLARY EQUIPMENT ON TOWER.

## APPLICABLE CODES & STANDARDS

- INTERNATIONAL BUILDING CODE, 2012 EDITION
- AS ADOPTED BY LOCAL JURISDICTION
- NATIONAL ELECTRICAL CODE, 2011 EDITION
- AS ADOPTED BY LOCAL JURISDICTION
- INTERNATIONAL FIRE CODE, 2012 EDITION
- AS ADOPTED BY LOCAL JURISDICTION

## CONTACTS

**APPLICANT:**  
 VERIZON WIRELESS  
 10740 NALL AVE., SUITE 400  
 OVERLAND PARK, KS 66211  
 CONTACT: MARION S. CRABLE  
 PHONE: 913.344.2896

**SITE ACQUISITION:**  
 SSC  
 9900 WEST 109TH ST, SUITE 300  
 OVERLAND PARK, KANSAS 66210

**ENGINEER:**  
 KGI WIRELESS, INC.  
 BUILDING THREE, SUITE 370  
 805 LAS CIMAS PKWY.  
 AUSTIN, TX 78746  
 CONTACT: JACK T. Phipps, P.E.  
 DIRECTOR OF ENGINEERING  
 PHONE: 512.345.3255

**UTILITY PROVIDER**  
 KANSAS CITY POWER & LIGHT  
 P.O. BOX 219330  
 KANSAS CITY, MO 64121  
 PHONE: 816.556.2200

**TELCO PROVIDER**  
 AT SITE  
**TOWER OWNER**  
 CITY OF PRAIRIE VILLAGE

## VICINITY MAP



## TEAM SIGN-OFF

RF ENGINEER	DATE
TRANSPORT ENGINEER	DATE
OPERATIONS MANAGER	DATE
CONSTRUCTION ENGINEER	DATE
CONSTRUCTION MANAGER	DATE
REAL ESTATE MANAGER	DATE
LAND OWNER	DATE

THE ABOVE PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR MODIFICATIONS.

## DRAWINGS INDEX

GENERAL SHEETS	REVISION
T1 TITLE SHEET	-
C1 SITE PLAN	-
C2 TOWER ELEVATION	-
C3 ANTENNA KEYS	-
C4 PROPOSED PLUMBING DIAGRAM	-
C5 ANTENNA PLANS & ENTRY PORT	-
C6 NOT USED	-
C7 NOT USED	-
GN1 GENERAL NOTES	-
ATTACHMENTS	-

NOTE: DRAWING SCALES ARE FOR 11"X17" SHEETS UNLESS OTHERWISE NOTED.



**Know what's below.**  
**Call before you dig.**

**FOR INFORMATION ONLY**

**PRELIMINARY DOCUMENTS**  
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 JACK T. Phipps, P.E.  
 KANSAS PROFESSIONAL ENGINEER  
 KANSAS REGISTRATION NUMBER 28302  
 KGI WIRELESS, INC.  
 KANSAS CERTIFICATE OF AUTHORIZATION FOR KGI WIRELESS IS E-2404



KGI WIRELESS, INC.  
 805 LAS CIMAS PKWY  
 BUILDING THREE, SUITE 370  
 AUSTIN, TX 78746  
 TEL: 512.345.9595  
 FAX: 512.345.9898

**SITE NAME:**

**KCYC PRAIRIE VILLAGE**

**SITE NUMBER:**  
**140622**

**SITE ADDRESS:**  
 7700 MISSION ROAD  
 PRAIRIE VILLAGE, KS 66208

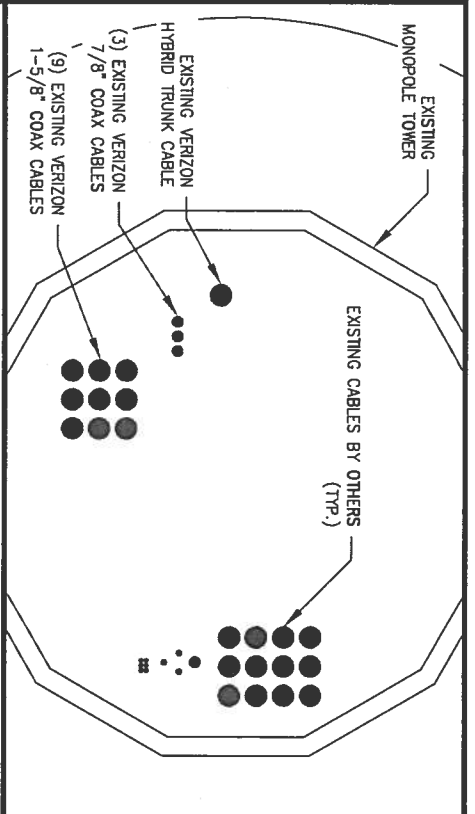
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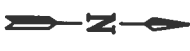
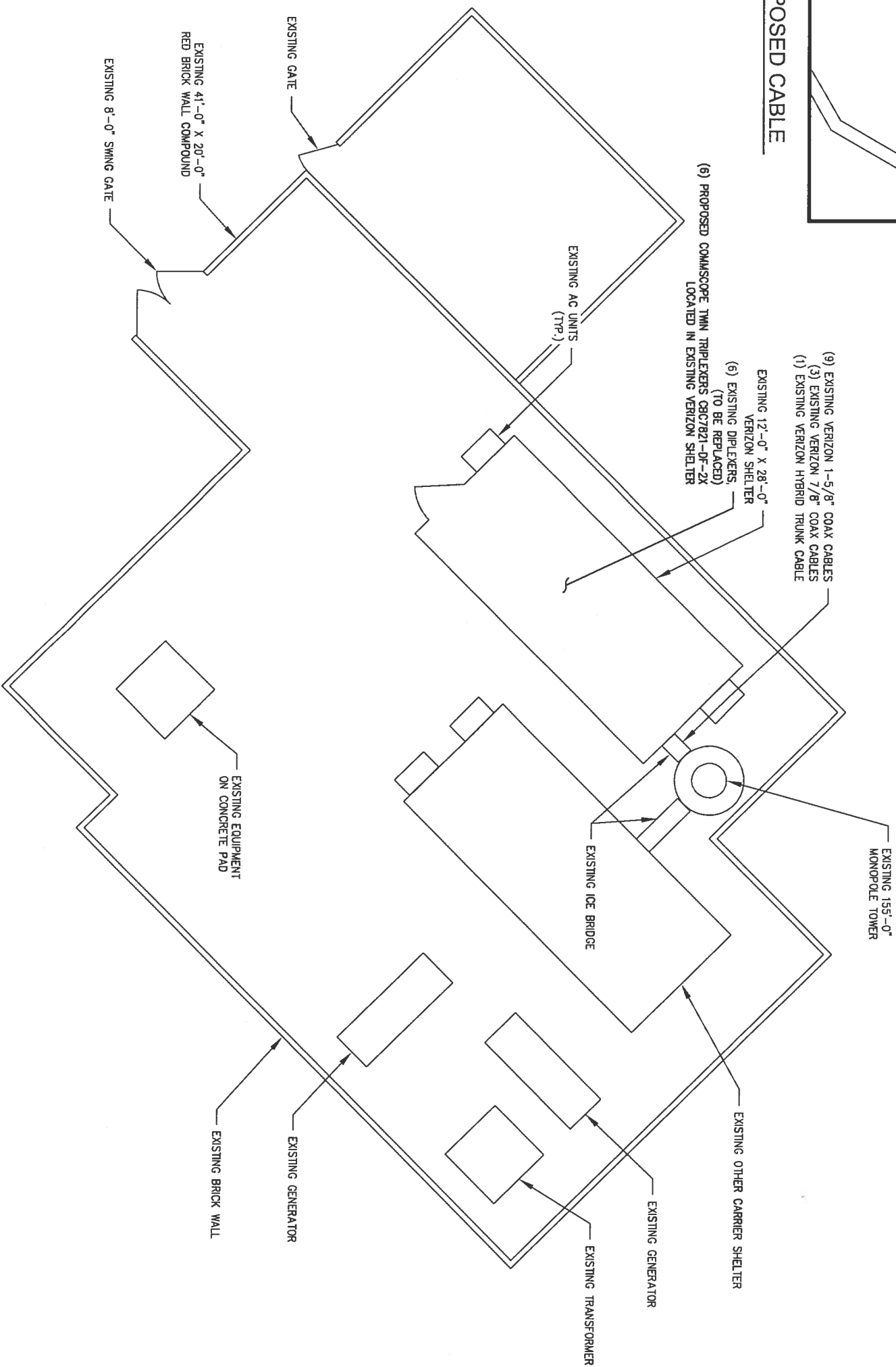
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**SHEET TITLE:**  
**TITLE SHEET**

**SHEET NUMBER:**  
**T1**



**2** EXISTING AND PROPOSED CABLE  
SCALE: N.T.S.



**1** PROPOSED SITE PLAN  
SCALE: 3/32" = 1'-0"



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TEL: 512.345.9595  
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NO	DESCRIPTION	BY	DATE

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C1**





PHOTO OF EXISTING TOWER ELEVATION

3

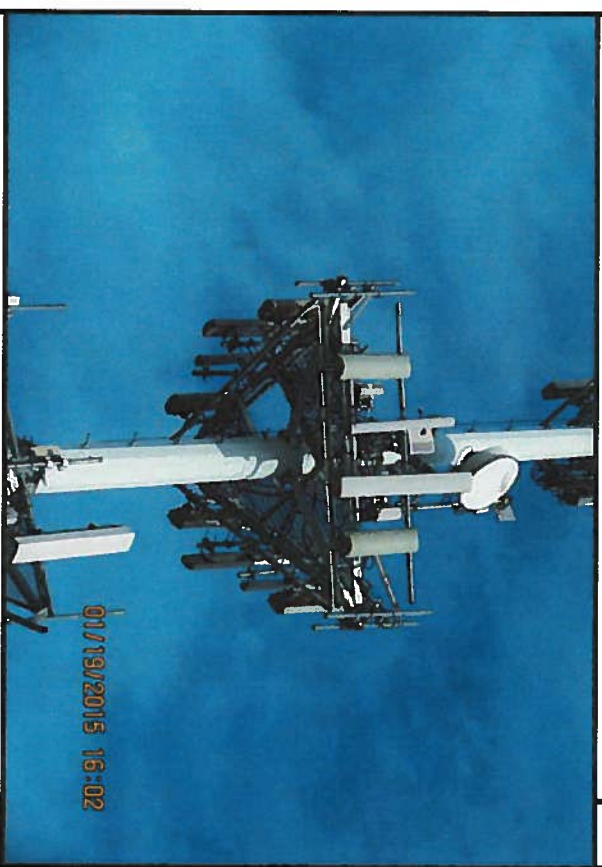


PHOTO OF EXISTING ANTENNAS

4

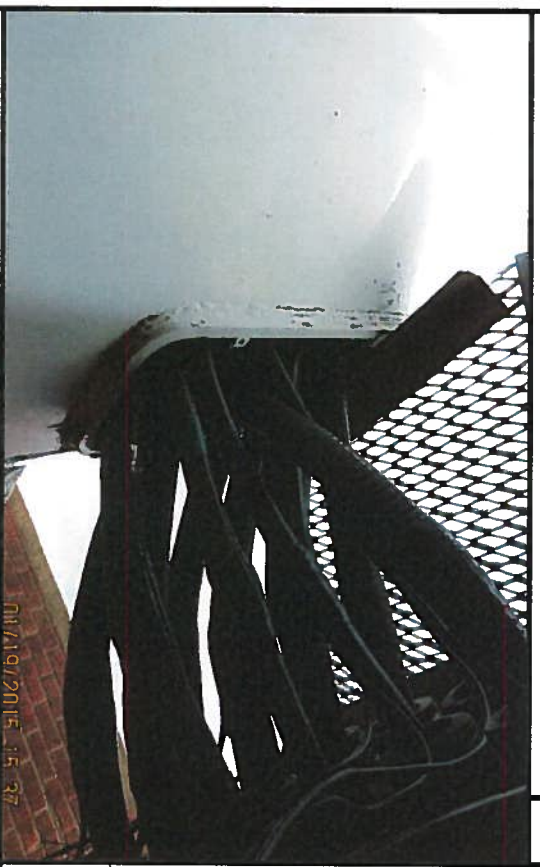
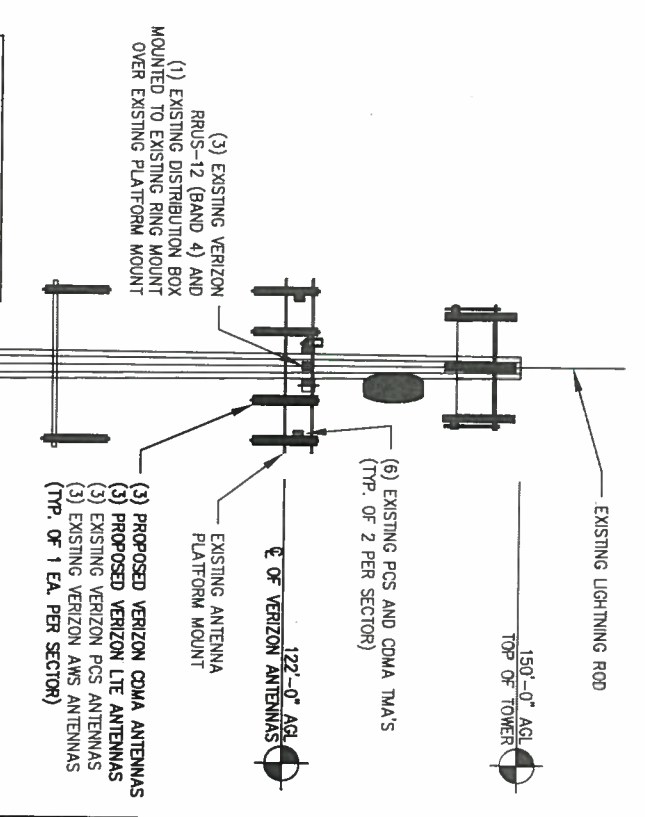
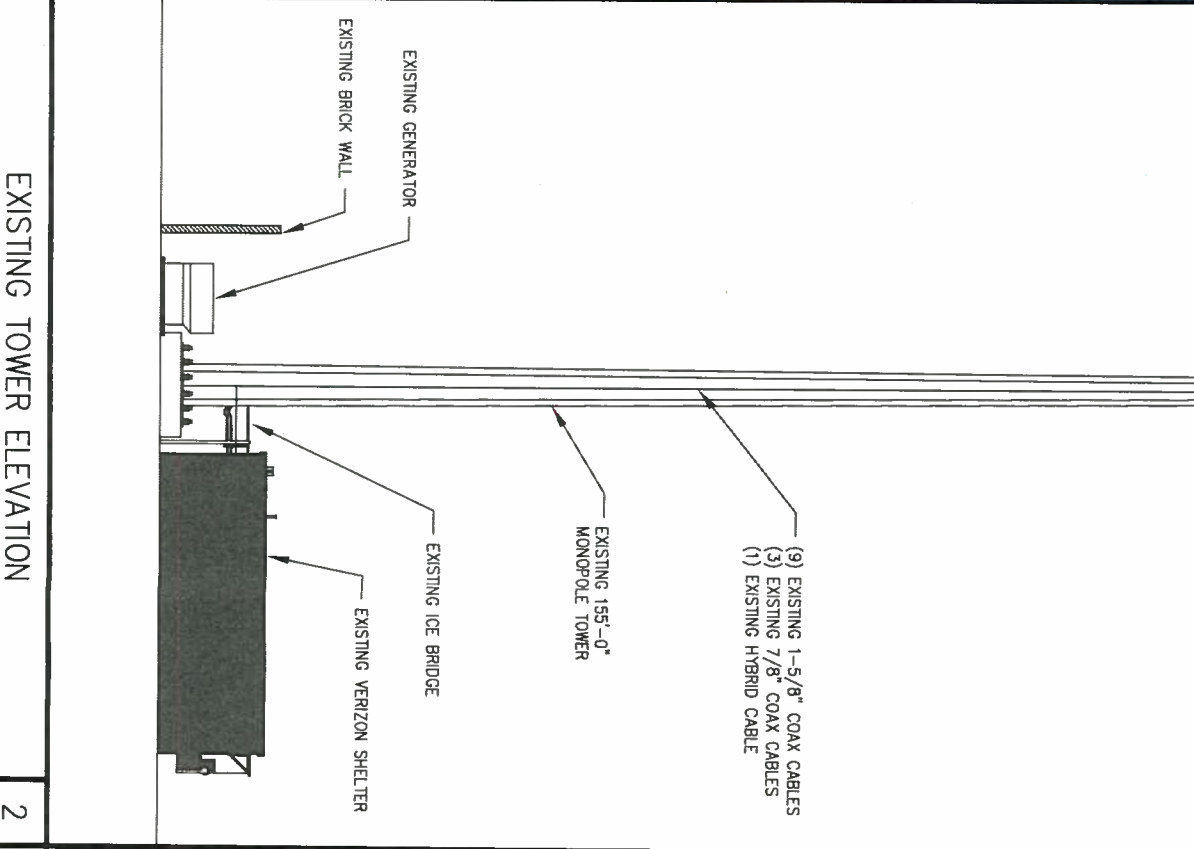
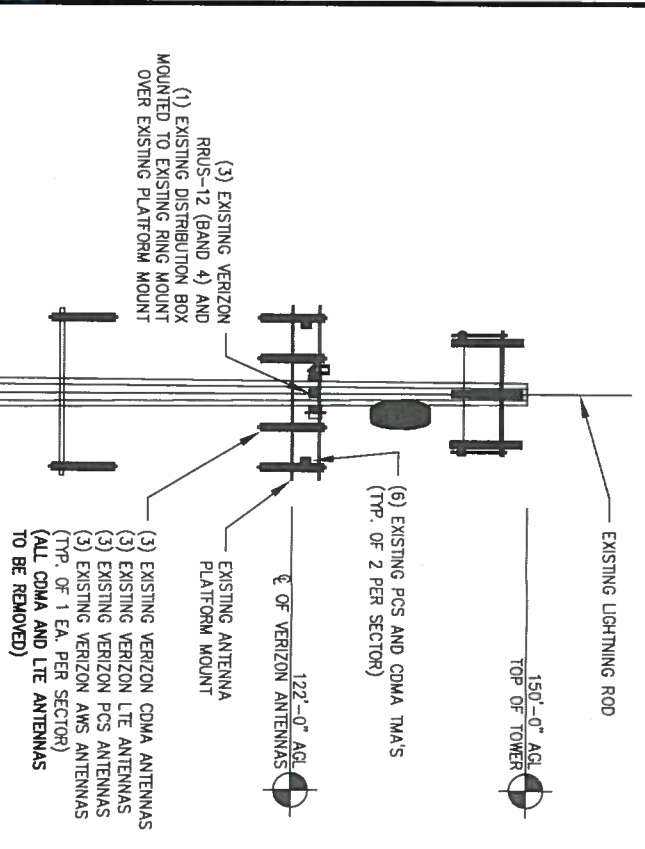
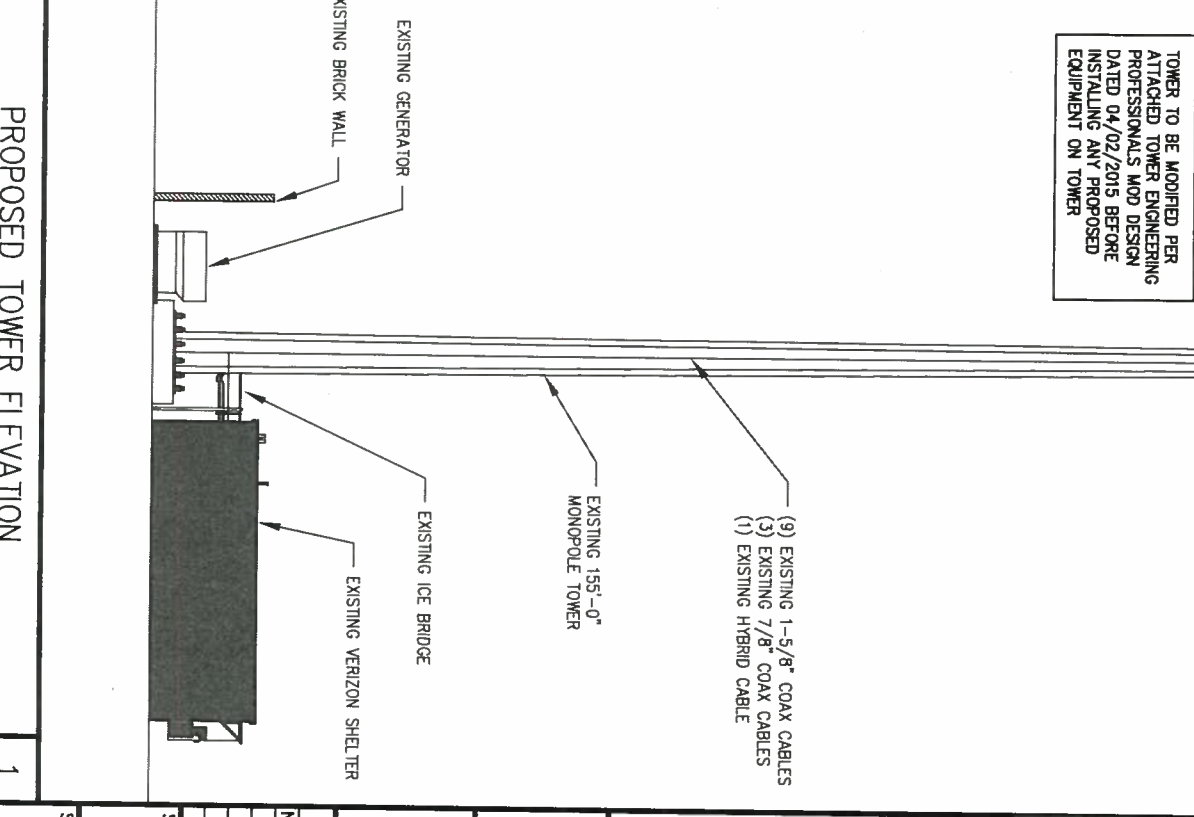


PHOTO OF EXISTING CABLE LADDER

5



TOWER TO BE MODIFIED PER ATTACHED TOWER ENGINEERING PROFESSIONALS MOD DESIGN DATED 04/02/2015 BEFORE INSTALLING ANY PROPOSED EQUIPMENT ON TOWER



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 KGI WIRELESS, INC.  
 KANSAS CERTIFICATE OF AUTHORIZATION FOR KGI WIRELESS IS E-2404

**verizonwireless**

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SITE NAME:  
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SITE NUMBER:  
**140622**

SITE ADDRESS:  
 7700 MISSION ROAD  
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NO	DESCRIPTION	BY	DATE

REVISION

SHEET TITLE:  
**TOWER ELEVATION**

SHEET NUMBER:  
**C2**

EXISTING TOWER ELEVATION

2

PROPOSED TOWER ELEVATION

1

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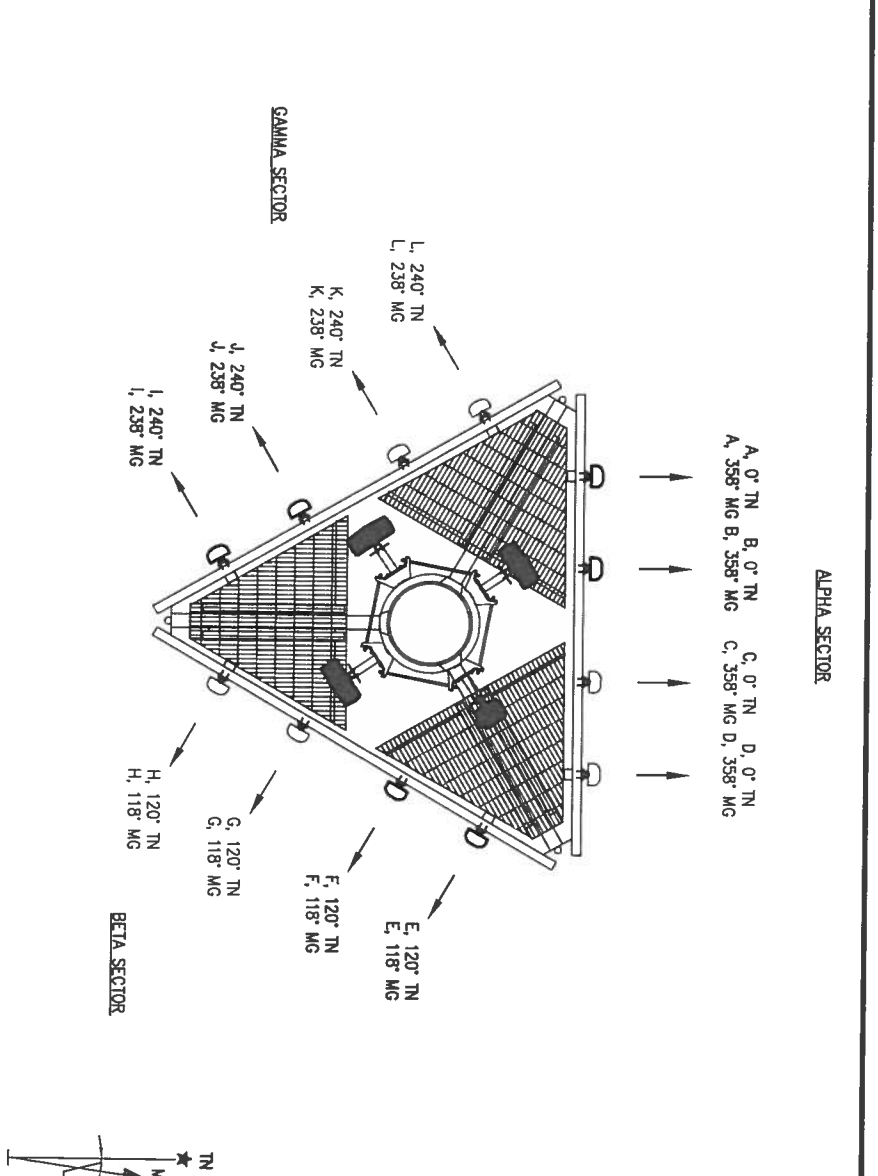
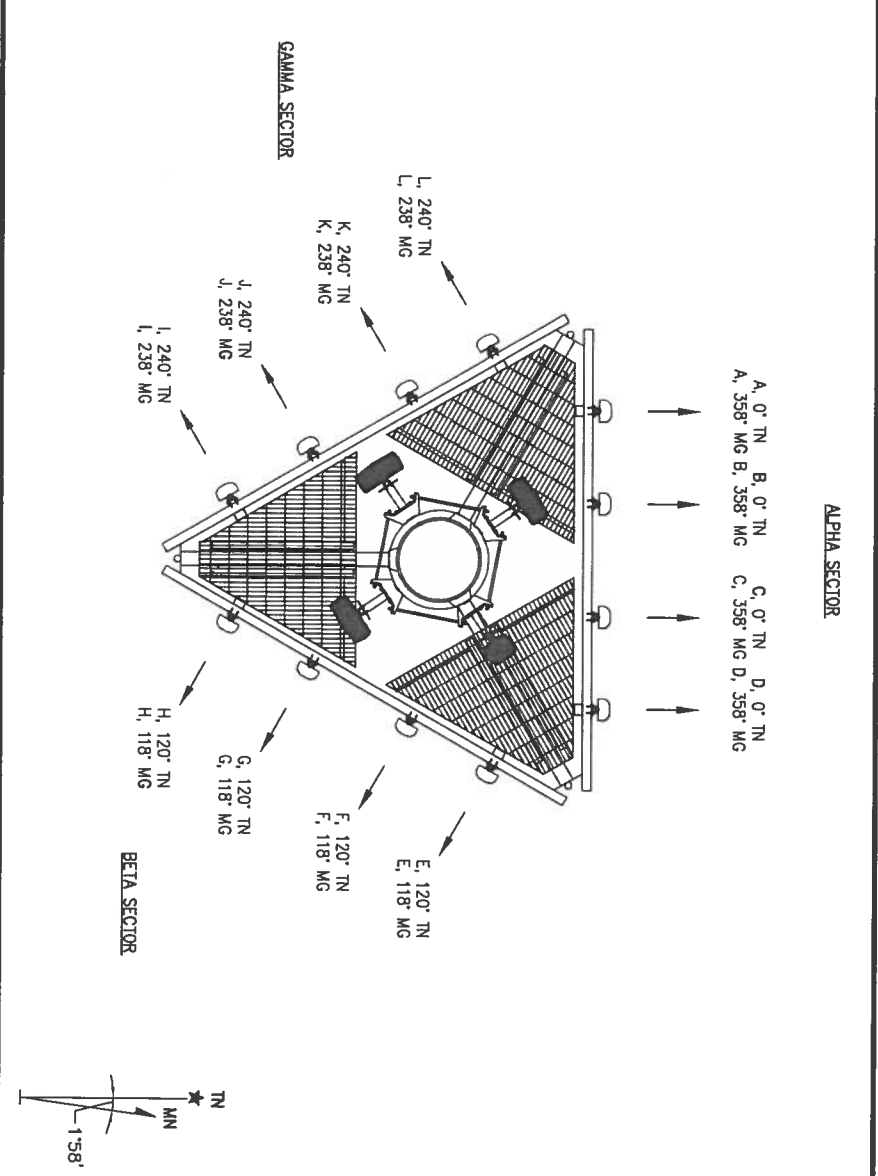
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NO	DESCRIPTION	BY	DATE

SHEET TITLE:  
**ANTENNA KEYS**  
 SHEET NUMBER:  
**C3**

EXISTING ANTENNA KEY	Sector	Position	Status	Antenna Centerline (ft/AGU)	Antenna Make/Model	Antenna Count	Height (ft)	Width (ft)	Depth (ft)	Weight (lbs)	Admunt (lbs)	Admunt* (lbs)	Mech Demilit	Electrical Demilit	Coax Jumper Count	TMA Make/Model	TMA Count	Diplexer Make/Model	Diplexer Count	Coax Make/Model	Coax Count	Coax Size	Coax Length	RUU Make/Model	RUU Count	Hybrid Jumper Make/Model	Hybrid Jumper Count	Hybrid Jumper Length	Distribution Box Make/Model	Box Count	Hybrid Cable Make/Model	Hybrid Cable Count	Hybrid Cable Length								
PROPOSED ANTENNA KEY	Gamma	L-FCS	REMOVE	122'	DECIBEL/731068SVTAM	1	13	13	7	21	0'	358'	-	-	5	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1						
			REMOVE	122'	ANTEL/BA-71063-12CF	1	94.6	11.2	5.1	24	240'	238'	-	-	-	-	8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1				
			REMOVE	122'	ANTEL/BA-71063-12CF	1	72.4	6.1	4.1	15	150'	118'	-	-	-	-	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2			
			REMOVE	122'	DECIBEL/731068SVTAM	1	13	13	7	21	0'	358'	-	-	-	-	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2			
			REMOVE	122'	DECIBEL/731068SVTAM	1	13	13	7	21	0'	358'	-	-	-	-	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2			
			REMOVE	122'	ANTEL/BA-71063-12CF	1	94.6	11.2	5.1	24	240'	238'	-	-	-	-	8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
			REMOVE	122'	ANTEL/BA-71063-12CF	1	72.4	6.1	4.1	15	150'	118'	-	-	-	-	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2		
			REMOVE	122'	DECIBEL/731068SVTAM	1	13	13	7	21	0'	358'	-	-	-	-	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2		
			REMOVE	122'	DECIBEL/731068SVTAM	1	13	13	7	21	0'	358'	-	-	-	-	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2		
			REMOVE	122'	ANTEL/BA-71063-12CF	1	94.6	11.2	5.1	24	240'	238'	-	-	-	-	8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
			REMOVE	122'	ANTEL/BA-71063-12CF	1	72.4	6.1	4.1	15	150'	118'	-	-	-	-	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	
			REMOVE	122'	DECIBEL/731068SVTAM	1	13	13	7	21	0'	358'	-	-	-	-	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2		
Total Antenna Count						12									12									12																	
Total Antenna Count						12									12									12																	

**ANTENNA KEYS**





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 AUSTIN, TX 78746  
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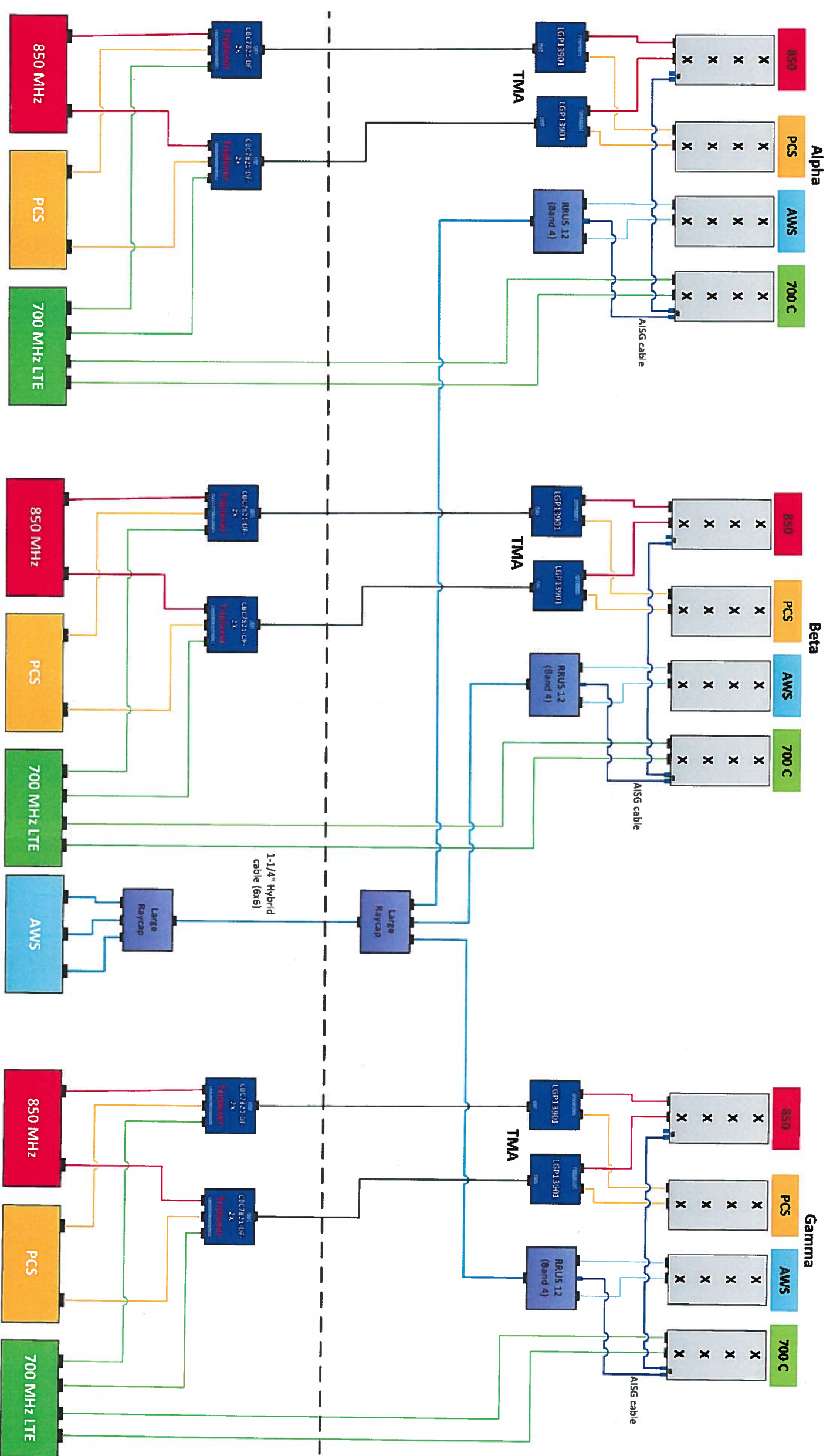
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SHEET TITLE:  
**PLUMBING DIAGRAM**

SHEET NUMBER:  
**C4**

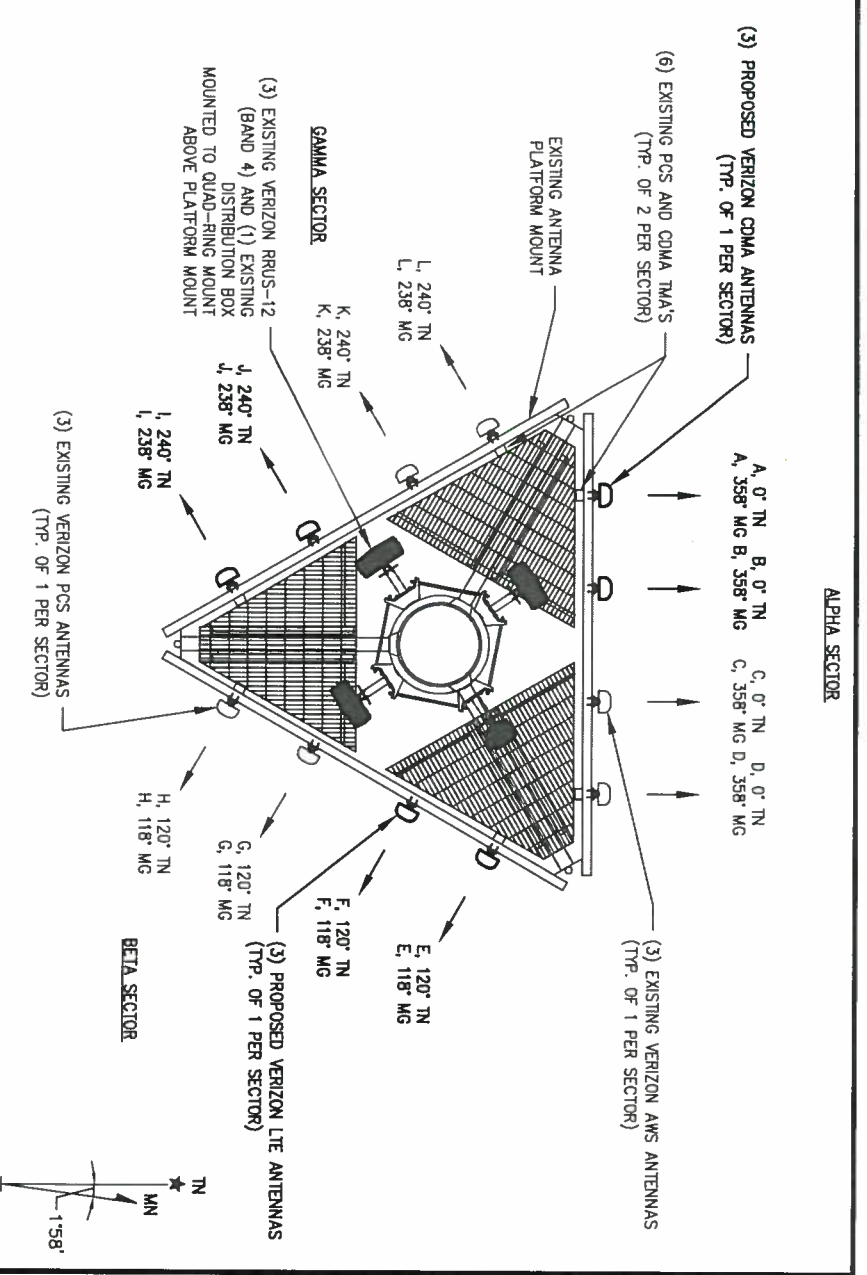


850 MHz  
 PCS  
 700 MHz LTE

850 MHz  
 PCS  
 700 MHz LTE

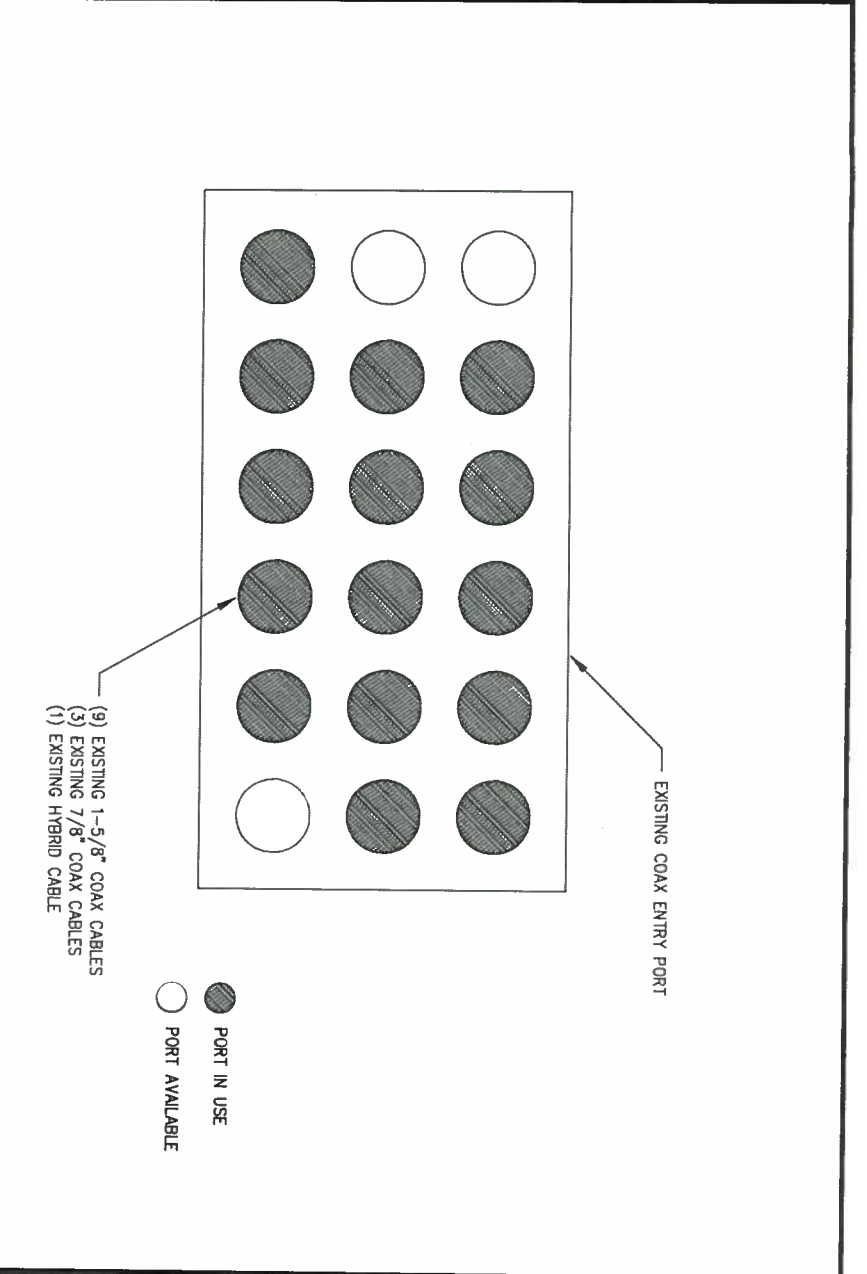
850 MHz  
 PCS  
 700 MHz LTE





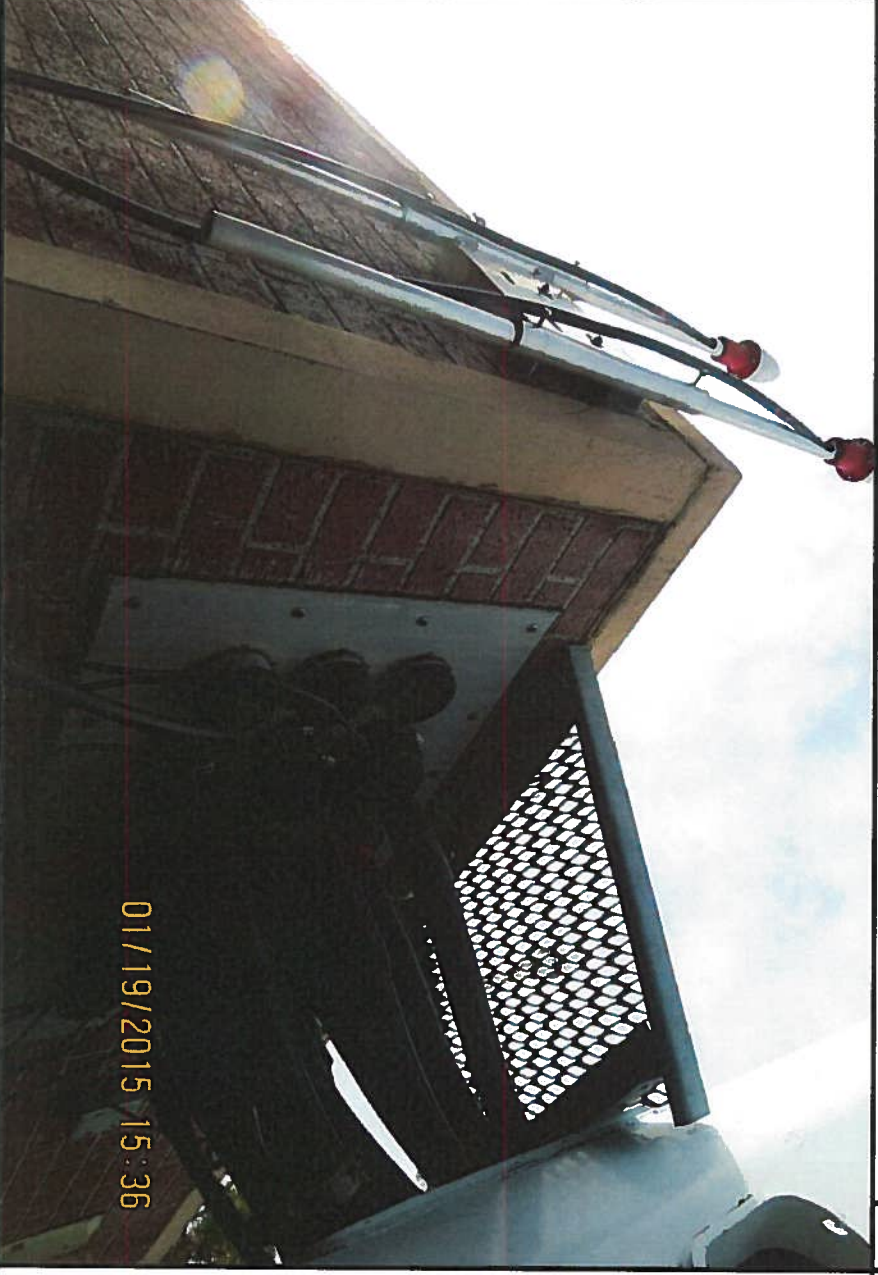
ERICSSON RRU'S 12 & UPPER OVP LAYOUT (N.T.S)

3



EXISTING COAX ENTRY PORT

1



01/19/2015 15:36

EXISTING COAX ENTRY PORT

4

THIS SPACE INTENTIONALLY LEFT BLANK

DETAIL NOT USED

2

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SHEET TITLE:  
**ANTENNA PLANS AND ENTRY PORT**

SHEET NUMBER:  
**C5**

**GENERAL NOTES**

1. THE CONTRACTOR SHALL SUPERVISE AND DIRECT ALL WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT.
2. THE CONTRACTOR SHALL VISIT THE JOB SITE TO REVIEW THE SCOPE OF WORK AND EXISTING JOB SITE CONDITIONS INCLUDING, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL SERVICE, AND OVERALL CONDITION.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO SUBMITTING HIS BID. ANY DISCREPANCIES, CONFLICTS OR OMISSIONS, ETC. SHALL BE REPORTED TO VERIZON BEFORE PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW AND EXISTING CONSTRUCTION, STRUCTURE, OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE TENANT OR BUILDING OWNER, OR OWNER'S REPRESENTATIVE AT THE EXPENSE OF THE CONTRACTOR.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL REPLACE OR REPAIR ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.
6. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING THROUGHOUT CONSTRUCTION, INCLUDING FINAL CLEAN-UP UPON COMPLETION OF WORK. ALL AREAS ARE TO BE LEFT IN A BROOM CLEAN CONDITION AT THE END OF EACH DAY.
7. THE CONTRACTOR SHALL SAFEGUARD THE OWNER'S PROPERTY DURING CONSTRUCTION AND SHALL REPLACE ANY DAMAGED PROPERTY OF THE OWNER TO ORIGINAL CONDITION OR BETTER.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED IN CONJUNCTION WITH THE EXECUTION OF WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED PER CHAPTER 44 OF THE U.B.C.
10. THE CONTRACTOR DURING CONSTRUCTION SHALL PROVIDE TEMPORARY WATER, POWER, AND TOILET FACILITIES AS REQUIRED BY THE CITY OR GOVERNING AGENCY.
11. ALL CONSTRUCTION WORK SHALL CONFORM TO THE U.B.C. AND ALL OTHER GOVERNING CODES, ALONG WITH THE GOVERNING RESTRICTIVE CODES.
12. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL COMPLY WITH ALL LOCAL CODE REGULATIONS AND STATE DEPARTMENT OF INDUSTRIAL REGULATIONS AND DIVISION OF INDUSTRIAL SAFETY (OSHA) REQUIREMENTS.
13. THE CONTRACTOR SHALL OBTAIN AND PAY FOR PERMITS, LICENSES, AND INSPECTIONS NECESSARY FOR PERFORMANCE OF THE WORK AND INCLUDE THOSE IN THE COST OF THE WORK TO THE OWNER.
14. FIGURED DIMENSIONS HAVE PRECEDENCE OVER DRAWINGS SCALE AND DETAIL DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS. CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD. UNLESS SPECIFICALLY NOTED, DO NOT FABRICATE ANY MATERIALS OFF-SITE, OR DO ANY CONSTRUCTION UNTIL THE ACCURACY OF DRAWINGS DIMENSIONS HAS BEEN VERIFIED AGAINST ACTUAL FIELD DIMENSIONS.
15. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS OR DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS AND THE FIELD CONDITIONS PRIOR TO EXECUTING THE WORK IN QUESTION.
16. CONTRACTOR SHALL NOTIFY THE ENGINEER IF DETAILS ARE CONSIDERED UNSOUND, UNSAFE, NOT WATERPROOF, OR NOT WITHIN THE CUSTOMARY TRADE PRACTICE. IF WORK IS PERFORMED, IT WILL BE ASSUMED THAT THERE IS NO OBJECTION TO THE DETAIL DETAILS ARE INTENDED TO SHOW THE END RESULT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.
17. EXISTING ELEVATIONS AND LOCATIONS SHOWN SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. IF THEY DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.
18. ALL SYMBOLS AND ABBREVIATIONS USED IN THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR EXACT MEANING, THE ENGINEER SHALL BE NOTIFIED FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
19. CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR OTHER SUPPORT FOR ALL OTHER ITEMS REQUIRING THE SAME.
20. CITY APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA AND OTHER CHANGE ORDERS ON THE PREMISE AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
21. ALL CONDUITS AND CABLE RIMS ARE DRAWN DIAGRAMMATICALLY. CONTRACTOR SHALL RUN CONDUITS AND CABLES IN COMPLIANCE WITH THE NATIONAL ELECTRIC CODE ALONG THE BEST POSSIBLE ROUTE. THE INSTALLATION OF CONDUITS AND CABLES WILL FOLLOW THE DRAWINGS AS TO SUPPORT AND EQUIPMENT.
22. KCI'S SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THE SITE. THUS, APPURTENANCE, EQUIPMENT, AND TRANSMISSION CABLES SHOWN ON THESE DRAWINGS ARE

SCHEMATIC AND FOR REFERENCE ONLY. A STRUCTURAL EVALUATION OF THE SITE STRUCTURE, ANTENNA MOUNTINGS AND HARDWARE SHOULD BE PERFORMED AND RECOMMENDATIONS IMPLEMENTED PRIOR TO THE INSTALLATION OF THIS SCOPE OF WORK. THENCE, INFORMATION INDICATED IN THE STRUCTURAL ANALYSIS REGARDING FINAL APPURTENANCE/EQUIPMENT/CABLE ARRANGEMENT AND DETAILS SUPERCEDES THESE DRAWINGS. THE ENGINEER MAKES NO WARRANTY, EXPRESSED OR IMPLIED, OF THE ACCURACY OF THE STRUCTURAL ANALYSIS AND THE PERFORMANCE OF THE COMPLETED CONSTRUCTION AS SHOWN ON THESE DOCUMENTS AND THE STRUCTURAL ANALYSIS.

**EQUIPMENT NOTES**

1. ALL RADIO EQUIPMENT PLACEMENT AND INSTALLATION IS BY AN EQUIPMENT SUPPLIER WHO IS RESPONSIBLE FOR COORDINATING HIS WORK WITH THE WORK OF OTHERS AS IT RELATES TO THE RADIO EQUIPMENT.

**TENANT IMPROVEMENT NOTES**

1. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OF 2-A10BC WITHIN 75 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILD OUT AREA DURING CONSTRUCTION.
2. ANY ALTERATION TO EXISTING FIRE PROTECTION FACILITIES WILL REQUIRE CLEARANCE AND PERMITS FROM THE GOVERNING FIRE DEPARTMENT AND OTHER AGENCIES BY A LICENSED FIRE PROTECTION CONTRACTOR.

**ANTENNA NOTES**

1. ANTENNA CONTRACTOR SHALL ENSURE THAT ALL ANTENNA MOUNTING PIPES ARE PLUMB.
2. COAXIAL FEEDER AND FIBER LENGTHS INDICATED ARE APPROXIMATE
3. ANTENNA COAXIAL FEEDERS AND ANTENNA JUMPERS SHALL BE COLOR CODED PER VERIZON REQUIREMENTS.
4. MULTI-PORT ANTENNAS: TERMINATE UNUSED ANTENNA PORTS WITH CONNECTOR CAP AND WEATHERPROOF THOROUGHLY. JUMPERS FROM TMA'S MUST TERMINATE TO OPPOSITE POLARIZATIONS IN EACH SECTOR.
5. CONTRACTOR MUST FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS REGARDING THE INSTALLATION OF COAXIAL CABLES, CONNECTORS, AND ANTENNAS.
6. CONTRACTOR SHALL RECORD THE SERIAL#, SECTOR, AND POSITION OF EACH ANTENNA AND ACTUATOR INSTALLED AT THE ANTENNAS AND FURNISH THE INFORMATION TO VERIZON.
7. ANTENNA CONTRACTOR SHALL PERFORM A "TAPE DROP" MEASUREMENT TO CONFIRM/VALIDATE ANTENNA CENTERLINE (ACL) HEIGHT. CONTRACTOR SHALL SUBMIT A COMPLETED HEIGHT VERIFICATION FORM TO THE CONSTRUCTION MANAGER.
8. WEATHERPROOF UNUSED PORTS.
9. ALL ANTENNA AZIMUTHS TO BE FROM TRUE NORTH.

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**PRELIMINARY DOCUMENTS**

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 - JACK T. PIERPS, P.E.  
 - KANSAS PROFESSIONAL ENGINEER  
 - KANSAS REGISTRATION NUMBER 26302  
 - KCI WIRELESS, INC.  
 - KANSAS CERTIFICATE OF AUTHORIZATION FOR KCI WIRELESS IS E-2404



KCI WIRELESS, INC.  
 805 LAS CIMAS PKWY  
 BUILDING THREE, SUITE 370  
 AUSTIN, TX 78746  
 TEL: 512.345.9895  
 FAX: 512.345.9898

SITE NAME:

**KCYC PRAIRIE VILLAGE**

SITE NUMBER:  
**140622**

SITE ADDRESS:  
 7700 MISSION ROAD  
 PRAIRIE VILLAGE, KS 66208

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ISSUED FOR: DATE  
 REVIEW REV C 06/11/2015

NO	DESCRIPTION	BY	DATE

SHEET TITLE:  
**GENERAL NOTES**

SHEET NUMBER:  
**GN1**

# STAFF REPORT

**TO:** Prairie Village Planning Commission  
**FROM:** Chris Brewster, AICP, Gould Evans, Planning Consultant  
**DATE:** September 1 2015, Planning Commission Meeting

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**Application:** PC 2015-115

**Request:** Site Plan Approval in a C-O District for a New Office Building

**Property Address:** 7501 Mission Road – Southeast corner of 75<sup>th</sup> & Mission

**Applicant:** Chris Hafner, AIA – Davidson AE

**Current Zoning and Land Use:** C-O Office

**Surrounding Zoning and Land Use:** North: C-O Office – Office Building  
East: R1-A Single Family – Residences  
South: R1-A Single Family – Residences  
West: R1-A Single Family – School

**Legal Description:** Lots 1, 2, 3, 4 and 17, Block 1, Mohawk Hills

**Property Area:** 55,466 sq. ft. (1.27 acres)

**Related Case Files:** None

**Attachments:** Application, Drawings & Photos

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**General Location – Map**



**General Location – Aerial**



**Site Location – Birdseye View**



**Specific Location – Street View**  
(Looking SW from 75<sup>th</sup> Street)



**COMMENTS:**

The applicant is requesting site plan approval for a new two-story office building and associated site improvements. The new building would replace the existing two-story, multi-tenant office building on the site. The lot is located on the southeast corner of 75<sup>th</sup> Street and Mission Road. The property is zoned C-O, Office Building District.

The property addressed on Mission Road, but the long-axis of the building is oriented toward 75<sup>th</sup> Street (see street view), and has similar scale office and commercial uses to the north. Shawnee Mission East High School, a more intense and larger scale development is across Mission Road to the west. The site is adjacent to single family residential uses to the east and south. The site sits below Mission Road and below the residential uses along Mission Road to the south of the site. The proposed office building on the site is compatible with the ranch, split-level and two story homes adjacent to the site.

The location of the new building on the site is being pushed north near the right-of-way for 75<sup>th</sup> Street, allowing the parking to be accommodated behind (south) and to the east the building. The location of the building on the site is similar to that of the buildings on the north side of 75<sup>th</sup> Street.

Currently access to the site is from Mission Road and from 75<sup>th</sup> Street. The request proposes access to the site at three points:

- From Mission Road, generally in the same location as existing access;
- From 75<sup>th</sup> Street realigned to the east from the current access; and
- From Mohawk Drive, on the east side of the site.

The access to the site is adequate however it is unclear that 3 access points are necessary. The access proposed on Mohawk Drive and the existing access on 75<sup>th</sup> Street may be somewhat redundant. The proposed access to Mohawk Drive could have impacts on the neighborhood to the west. The access to 75<sup>th</sup> Street could have traffic impacts. Reconciliation of if both of these access points are necessary should be clarified with Public Works, and the proposed access and entire frontage design along 75<sup>th</sup> Street should be reviewed and coordinated with current street and streetscape improvements for 75<sup>th</sup> Street.

New parking totaling 79 spaces, including 4 handicap accessible spaces, is proposed to serve the building. Per Section 19.46, Off-Street Parking and Loading Regulations, Section 030, Require Spaces, 69 spaces are required based on the size and use of the building.

The primary building materials proposed include stone, aluminum composite material (ACM) and glazing (glass). The ACM or metal panel is not widely used in this area. Two colors of the ACM are proposed, Alabaster (cream) and Anodic Satin Mica (beige). Its application does not make up more than 50% of any façade of the building. The stone application is generally around the base of the building.

Residential uses to the south are currently buffered from the site through a row of mature trees, on the adjacent property. The landscape plan softens the site by providing adequate landscaping to buffer the parking lot from adjacent properties and accent the building along 75<sup>th</sup> Street and Mission Road. Staff does have a concern regarding some of the species of plant materials selected. Red maples are overplanted in this area and do not perform well over time, needing to be replaced. Appropriate species include White Oak, Swamp White Oak, Kentucky Coffeetree or Autumn Gold Ginkgo. Similarly, the Sunburst cultivar of Honeylocust does not perform well, however other cultivars of Honeylocust, such as Imperial or Streetkeeper perform well and are better for this application. Staff is also concerned about the use of ornamental trees (crabapples are identified) along 75<sup>th</sup> Street. The use of shade trees is more appropriate for this street to provide substantial shade over time for pedestrians and further define the corridor. Hardy street trees such as the Swamp White Oak, Silver Linden, Bald Cypress and Emerald Sunshine Elm are appropriate for situation.

According to Section 19.32.030 of the Prairie Village Zoning Regulations, the Planning Commission shall give consideration to the following criteria in approving or disapproving a site plan.

**A. The Site is capable of accommodating the building, parking areas and drives with appropriate open space and landscape.**

The site plan meets the development standards of the C-O district and adequately accommodates the building, parking and circulation and open space and landscape. It is a similar scale and development pattern to the current building.



**B. Utilities are available with adequate capacity to serve the proposed development.**

The proposed use is the same use to the previous development, and of a similar scale. The existing utilities will adequately support the proposed development.

**C. The plan provides for adequate management of stormwater runoff.**

The site plan indicates additional pervious service on-site through the provision of new landscaping and turf that will provide an opportunity to improve storm water management. In addition the storm water plans will need to be approved by Public Works.

**D. The plan provides for safe and easy ingress, egress, and internal traffic circulation.**

The plan does provide for safe site access, however the need for both of the 75<sup>th</sup> Street access and proposed Mohawk access should be reviewed by Public Works. If access to Mohawk is necessary to improve safety and traffic movements along 75<sup>th</sup> Street, it should be offset from the access on the west side (as depicted in the site plan) in order to discourage cut-through traffic into the neighborhood.

**E. The plan is consistent with good land planning and good site engineering design principles.**

The site plan moves the building closer to the setback lines hiding the majority of the parking to occur behind the building, away from 75<sup>th</sup> Street. This will improve the visual aesthetics of the site and contribute to the overall appearance of the 75<sup>th</sup> Street corridor.

**F. An appropriate degree of compatibility will prevail between the architectural quality of the proposed building and the surrounding neighborhood.**

The proposed building and site design will improve the relationship to 75<sup>th</sup> street by moving the building closer to the street and providing an consistent street frontage. This is a similar pattern on sites to the north, as well as sites on the south side just east of this site. This frontage helps frame the corridor with building facades rather than voids and parking areas, creating well-defined public space. Additionally, landscape amenities in association with the building foundations and streetscape will improve the relationship to both 75<sup>th</sup> Street and Mission Road. The use of stone along the base and foundation is compatible with other buildings in the neighborhood, and although ACM is not widely used, it will be in muted colors to compliment the stone and is a high-quality architectural material.

**G. The plan represents an overall development pattern that is consistent with the comprehensive plan and other adopted planning policies.**

The proposed site plan represents an improved development pattern and will be an upgrade to a declining site at a prominent location in the City, and a repositioning of the property to strengthen its current use as office. This is consistent with the comprehensive plan which specifically calls for reinvestment in this area ("Corridor Redevelopment – 75<sup>th</sup> Street, Section 6 of Village Vision Plan"), identifies strengthening office markets to reduce vacancy caused by aging facilities and sites, and improves the community character by better shaping public space with development.

**RECOMMENDATION:**

It is the recommendation of Staff that the Planning Commission approve the proposed site plan for 7501 Mission Road subject to the following conditions:

1. A final storm water plan be approved by Public Works.
2. All site design and improvements be coordinated with public improvements for access and streetscape currently under way along 75<sup>th</sup> Street, and access to the site be approved by Public Works.
3. That the landscape plan be revised to include:
  - A. Replace Red Maple trees with White Oak, Swamp White Oak, Kentucky Coffeetree, Autumn Gold Ginkgo or other hardy varieties of large landscape trees.

- B. Replace the Sunburst cultivar of Honeylocust identified with either Imperial or Streetkeeper cultivar.
  - C. Replace ornamental street trees along 75<sup>th</sup> Street with appropriate shade trees such as, Swamp White Oak, Silver Linden, Bald Cypress and Emerald Sunshine Elm or other varieties.
-



**Project Synopsis**

Governing Municipality: Prairie Village, Kansas  
 Governing Code: 2012 IBC  
 Existing Zoning: C-O Business Office  
 Site Area: 55,466 sq. ft., 1.27 acres  
 Building Use: Office  
 Building Height: 34' above grade  
 No. of Floors: Two  
 Total Building Area: 20,714 sq. ft.  
 First Floor Area: 10,183 sq. ft.  
 Building Coverage: 18%  
 Construction Type: IIB  
 Occupancy Type: B (Office)  
 Parking Required: 1 per 300 sq. ft. of office: 20,714 sq. ft. / 300 = 69 spaces  
 Proposed Parking: 79 spaces  
 Existing Impervious Area: 50,361 sq. ft.  
 Proposed Impervious Area: 40,932 sq. ft. (reduction of 9,429 sq. ft.)  
 Project Start: Winter 2015  
 Project Completion: Fall 2016

**General Notes**

- All construction shall conform to the standards and specifications of Prairie Village, Kansas.
- The general contractor shall contact all utility companies prior to the start of construction and verify the location and depth of any utilities that may be encountered during construction.
- The contractor shall field verify exist. surface & subsurface ground conditions prior to start of construction.
- Slopes shall be maintain a maximum 3 : 1 slope.
- The contractor shall be responsible for obtaining all required permits, paying all fees and otherwise complying with all applicable regulations governing the project.
- Place silt fence per civil engineering drawings for erosion control.
- Prior to installing any structure on a public storm sewer, the contractor shall submit shop drawings for the structure(s). Installation shall not occur until drawings have been approved by Public Works. For storm drainage structures, use details provided in the design and construction manual.
- Prior to installing, constructing or performing any work on the public storm sewer line (including connecting private drainage to the storm system), contact the city for inspection of the work. Contact must be made at least 48 hours prior to the start of work.
- Connections to the public storm sewer between structures will not be permitted.

**Construction Notes**

- Demo exist. site and building improvements for new development.
- Provide heavy duty asphalt section throughout new parking lot.
- 15' parking setback line per ordinance.
- 8' parking setback line per ordinance.
- 30' building setback line per ordinance.
- 15' building setback line per ordinance.
- 35' building setback line per ordinance.
- Furnish & install new conc. drive approach - sawcut exist. curb & gutter as required to install drive. Match approach elevation w/ exist. surface.
- Exist. public sidewalk to remain.
- Provide new accessible ramps @ all curb cuts that intersect with public sidewalks.
- New monument sign per sheet A3.1.
- New trash enclosure per sheet A3.1.
- Dashed lines around new building represent upper floor limits or entry canopy above.
- Provide conc. sidewalk connection to public system as shown.
- Provide accessible ADA path on sidewalk from handicap stalls to main building entry on south side.
- Convert exist. curb inlet to junction box with curb cut improvements.
- Maintain exist. sanitary manhole during construction & install of curb cut improvements.
- Handicap parking signage shall be type R7-5D (white background, green text & blue wheelchair symbol) per Manual of Uniform Traffic Control Devices. Mount sign at not more than 60" a.f.g. to bottom. Sign to contain the universal handicap symbol and "van accessible" as required per ADA.
- Furnish & install accessible sidewalk & ramp per ADA.
- Handicap striping & universal symbol painted white w/ 4" stroke.
- Paint all exterior utility services to match primary adjacent building color.
- Exterior parking lot lighting - LED flat lens fixture on 24' pole (total assembly ht.) & 36" a.f.g. x 18" dia. conc. base.
- Parking lot striping to be painted white w/ 4" stroke.
- Maintain exist. off site landscaping during construction.



a redevelopment for  
**75th & Mission Office**  
 7501 Mission Road  
 Prairie Village, Kansas

date 07.31.15  
 drawn by dAE  
 checked by dAE  
 revisions

sheet number  
**A1.1**  
 drawing type  
 planning  
 project number  
 11106







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 Prairie Village, Kansas

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 drawn by dAE  
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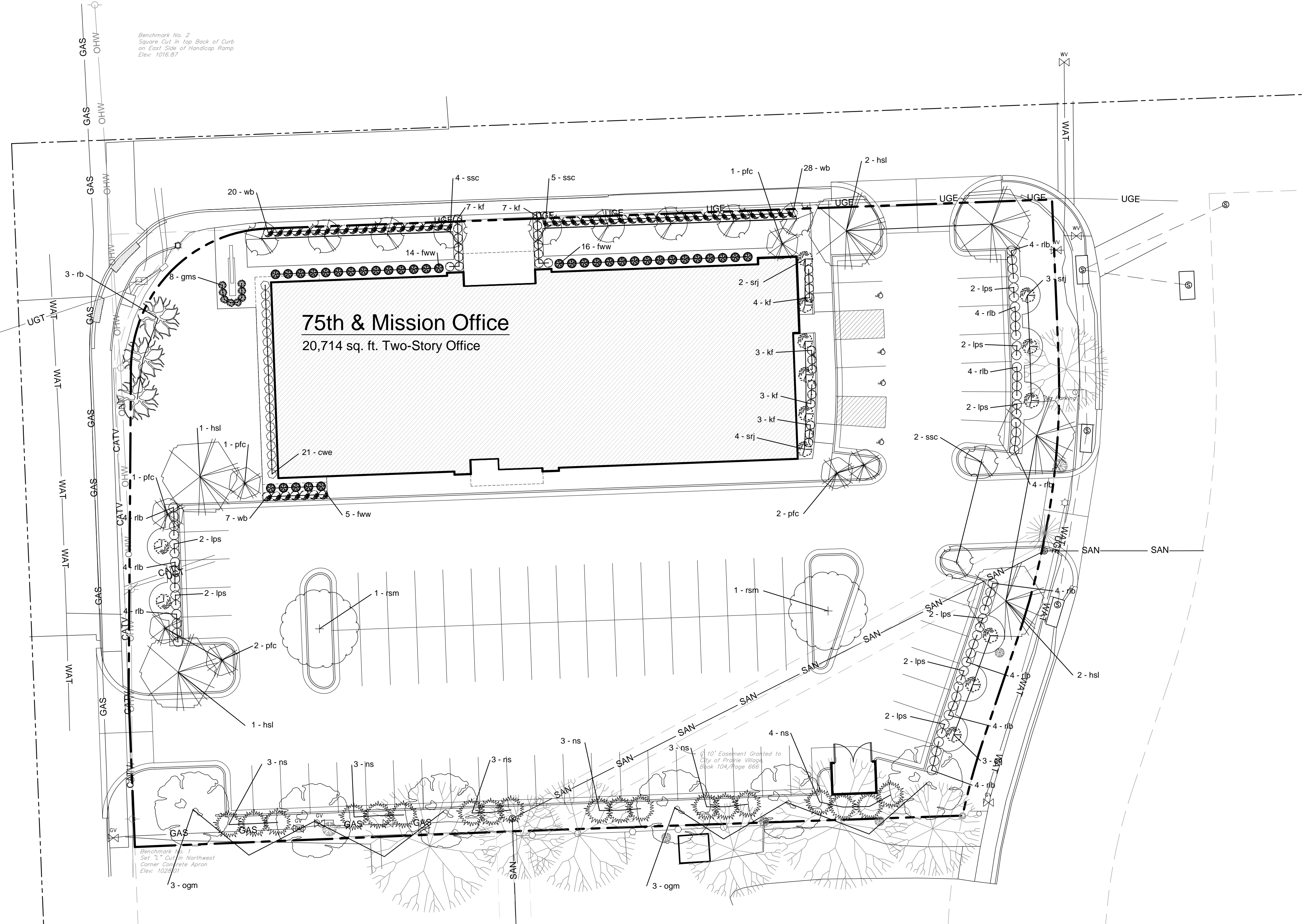
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 drawing type  
 planning  
 project number  
 11106



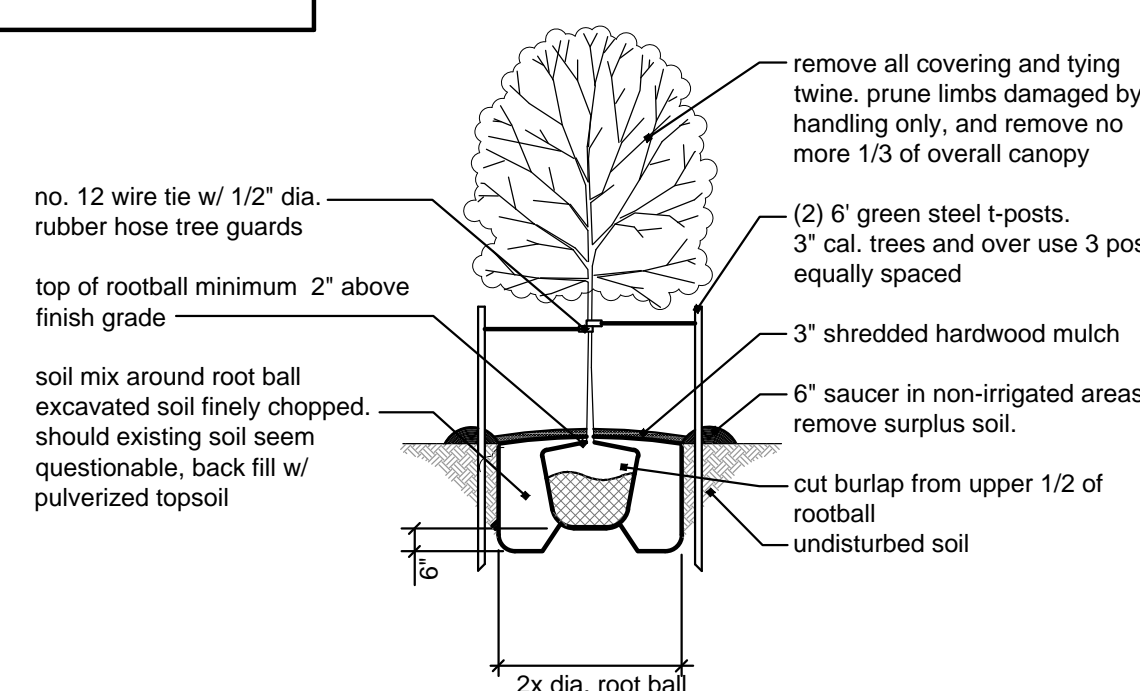
**Plant Schedule**

	item	qty.	common name	botanical name	size & condition
deciduous shade trees	shl	6	sunburst honey locust	gleditsia triacanthos 'sunburst'	2-1/2" cal. / b & b
	rsm	2	'red sunset' maple	acer rubrum 'red sunset'	2-1/2" cal. / b & b
	ogm	6	october glory maple	acer rubrum	2-1/2" cal. / b & b
evergreen	ns	19	norway spruce	picea abies	6' - 8' in height / b & b
	srj	14	skyrocket juniper	juniperus scopulorum 'skyrocket'	6' - 8' in height / b & b
ornamental	ssc	11	'spring snow' crab	malus 'spring snow'	1-1/2" cal. min. / b & b
	ptc	7	'prairiefire' crab	malus 'prairiefire'	1-1/2" cal. min. / b & b
	rb	3	redbud	cercis canadensis	1-1/2" cal. min. / b & b
evergreen shrub	wb	54	wintergreen boxwood	buxus microphylla	3 - 5 gallon / cont.
	rib	44	red leaf barberry	berberis thunbergii var. atropurpurea	3 - 5 gallon / cont.
dec. shrub	lps	16	'little princess' spirea	spirea japonica 'little princess'	3 - 5 gallon / cont.
	gms	8	'goldmound' spirea	spirea x bumalda 'goldmound'	3 - 5 gallon / cont.
	cwe	21	compact winged euonymus	euonymus alatus 'compactus'	3 - 5 gallon / cont.
	fww	35	fine wine weigela	weigela florida 'fine wine'	5 gallon / cont.
	kf	27	karl forester / feather reed grass	calamagrostis x acutiflora 'Karl Forester'	5 gallon / cont.

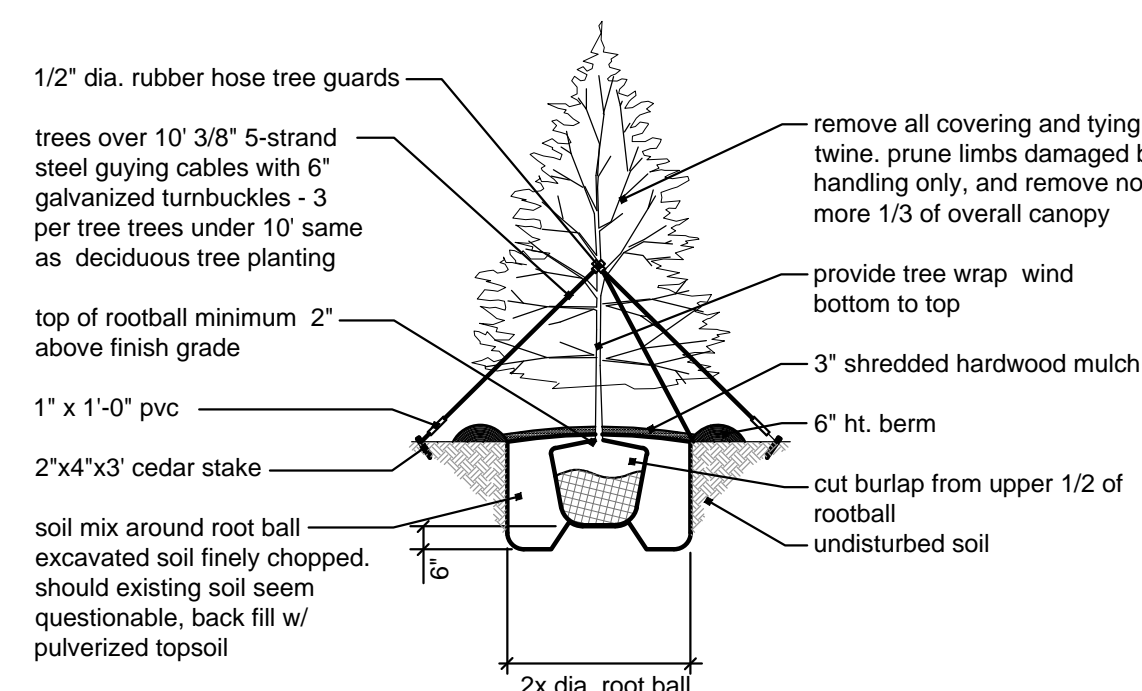
- landscape notes:**
- Landscaping shall be coordinated with the location of utilities, driveways and traffic clearance zones.
  - The contractor doing excavation on public right-of-way shall give 48 hours advance notice to and obtain information from utility companies.
  - Prior to commencement of work, the contractor shall notify all those companies which have facilities in the near vicinity of the construction to be performed.
  - Existing underground, overhead, utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies to locate their utilities before actual construction.
  - Contractor shall verify location of and protect all utilities and structures. Damage to utilities and structures shall be repaired by the contractor to the satisfaction of the owner at no additional expense.
  - Entire site to be irrigated by underground system, including right of way as req'd. (limits of sod including all other disturbed area's and all planting beds)
  - Irrigation system shall include an automatic rain sensor.
  - All landscape materials shall be installed in accordance with the current planting procedures established by the most recent addition of the American Standard for Nursery Stock.
  - Trees planted per this plan shall be installed during the spring (march 15 through june 15) or fall (september 15 through december 1). Written city approval will be required for planting during other times of the year.
  - Stake and guy all trees per planting details.
  - Install all shrubs and groundcover per planting details.
  - Elevation of top of mulch shall be 1/2" below any adjacent pavement/turf areas.
  - Root stimulator shall be applied to the soil backfill of each plant during installation.
  - Contractor shall verify all landscape material quantities and shall report any discrepancies immediately to the Landscape Architect.
  - Contractor shall stake plant locations in the field and have approval by the Landscape Architect before proceeding with installation.
  - Contractor shall guarantee all plant material for a period of one (1) year from date of initial acceptance. Contractor is responsible for maintaining plant material until acceptance is received. Maintenance shall include watering, maintaining plants in vertical position and shrub bed weed control.
  - All plant material shall meet or exceed minimum requirements defined by the "American Standard for Nursery Stock" ANSI Z60.1.
  - No plant material shall be substituted without written approval of the Landscape Architect per specifications.
  - Trees and seasonal color areas shall be mulched with three (3) inches minimum shredded hardwood mulch. Planting beds as delineated shall be separated from pavement/turf areas with metal edging and mulched with three (3) inches minimum shredded hardwood mulch over weed barrier fabric, except where otherwise specified.
  - All existing plant material to be retained shall be wrapped with orange, or bright, colored plastic snow fence around base of trees and around all shrubs. Stake to hold in place during construction.
  - All shrubs used as parking buffer to be min. 18" tall at planting and maintained 3'-0" max. height. Install plants not to encroach upon cars parked, when at full growth.
  - All trees with above a 2" caliper shall be double staked, while smaller trees shall be single staked.
  - Ground mechanical and electrical equipment shall be wholly screened from street right-of-way and residential developments.
  - Maximum slope shall be not greater than 3 : 1.
  - All portions of site not covered by paving, mulch, plantings, etc. are to be sodded. Sod shall extend to all disturbed areas and shall include portions of right of way if necessary.



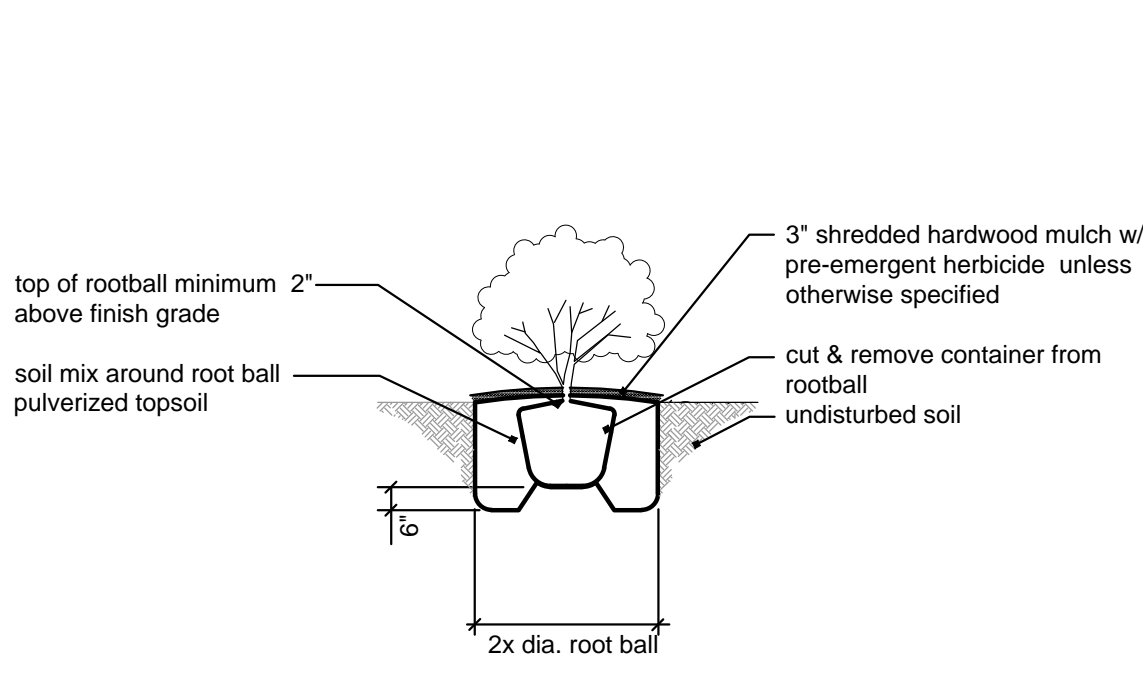
**1 Landscape Plan**  
scale: 1" = 20'-0"  
north



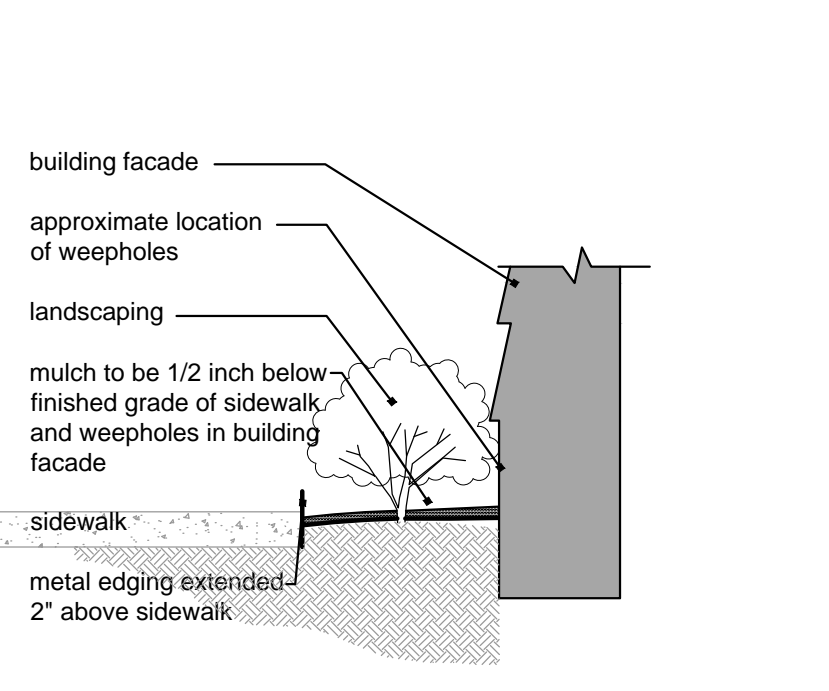
**2 deciduous tree planting detail**  
not to scale



**3 evergreen tree planting detail**  
not to scale



**4 shrub planting detail**  
not to scale



**5 edging detail**  
not to scale

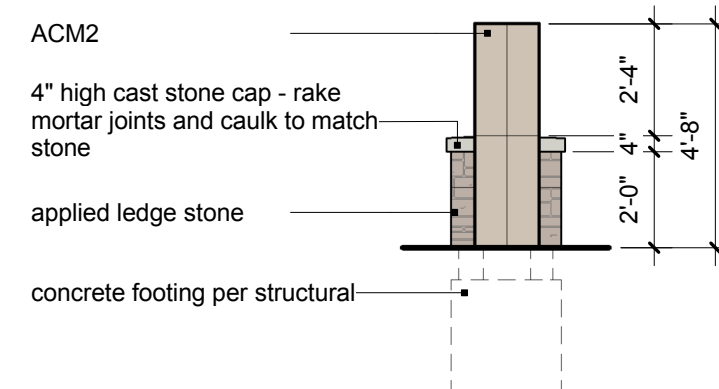
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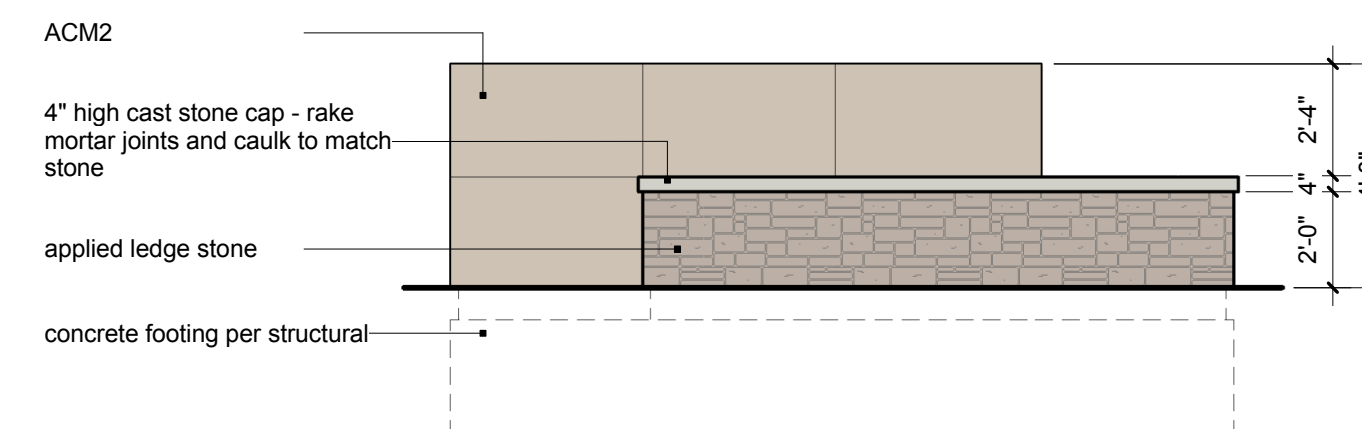


\*all building signage shall be internally illuminated and will be submitted under a separate permit by sign supplier

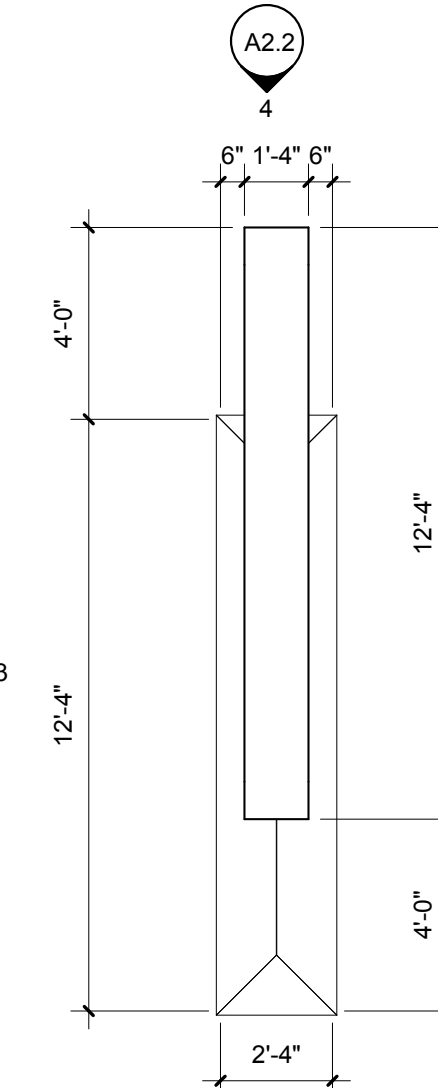


**4** monument elevation side  
scale: 1/4" = 1'-0"

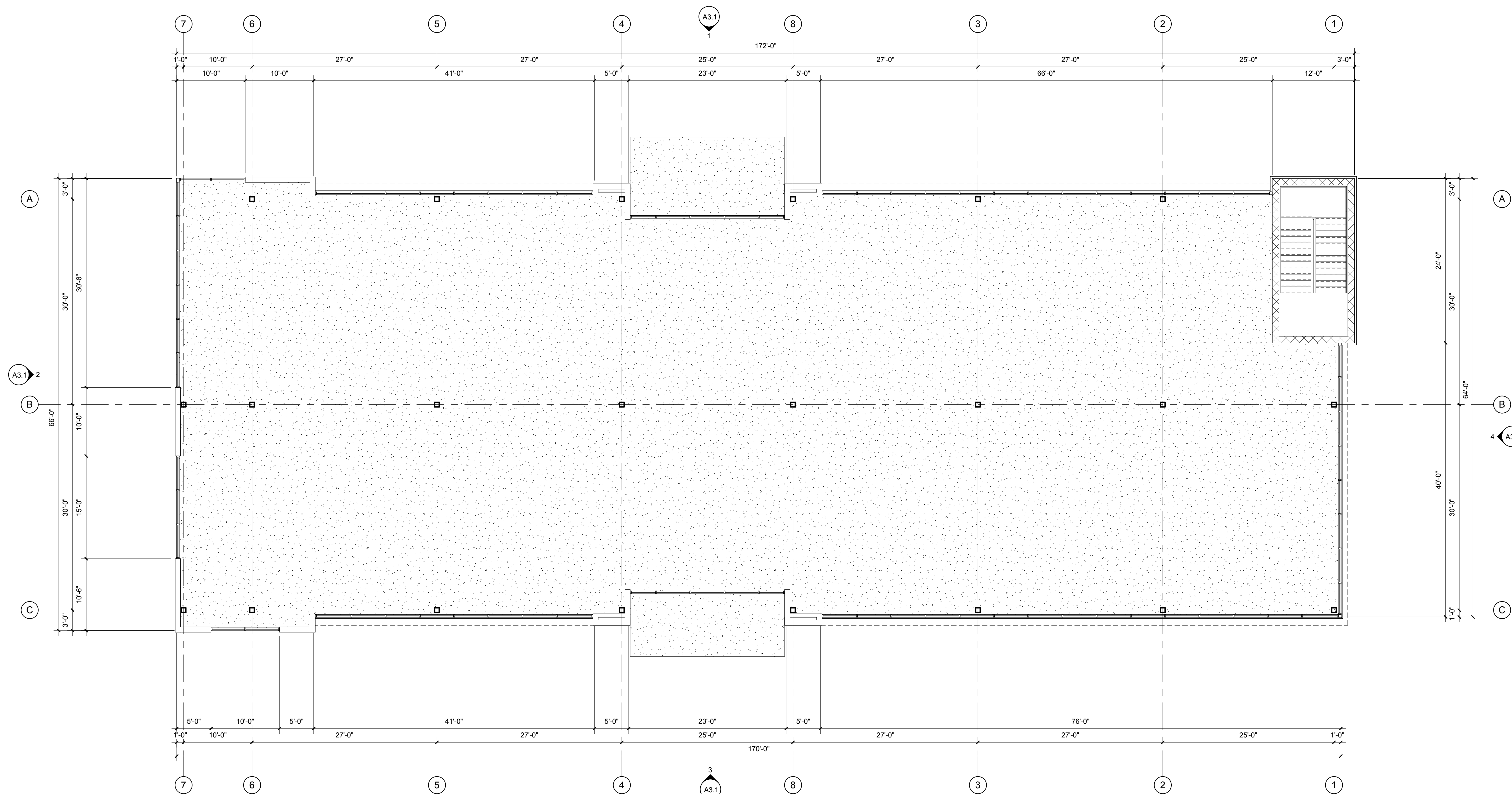
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**3** monument elevation front  
scale: 1/4" = 1'-0"



**2** monument sign plan  
scale: 1/4" = 1'-0"



**1** second floor plan  
scale: 1/8" = 1'-0"



a redevelopment for  
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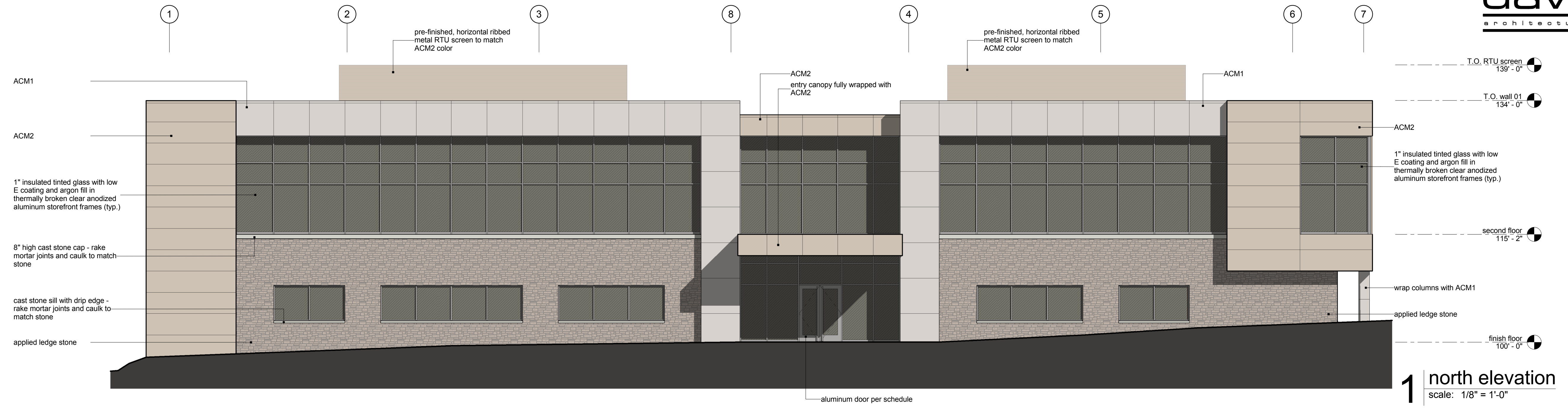
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dm  
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dAE  
revisions

sheet number  
**A2.2**



drawing type  
preliminary  
project number  
11106

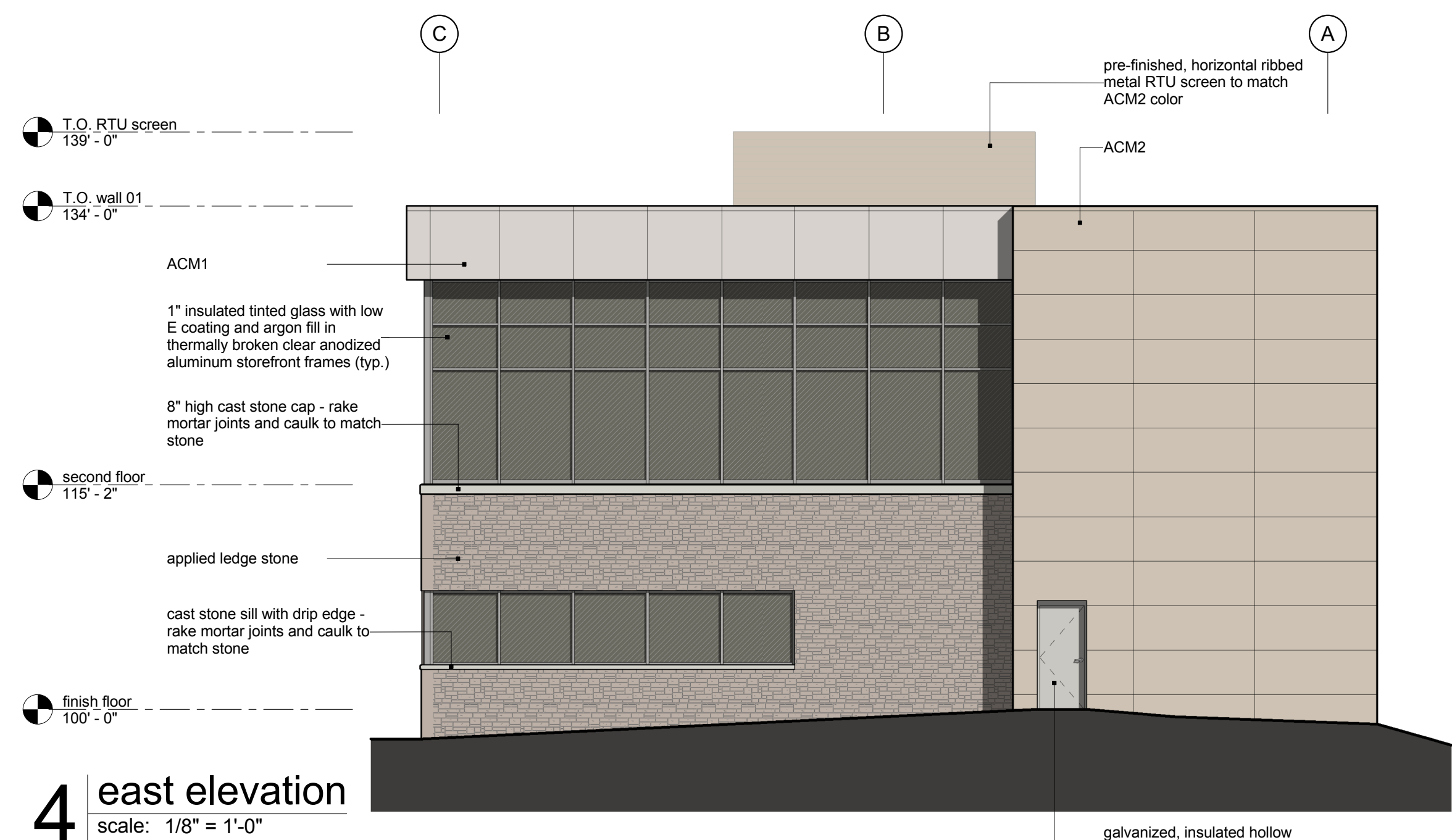




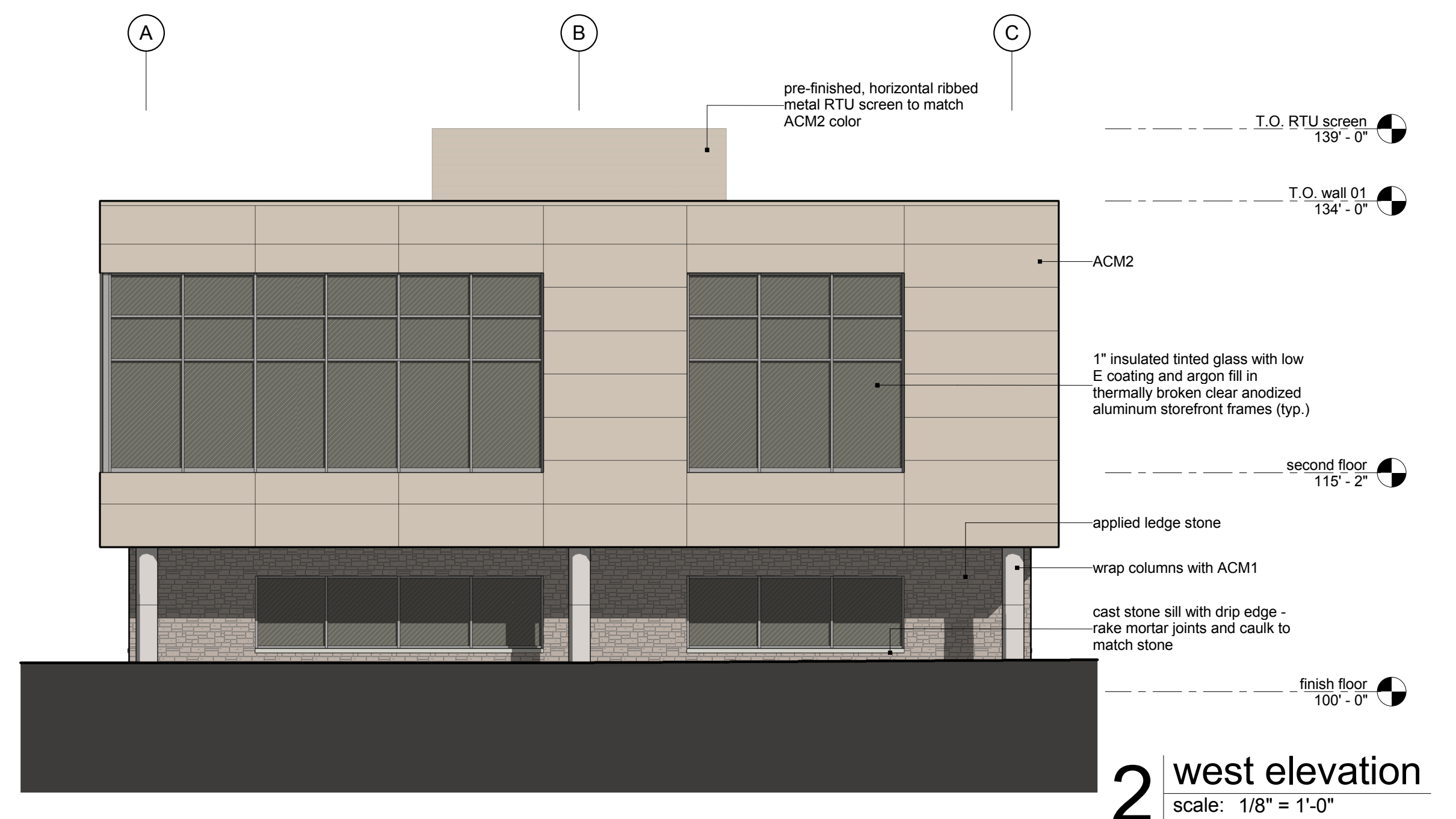
**1 north elevation**  
scale: 1/8" = 1'-0"

**exterior finishes:**

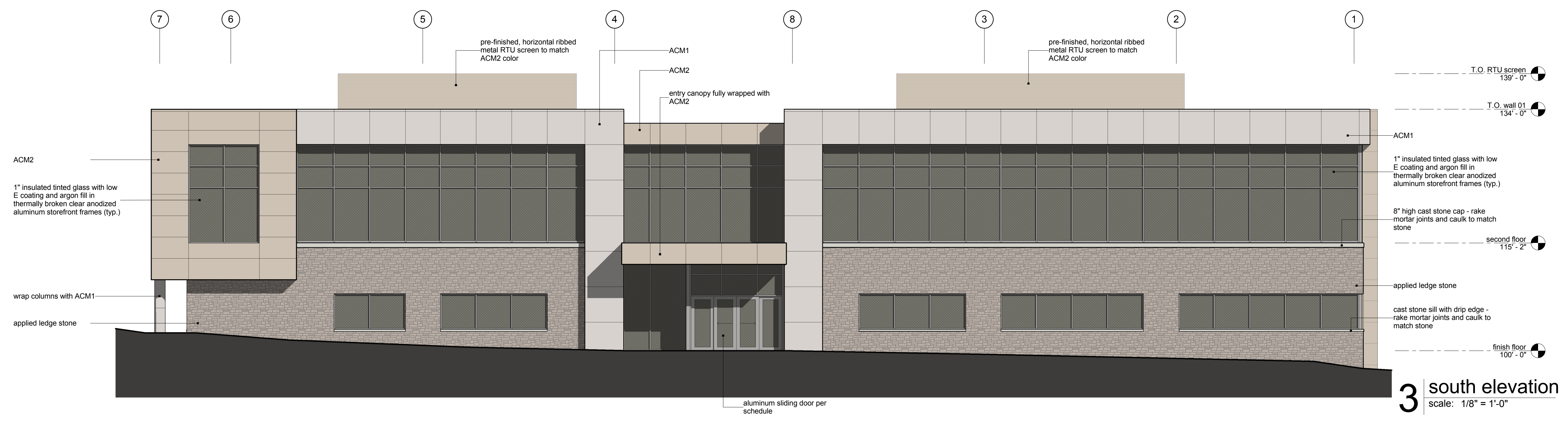
- aluminum composite material (ACM):**  
ACM1 - Alucobond PE (or approved equal), wet joint system, color: Alabaster  
ACM2 - Alucobond PE (or approved equal), wet joint system, color: Anodic Satin Mica
- stone:**  
applied stone, Eldorado Stone, profile: LedgeCut 33, finish: drystack, color: Golden Oak  
or approved equal
- columns:**  
insulate and wrap with ACM1
- cast stone:**  
Midwest Cast Stone, color: TBD  
or approved equal
- glass:**  
1" insulated and tinted glass with low-E coating and argon fill  
\*use SOLARBAN 60 as basis
- storefront frames:**  
anodized aluminum frames, finish: clear
- hollow metal door:**  
paint color shall be closest Sherwin Williams match to (ACM2)
- caulk:**  
to match adjacent walls
- signage:**  
all building signage shall be internally illuminated and will be submitted under a separate permit by sign supplier



**4 east elevation**  
scale: 1/8" = 1'-0"



**2 west elevation**  
scale: 1/8" = 1'-0"



**3 south elevation**  
scale: 1/8" = 1'-0"

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# OSQ Series

LED Area/Flood Luminaire – Large

## Product Description

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weathertight LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. 'S' Input power designator is a suitable upgrade for HID applications up to 750 Watts

**Applications:** Parking lots, walkways, campuses, auto dealerships, office complexes, and internal roadways.

## Performance Summary

Utilizes BetaLED® Technology

NanoOptic® Precision Delivery Grid™ optic

Made in the U.S.A. of U.S. and imported parts

**CRI:** Minimum 70 CRI (4000K & 5700K); 80 CRI (3000K)

**CCT:** 3000K (+/- 300K), 4000K (+/- 300K), 5700K (+/- 500K)

**Limited Warranty\*:** 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

## Accessories

Field-Installed	
<b>Backlight Shield</b> OSQ-BLSLF – Front facing optics	OSQ-BLSLR – Rotated optics

## Ordering Information

Fully assembled luminaire is composed of two components that must be ordered separately:  
Example: **Mount:** OSQ-AA SV + **Luminaire:** OSQ A NM 2ME S 40K-UL SV

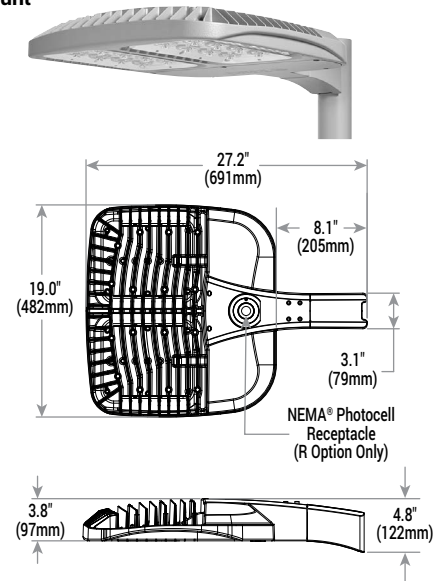
Mount (Luminaire must be ordered separately)				
OSQ-				
OSQ-AA Adjustable Arm	Color Options:	SV Silver	BZ Bronze	WH White
OSQ-DA Direct Arm		BK Black	PB Platinum Bronze	

Luminaire (Mount must be ordered separately)										
OSQ	A	NM	Optic		S	CCT	-	Voltage	Color Options	Options
OSQ	A	NM No Mount	2ME* Type II Medium 3ME* Type III Medium 4ME* Type IV Medium 5ME Type V Medium 5SH Type V Short	15D 15° Flood 25D 25° Flood 40D 40° Flood 60D 60° Flood 5SH	S 223W	30K 3000K 40K 4000K 57K 5700K	- US * Canada	UL Universal 120-277V UH Universal 347-480V	SV Silver BK Black BZ Bronze PB Platinum Bronze WH White	<b>DIM 0-10V Dimming</b> - Control by others - Refer to Dimming spec sheet for details - Can't exceed wattage of specified input power designator <b>F Fuse</b> - When code dictates fusing, use time delay fuse <b>ML Multi-Level</b> - Refer to ML spec sheet for details - High: 100%, Low: 30% - Intended for downlight applications at 0° tilt <b>Q9 Field Adjustable Output</b> - Refer to Field Adjustable Output spec sheet for details <b>R NEMA® Photocell Receptacle</b> - Intended for downlight applications with maximum 45° tilt - Photocell by others <b>RL Rotate Left</b> - LED and optic are rotated to the left <b>RR Rotate Right</b> - LED and optic are rotated to the right

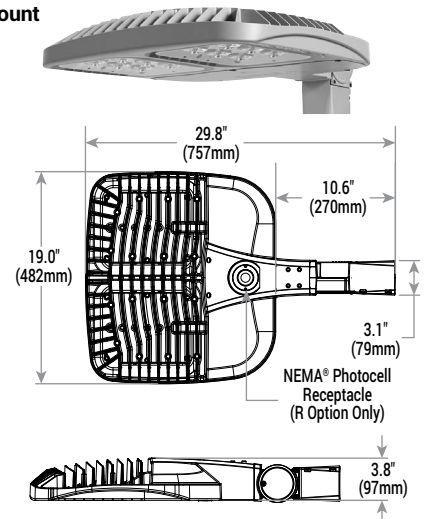
\* See [www.cree.com/lighting/products/warranty](http://www.cree.com/lighting/products/warranty) for warranty terms

\* Available with Backlight Shield when ordered with field-installed accessory (see table above)

## DA Mount



## AA Mount



Rev. Date: V3 08/22/2014



US: [www.cree.com/lighting](http://www.cree.com/lighting)

T (800) 236-6800 F (262) 504-5415

Canada: [www.cree.com/canada](http://www.cree.com/canada)

T (800) 473-1234 F (800) 890-7507



## Product Specifications

### CONSTRUCTION & MATERIALS

- Slim, low profile design minimizes wind load requirements
- Luminaire housing is rugged die cast aluminum with an integral, weathertight LED driver compartment and high performance heat sink
- Convenient interlocking mounting method on direct arm mount. Mounting adapter is rugged die cast aluminum and mounts to 3-6" (76-152mm) square or round pole, secured by two 5/16-18 UNC bolts spaced on 2" (51mm) centers
- Mounting for the adjustable arm mount adapter is rugged die cast aluminum and mounts to 2" (51mm) IP, 2.375" (60mm) O.D. tenon
- Adjustable arm mount can be adjusted 180° in 2.5° increments
- Designed for uplight and downlight applications
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, bronze, black, white, and platinum bronze are available
- **Weight:** 28.5 lbs. (13kg)

### ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 10kV surge suppression protection standard
- To address inrush current, slow blow fuse or type C/D breaker should be used

### REGULATORY & VOLUNTARY QUALIFICATIONS

- cULUS Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without R option
- Consult factory for CE Certified products
- Pending certification to ANSI C136.31-2001, 3G bridge and overpass vibration standards
- 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- DLC qualified when ordered with 30K (5ME, 5SH optics), 40K (2ME, 3ME, 4ME, 5ME, 5SH optics), or 57K (2ME, 3ME, 4ME, 5ME, 5SH optics). Please refer to <http://www.designlights.org/QPL> for most current information

Electrical Data*							
Input Power Designator	System Watts 120-480V	Total Current					
		120V	208V	240V	277V	347V	480V
S	223	1.94	1.13	0.99	0.85	0.65	0.47

\*Electrical data at 25°C (77°F)

Recommended Cree® Outdoor Luminaire Lumen Maintenance Factors (LMF) <sup>1</sup>						
Ambient	Input Power Designator	Initial LMF	25K hr Projected <sup>2</sup> LMF	50K hr Projected <sup>2</sup> LMF	75K hr Calculated <sup>3</sup> LMF	100K hr Calculated <sup>3</sup> LMF
5°C (41°F)	S	1.04	0.99	0.94	0.88	0.84
10°C (50°F)	S	1.03	0.98	0.93	0.88	0.83
15°C (59°F)	S	1.02	0.97	0.92	0.87	0.83
20°C (68°F)	S	1.01	0.96	0.91	0.86	0.82
25°C (77°F)	S	1.00	0.95	0.90	0.85	0.81

<sup>1</sup>Lumen maintenance values at 25°C (77°F) are calculated per TM-21 based on LM-80 data and in-situ luminaire testing

<sup>2</sup>In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip

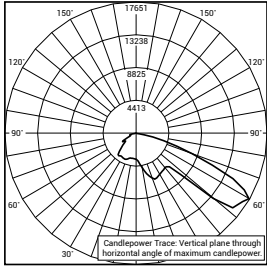
<sup>3</sup>In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip



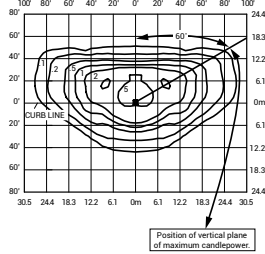
**Photometry**

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP certified laboratory. To obtain an IES file specific to your project consult: <http://www.cree.com/lighting>.

**2ME**



RESTL Test Report #: PL03403-001  
OSQ A \*\* 2ME S 40K-UL  
Initial Delivered Lumens: 21,329

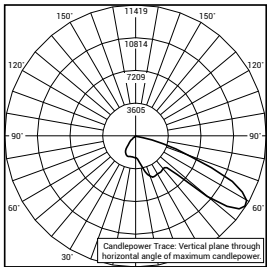


OSQ A \*\* 2ME S 40K-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 21,696  
Initial FC at grade

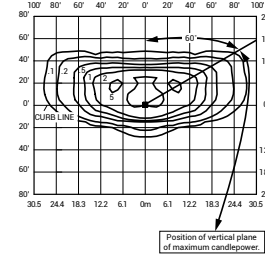
**Type II Medium Distribution**

Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
S	18,182	B3-U0-G2	21,696	B3-U0-G3	23,179	B3-U0-G3

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf). Valid with no tilt



RESTL Test Report #: PL03642-003  
OSQ A \*\* 2ME J 40K-UL w/OSQ-BLSMF  
Initial Delivered Lumens: 14,643



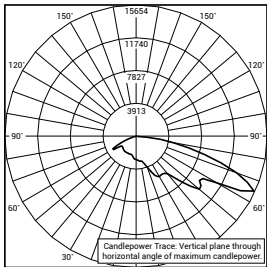
OSQ A \*\* 2ME J 40K-UL w/OSQ-BLSMF  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 18,597  
Initial FC at grade

**Type II Medium w/BLS Distribution**

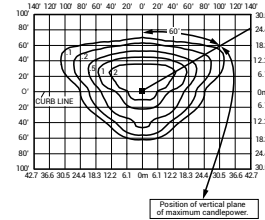
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
S	15,584	B2-U0-G2	18,597	B3-U0-G2	19,867	B3-U0-G2

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf). Valid with no tilt

**3ME**



RESTL Test Report #: PL03439-001  
OSQ A \*\* 3ME S 40K-UL  
Initial Delivered Lumens: 21,013

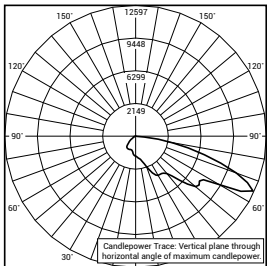


OSQ A \*\* 3ME S 40K-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 21,475  
Initial FC at grade

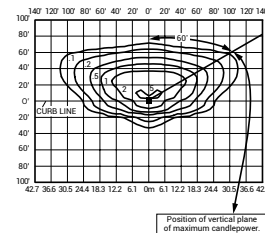
**Type III Medium Distribution**

Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
S	17,996	B3-U0-G3	21,475	B3-U0-G3	22,942	B3-U0-G3

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf). Valid with no tilt



RESTL Test Report #: PL03642-001  
OSQ A \*\* 3ME J 40K-UL w/OSQ-BLSMF  
Initial Delivered Lumens: 14,229



OSQ A \*\* 3ME J 40K-UL w/OSQ-BLSMF  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 18,375  
Initial FC at grade

**Type III Medium w/BLS Distribution**

Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
S	15,399	B2-U0-G3	18,375	B2-U0-G3	19,631	B2-U0-G3

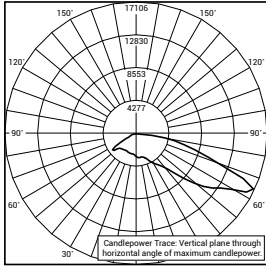
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf). Valid with no tilt



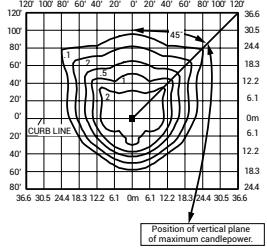
**Photometry**

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**4ME**



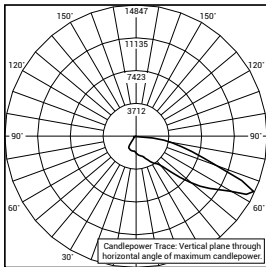
RESTL Test Report #: PL03402-001  
OSQ A \*\* 4ME S 40K-UL  
Initial Delivered Lumens: 20,830



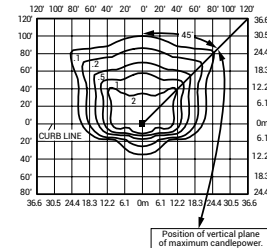
OSQ A \*\* 4ME S 40K-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 21,253  
Initial FC at grade

Type IV Medium Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
S	17,811	B3-U0-G3	21,253	B3-U0-G3	22,705	B3-U0-G3

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf). Valid with no tilt



RESTL Test Report #: PL03642-002  
OSQ A \*\* 4ME J 40K-UL w/OSQ-BLSMF  
Initial Delivered Lumens: 13,647

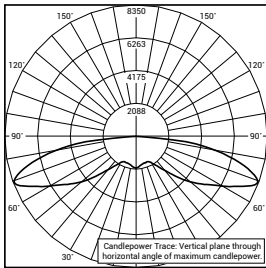


OSQ A \*\* 4ME S 40K-UL w/OSQ-BLSMF  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 18,154  
Initial FC at grade

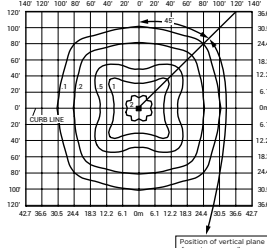
Type IV Medium w/BLS Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
S	15,213	B2-U0-G3	18,154	B2-U0-G3	19,394	B2-U0-G3

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf). Valid with no tilt

**5ME**



RESTL Test Report #: PL03466-001  
OSQ A \*\* 5ME S 40K-UL  
Initial Delivered Lumens: 20,709

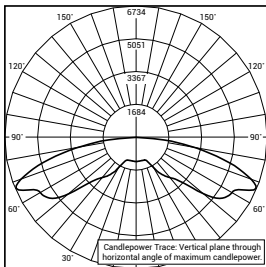


OSQ A \*\* 5ME S 40K-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 20,536  
Initial FC at grade

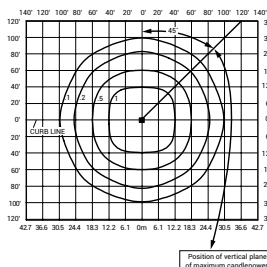
Type V Medium Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
S	17,345	B4-U0-G5	20,536	B5-U0-G5	20,841	B5-U0-G5

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf). Valid with no tilt

**5SH**



RESTL Test Report #: PL03501-001  
OSQ A \*\* 5SH S 40K-UL  
Initial Delivered Lumens: 21,066



OSQ A \*\* 5SH S 40K-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 20,982  
Initial FC at grade

Type V Short Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
S	17,722	B4-U0-G4	20,982	B5-U0-G4	21,294	B5-U0-G4

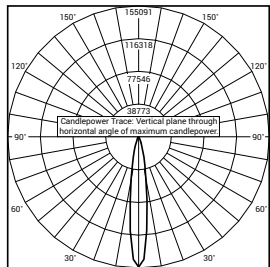
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens  
\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: [www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf](http://www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf). Valid with no tilt



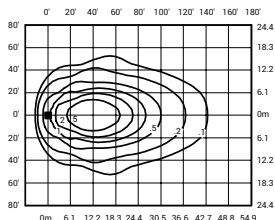
**Photometry**

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP certified laboratory. To obtain an IES file specific to your project consult: <http://www.cree.com/lighting>.

**15D**



RESTL Test Report #: PL03903-001  
OSQ A \*\* 15D S 40K-UL  
Initial Delivered Lumens: 22,600

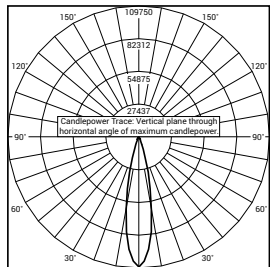


OSQ A \*\* 15D S 40K-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 21,423  
60° Tilt  
Initial FC at grade

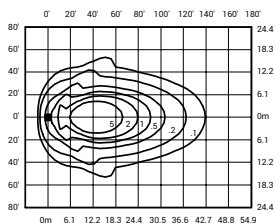
15° Flood Distribution			
Input Power Designator	3000K	4000K	5700K
		Initial Delivered Lumens*	Initial Delivered Lumens*
S	18,094	21,423	21,741

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens

**25D**



RESTL Test Report #: PL03903-002  
OSQ A \*\* 25D S 40K-UL  
Initial Delivered Lumens: 22,633

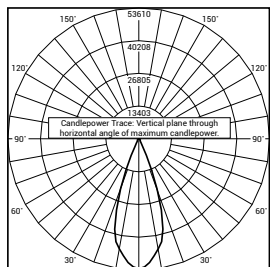


OSQ A \*\* 25D S 40K-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 21,423  
60° Tilt  
Initial FC at grade

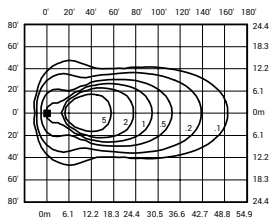
25° Flood Distribution			
Input Power Designator	3000K	4000K	5700K
		Initial Delivered Lumens*	Initial Delivered Lumens*
S	18,094	21,423	21,741

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens

**40D**



RESTL Test Report #: PL03903-003  
OSQ A \*\* 40D S 40K-UL  
Initial Delivered Lumens: 22,404



OSQ A \*\* 40D S 40K-UL  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 21,200  
60° Tilt  
Initial FC at grade

40° Flood Distribution			
Input Power Designator	3000K	4000K	5700K
		Initial Delivered Lumens*	Initial Delivered Lumens*
S	17,906	21,200	21,515

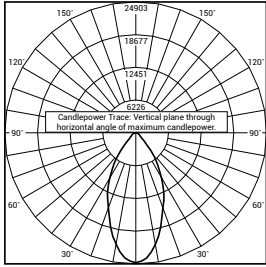
\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens



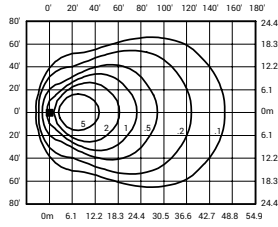
**Photometry**

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**60D**



RESTL Test Report #: PL03903-004  
 OSQ A \*\* 60D S 40K-UL  
 Initial Delivered Lumens: 22,301



OSQ A \*\* 60D S 40K-UL  
 Mounting Height: 25' (7.6m) A.F.G.  
 Initial Delivered Lumens: 21,423  
 60° Tilt  
 Initial FC at grade







60° Flood Distribution			
Input Power Designator	3000K	4000K	5700K
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
S	18,094	21,423	21,741










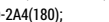



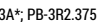
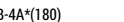

\* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens



OSQ Series – Large

Luminaire EPA

Fixed Arm Mount – OSQ-DA Weight: 28.5 lbs. (13kg)							
Single	2 @ 180°	2 @ 90°	3 @ 90°	3 @ 120°	3 @ 180°	4 @ 180°	4 @ 90°
							
0.80	1.61	1.26	2.06	1.68	3.33	4.66	2.52

Adjustable Arm Mount – OSQ-AA Weight: 28.5 lbs. (13kg)							
Single	2 @ 180°	2 @ 90°	3 @ 90°	3 @ 120°	3 @ 180°	4 @ 180°	4 @ 90°
<b>Tenon Configuration (0°-80° Tilt);</b> If used with Cree tenons, please add tenon EPA with Luminaire EPA							
							
PB-1A*; PT-1; PW-1A3**	PB-2A*; PB-2R2.375; PD-2A4(180); PT-2(180); PW-2A3**	PB-2A*; PD-2A4(90); PT-2(90)	PB-3A*; PD-3A4(90); PT-3(90)	PB-3A*; PT-3(120)	PB-3A*; PB-3R2.375	PB-4A*(180)	PB-4A*(90); PB-4R2.375; PD-4A4(90); PT-4(90)
<b>0° Tilt</b>							
0.80	1.61	1.26	2.06	1.68	3.33	4.66	2.52
<b>10° Tilt</b>							
0.81	1.61	1.62	2.42	2.32	4.40	6.08	3.24
<b>20° Tilt</b>							
1.24	1.61	2.04	2.84	3.13	5.68	7.80	4.08
<b>30° Tilt</b>							
1.64	1.64	2.44	3.24	3.97	6.88	9.40	4.88
<b>45° Tilt</b>							
2.20	2.20	3.00	3.80	5.07	8.55	11.64	6.00
<b>60° Tilt</b>							
2.63	2.63	3.43	4.23	5.73	9.84	13.36	6.86
<b>70° Tilt</b>							
2.82	2.82	3.62	4.42	5.73	10.41	14.12	7.24
<b>80° Tilt</b>							
2.93	2.93	3.73	4.53	5.73	10.74	14.56	7.46
<b>Tenon Configuration (90° Tilt);</b> If used with Cree tenons, please add tenon EPA with Luminaire EPA							
							
PB-1A*; PT-1; PW-1A3**	PB-2A*; PB-2R2.375; PD-2A4(180); PT-2(180); PW-2A3**	PB-2A*	PB-3A*	PB-3A*; PT-3(120)	PB-3A*; PB-3R2.375	PB-4A*(180)	PB-4A*(90); PB-4R2.375
<b>90° Tilt</b>							
2.95	2.95	4.84	6.52	5.73	10.81	14.64	11.19

\* Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 4 (4"), 5 (5"), or 6 (6") for quad luminaire orientation  
 \*\* Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6")

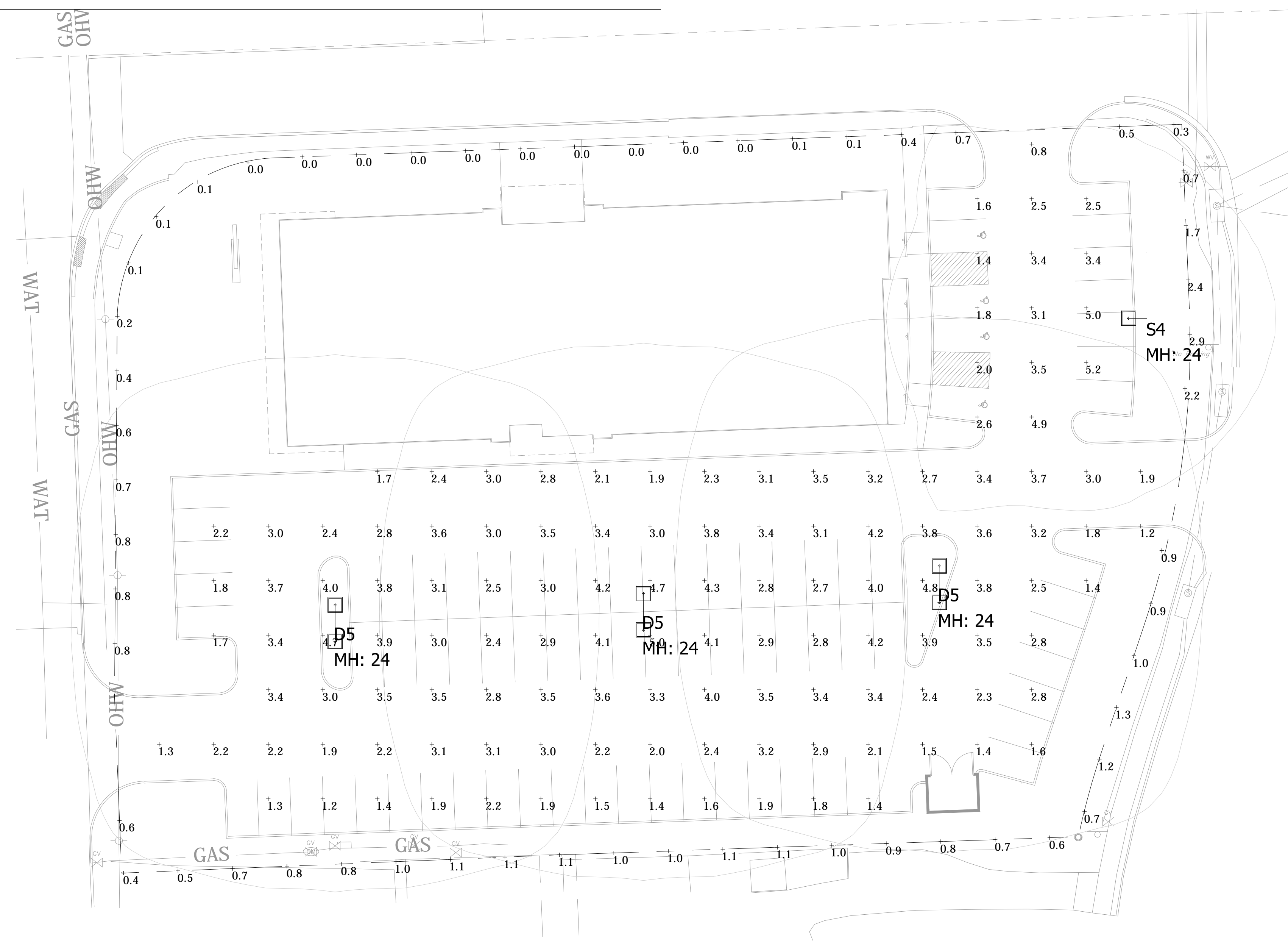


Tenon EPA

Tenon	EPA
PB-1A*	None
PB-2A*	0.82
PB-3A*	1.52
PB-4A*(180)	2.22
PB-4A*(90)	1.11
PB-2R2.375	0.92
PB-3R2.375	1.62
PB-4R2.375	2.32
PD Series Tenons	0.09
PT Series Tenons	0.10
PW-1A3**	0.47
PW-2A3**	0.94
WM-2	0.08
WM-4	0.25

Tenons and Brackets (must specify color)	
<b>Square Internal Mount Vertical Tenons (Steel)</b> - Mounts to 3-6" (76-152mm) square aluminum or steel poles PB-1A* – Single PB-4A*(90) – 90° Quad PB-2A* – 180° Twin PB-4A*(180) – 180° Quad PB-3A* – 180° Triple	<b>Round Internal Mount Vertical Tenons (Steel)</b> - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons PB-2R2.375 – Twin PB-4R2.375 – Quad PB-3R2.375 – Triple
<b>Square Internal Mount Horizontal Tenons (Aluminum)</b> - Mounts to 4" (102mm) square aluminum or steel poles PD-2A4(90) – 90° Twin PD-3A4(90) – 90° Triple PD-2A4(180) – 180° Twin PD-4A4(90) – 90° Quad	<b>Round External Mount Horizontal Tenons (Aluminum)</b> - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons - Mounts to square pole with PB-1A* tenon PT-1 – Single PT-3(90) – 90° Triple PT-2(90) – 90° Twin PT-4(90) – 90° Quad PT-2(180) – 180° Twin
<b>Wall Mount Brackets</b> - Mounts to wall, roof or side of wood pole WM-2 – Horizontal WM-4 – L-Shape	<b>Mid-Pole Bracket</b> - Mounts to square pole PW-1A3** – Single PW-2A3** – Double

\* Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 4 (4"), 5 (5"), or 6 (6") for quad luminaire orientation  
 \*\* These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6")



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Description
	1	S4	SINGLE	22705	0.900	OSQ A xx 4ME S 57K
	3	D5	BACK-BACK	20634	0.900	OSQ A xx 5ME S 57K

NOTES:  
 LIGHT LOSS FACTOR = 0.90  
 MOUNTING HEIGHT = 24'  
 FOOTCANDLE LEVELS CALCULATED AT GRADE.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Paved Areas	Illuminance	Fc	2.86	5.2	0.8	3.58	6.50
Property Line	Illuminance	Fc	0.69	2.9	0.0	N.A.	N.A.

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps, and other variable field conditions.

**PREMIER**  
LIGHTING & CONTROLS

LIGHTING LAYOUT FOR  
Prairie Village -7501 Mission

SCALE: 1" = 20'

STARTING DATE: 7/29/15 BY: SJM

drawing#  
**PL0550-SITE**

# STAFF REPORT

**TO:** Prairie Village Planning Commission  
**FROM:** Chris Brewster, AICP, Gould Evans, Planning Consultant  
**DATE:** September 1 2015, Planning Commission Meeting

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**Application:** PC 2015-06 - Revised

**Request:** Rezoning from R-1B Residential and C-0 Office Building to CP-1 Planned Restricted Business District

**Property Address:** 7930 State Line Road

**Applicant:** 7930 State Line LLC (Block and Company)

**Current Zoning and Land Use:** R-1B Single-Family Residential and C-0 Office Building - Office Building

**Surrounding Zoning and Land Use:** **North:** CP-1 Planned Restricted Business - Panda Express and R-1B Single-Family Residential - Single-Family Dwellings  
**East:** Commercial (KCMO) - CVS and Wendy's  
**South:** R-1 Single-Family Residential - Single-Family Dwellings and SD-O Business Office District - Financial Institution  
**West:** R-1B Single-Family Residential - Single-Family Dwellings

**Legal Description:** Multiple Lots

**Property Area:** 1.37 acres

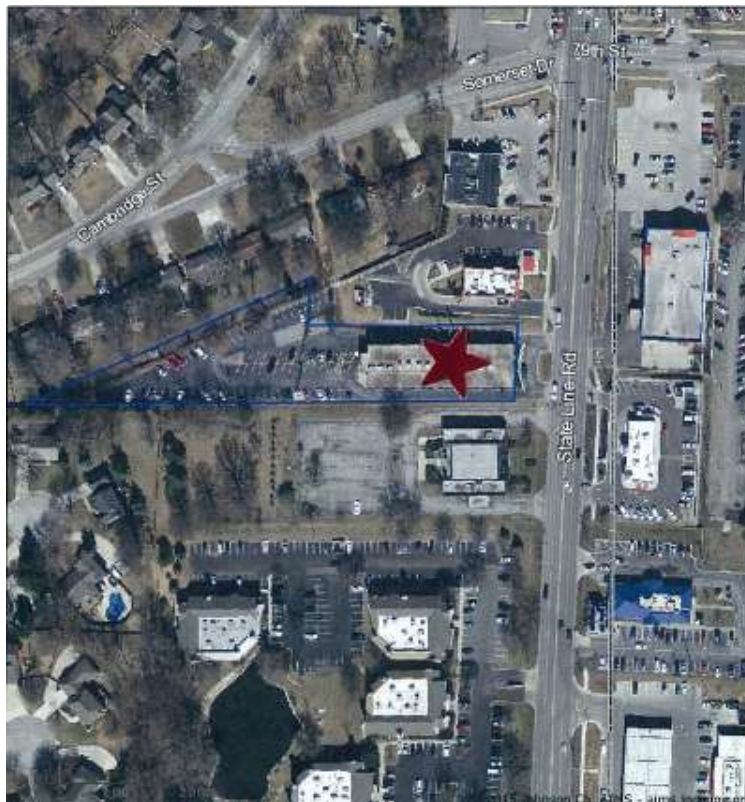
**Related Case Files:** PC 2015-07 Conditional Use Permit for Drive-Through Window

**Attachments:** Application, Plans and Photos

**General Location Map**



**Aerial Map**





**COMMENTS:*****Status Update:***

This application was first heard by the Planning Commission on June 2, 2015, and then again on July 7, 2015. The Planning Commission recommended approval of the rezoning and preliminary site plan subject to 15 conditions. Additionally the planning commission approved a Conditional Use Permit for a drive-through based on the site plan, subject to 3 conditions – one it being contingent upon approval of the Zoning and Preliminary Site Plan by the Governing Body. The Governing Body considered the application at its August 3 meeting and failed to approve the application. A motion was approved to send the application back to the Planning Commission to look at specific issues associated with the drive-through and relationship with abutting residential property. A revised site plan based on this motion is included in this packet that presents an alternative layout for the property.

***Background:***

The applicant is proposing to rezone this property from R-1B Single-Family Residential and C-0 Office Building to CP-1 Planned Restricted Business District. This property is located south of the Panda Express which was rezoned to CP-1 in 2007. The parcel has 100 feet of frontage on State Line Road and has a depth of 651 feet along the south property line. The parcel has an irregular boundary and contains approximately 1.37 acres. The site is occupied by an office building that was built in 1968 and the applicant proposes to demolish that building and construct a fast food restaurant called Slim Chicken. The proposed restaurant will have a drive-through window and a Conditional Use Permit has been requested along with this application. Both applications are on the Agenda and need to be considered together but will require separate action.

This area has become a fast food corridor with McDonald's, Wendy's and Culver's on the east side of State Line Road in Kansas City and Latteland and Panda Express on the west side of State Line Road in Prairie Village.

The property consists of several lots or portions of lots and needs to be platted.

The applicant proposed to construct a 3,564 sq. ft. building that will be setback approximately 80 feet from the front property line. The required front yard setback in the C-1 District is 15 feet. The restaurant will have a seating capacity of 122 which will require 49 parking spaces.

Both driveways on State Line Road will be retained. The north drive will have an entrance while the south drive will be a two-lane exit.

The applicant held a meeting for the neighborhood property owners on May 28, 2015 and a summary is submitted by separate attachment.

This is a request for a Planned Business District and the Planning Commission will need to recommend approval of the rezoning and a Preliminary Development Plan to the Governing Body. After approval of the rezoning and Preliminary Plan by the Governing Body, a Final Development Plan will need to be submitted for approval by the Planning Commission.

In considering a change in zoning classification, the Planning Commission must consider a number of factors commonly referred to as the "golden factors" in approving or disapproving the request and they are as follows:

**1. The character of the neighborhood;**

The general character of this area is business on both sides of State Line Road. Culvers, Wendy's, CVS Pharmacy and McDonald's are located on the east side of State Line Road and all four have drive-through windows. There are residential uses to the northwest of this property which have their rear yards adjacent to this site. To the south are offices. The immediate area to the north is developed with restaurants and retail uses.

**2. The zoning and uses of property nearby;**

- North:** CP-1 Planned Restricted Business – Panda Express and R-1B Single-Family Residential – Single-Family Dwellings  
**East:** Commercial (KCMO) – CVS and Wendy's  
**South:** R-1 Single-Family Residential – Single-Family Dwellings and SD-0 Business Office District – Financial Institution  
**West:** R-1B Single-Family Residential – Single-Family Dwellings

**3. The suitability of the property for the uses to which it has been restricted under its existing zoning;**

The existing building is currently being used for office space. The office market in Prairie Village is weak for this type of space. This building is older, having been built in 1968, and its appearance is not such that it would command the interest of a lot of potential tenants. The existing building probably is at a state where a teardown and rebuild is a logical solution to more economically and effectively use the site. Since this property is on State Line Road, redevelopment for commercial use has a strong potential. In order to redevelop the site, the new use needs to generate a higher revenue to offset the redevelopment costs.

**4. The extent that a change will detrimentally affect neighboring property;**

The properties to the north, south and east are developed for business uses and the redevelopment of this property will not detrimentally affect them. There will be additional traffic because a fast food restaurant generates more traffic than an office, but State Line Road can accommodate it. The residential use to the northwest and southwest would be most affected by the restaurant because of noise and lights. Fencing and landscaping will be required to screen the use from the residential properties which should mitigate negative effects. The restaurant will be required to follow the outdoor lighting regulations which will minimize the impact on outside lighting.

**5. The length of time of any vacancy of the property;**

The building has been continually occupied by office uses since it was built and has not been totally vacant for any length of time. As pointed out earlier the market for office space of this type is weak in the City of Prairie Village.

**6. The relative gain to public health, safety and welfare by destruction of value of the applicant's property as compared to the hardship on other individual landowners;**

The redevelopment of this site will permit the removal of one structure that is not at the quality that is desired by the market and will allow the redevelopment for a use that will be of higher value and be a greater generator of revenue to the City. The redevelopment of the site should provide a structure that is better designed and more attractive which would be an asset to the neighborhood rather than create a hardship on the other adjacent owners.

**7. City staff recommendations;**

It is the opinion of Staff that this is a logical request for CP-1 Planned Restricted Business District Zoning because this is a mixed office retail area; the property needs renovation; it is located on a very highly traveled arterial street; and it will be an extension of the commercial property to the north. There are nine residential lots that abut the property and those can be protected through landscaping and proper screening controls. There are very limited areas in Prairie Village where a fast food restaurant would be appropriate and this location works for that use.

**8. Conformance with the Comprehensive Plan.**

The Village Vision has pointed out that Prairie Village retail is slightly oversupplied with marginally performing uses and that reinvestment and repositioning are needed to improve the performance of the retail sector. The Village Vision encourages the upgrading of uses to create higher density and intensity development. This is an underperforming property that needs reinvestment.

**9. Approval of the Preliminary Development Plan.**

Prior to recommending approval of a planned zoning district, the Planning Commission must also recommend approval of a Preliminary Development Plan. The criteria for evaluating the Preliminary Development Plan will be the same criteria as is used in site plan approval which is as follows:

**a. The site is capable of accommodating the buildings, parking areas, and drives with the appropriate open space and landscaping.**

The site is an irregular shape which contains approximately 1.37 acres and it has been laid out to accommodate 4,235 sq. ft. of restaurant area with 49 parking spaces. The proposed plan shows 94 indoor seats and 28 outdoor seats for a total of 122 dining and patio seats which require 49 off-street parking spaces so the project is meeting the minimum requirements. Less of the site will be covered with impervious surface than it is now which will reduce stormwater runoff and create more green space. The far west corner of the site will be heavily landscaped which will improve the appearance for adjacent residents.

**b. Utilities are available with adequate capacity to serve the proposed development.**

The property is currently served with water, sewer, gas, electric, telephone and cable. The size of the proposed building does not appear that it would require anything out of the ordinary and the utilities that are available should be adequate to handle the project.

**c. The plan provides for adequate management for stormwater runoff.**

The area of the site is 59,663 sq. ft. and currently 50,027 sq. ft. is covered with impervious material which includes a building and pavement. The proposed project will have 36,805 sq. ft. of impervious area. This is a reduction of 13,222 sq. ft. of impervious area. Since the impervious area has been reduced, a stormwater master plan will not be required at this time. The stormwater will be reviewed by Public Works as a part of the building permit process.

**d. The plan provides for safe easy ingress/egress and internal traffic circulation.**

Ingress and egress will be provided from two locations off State Line Road. The north driveway will provide for a one-lane entrance. The south drive will provide two lanes for exit only. The placement of the drive-through window allows an ample number of stacking spaces so that it should not be a traffic problem on State Line. The volume of traffic generated by the restaurant is not significant enough to affect State Line Road.

**e. The plan is consistent with good planning and site engineering design principles.**

The site plan appears to be well laid out considering its limited size. The plan has added additional landscape area and fencing over what exists, which will certainly be a benefit for both the residential neighbors and the environment. More open area allows for more landscaping which should provide more screening for adjacent residents as well as reduce stormwater runoff.

When the Planning Commission has considered other redevelopment projects, one of the issues that have been identified is providing pedestrian access. The applicant has provided a sidewalk adjacent to State Line Road which should connect to the property to the north. The sidewalks in this area do not really connect very well to the neighborhood but it is hoped that sidewalks will be installed as redevelopment occurs and the area will have a complete network of sidewalks that will be beneficial to the community as a whole at some time in the future.

**f. An appropriate degree compatibility will prevail between the architectural quality of the proposed building and the surrounding neighborhood.**

The proposed use is a fast food restaurant which has the distinct architectural style of the Slim Chicken brand. The design is not compatible with typical Prairie Village architecture and probably would not fit well in other locations in the City. This location is on State Line Road where there is a McDonald's, Wendy's and Culvers Restaurant across the street and a Panda Express to the

north. By those standards the architecture is compatible with the surrounding neighborhood. The proposed building is 24.5 feet in height compared to the Panda Express building adjacent to the north that is 23 feet in height. The building is within scale of others in the area.

The applicant has not submitted a monument sign or menu board design for approval by the Planning Commission. The monument sign height cannot exceed 5 feet including the base; the sign face cannot exceed 20 sq. ft. and the sign must be placed at least 12 feet back of curb on private property. A sign package will need to be submitted at a later date for Planning Commission review and approval.

**g. The plan presents an overall development pattern that is consistent with the Comprehensive Plan and other adopted plan policies.**

The Village Vision has pointed out that Prairie Village retail is slightly oversupplied with marginally performing uses and that reinvestment and repositioning are needed to improve the performance of the retail sector. The Village Vision encourages the upgrading of uses to create higher density and intensity development. This is an underperforming property that needs reinvestment.

**h. The Planning Commission and Governing Body may, in the process of approving preliminary and final plans, approve deviations from the standard requirements as follows, provided any deviations approved shall be in keeping with accepted land planning principles and must be clearly set out in the minutes as well as on exhibits in the record:**

**The setbacks of buildings from a property line other than a public street may be reduced to 60% of the standard requirement and setbacks at paved areas adjacent to property lines, other than street lines, to zero if existing or proposed development on said adjacent land justifies the same.**

The ordinance requires 8 feet of landscape area between paved areas and the property line. The proposed plan shows approximately 6 feet of landscape area along the south property and 5 feet of landscape area along the north property line for approximately 210 feet. The setback adjacent to the residential area is much greater than the minimum 8 feet.

**The above deviation may be granted by the Planning Commission and Governing Body only when compensating open space is provided elsewhere in the project, whether there is ample evidence that said deviation will not adversely affect the neighboring property nor will it constitute a mere granting of a privilege.**

The proposed deviation is on the east portion of the site that is between a fast food restaurant and an office use. Significant green space has been provided on the western portion of the site adjacent to the residential properties. In addition to the landscaping, a six-foot privacy fence will also be constructed adjacent to the residential properties.

It is the opinion of Staff that the deviation of the landscape area will not adversely affect the neighborhood and will be more than compensated for on the western portion of the site.

***Revised Application:***

Based upon the Governing Body action described above, the Planning Commission is reconsidering this application, and the applicant has submitted a revised site plan. This site plan includes additional landscape materials, and a revised circulation plan that does not circulate parking and drive-through traffic as far back (west) on the site. Instead, two staking lanes turn into the drive-through closer to the building on the central part of the lot. The speaker boxes for the drive-through remain in the same location as the original application and are oriented to the south west – towards the office property to the south. While additional landscape materials and reduced potential for all traffic circulating to the back portion of the lot could reduce perceived noise impacts on abutting residential property, the revised plan also presents a potential circulation issue. There is only one drive lane to the majority of the site parking on the north side of the lot,

and if more than 12 cars begin to stack at the drive-through area, there is the potential for customers trying to access parking to stack in that line along the east side of the applicants property. This option was originally proposed by the applicant prior to the initial application, but due to potential stacking issues staff requested the circulation option shown on the original application.

Regarding the drive-through noise, the speaker boxes are located approximately 120 feet or more from the closes residential property boundary, and are oriented away from this boundary to the southwest. An additional condition on this application is recommended below, that the speakers be operated at levels that are not audible above ambient noise levels from this boundary. This would meant that any speaker noise would not be distinguishable above other noise that is ordinarily heard from the street and other operations of adjacent sites.

Regarding landscape improvements there are two recommendations that can improve the plan – (1) regarding a continuation of the evergreen massing across the northwest edge; and (2) to use street trees along the front landscape areas to improve the relationship to the streetscape. This site includes a small surface parking lot, and additional trees can create shad along the side walk and better frame the streetscape.

### **RECOMMENDATIONS:**

Based on these events the Planning Commission is presented with two options – (1) to make a recommendation based on the revised plan, which may have potential benefits to any perceived noise issues; or (2) to make a recommendation based on the original plan, which has benefits to potential stacking issues that could occur in the applicant's parking lot.

It is the opinion of Staff that the findings of fact for the zone change from R-1B and C-0 to CP-1 Planned Restricted Business Restricted Business District along with the Preliminary Development Plan are favorable; if the Planning Commission feels that the revised site plan improves the previous recommendation it should recommend approval to the Governing Body based on the following 15 conditions.

Alternatively, if the potential stacking of cars internal to the site is a concern and the original layout is preferred, the previous recommendation should be amended to include an additional condition 16. that the landscape plan associated with the revised site plan (or a comparable plan in terms of species, location and quantity) should be required.

Recommended conditions:

1. That prior to obtaining a permit for construction the applicant shall submit a Final Development Plan for review and approval by the Planning Commission.
  2. That an exterior lighting plan be included with the submission of the Final Development Plan and be designed in accordance with the outdoor lighting regulations of the zoning ordinance.
  3. That any HVAC units are installed externally, either on the roof or on the ground, be screened from adjacent properties and State Line Road.
  4. That the applicant submit the landscape plan to the Tree Board for review and approval prior to submitting the Final Development Plan to the Planning Commission for approval. That the landscape plan, as approved, shall be installed as a part of the development construction. Additionally that the proposed landscape plan be amended as follows:
    - a. Replace Red Maple trees with White Oak, Swamp White Oak, Kentucky Coffeetree, Autumn Gold Ginkgo or other hardy varieties of large landscape trees.
    - b. Continue the massing of the Green Giant Arborvitae and connect the western grouping of evergreens to the northwestern grouping as a replacement for the two shrubs and one tree.
    - c. Add 3 to 4 street trees along State Line along the sidewalk and/or in islands using appropriate shade trees such as, Swamp White Oak, Silver Linden, Bald Cypress and Emerald Sunshine Elm or other varieties.
  5. That the sidewalk adjacent to State Line Road be five feet in width aligned to connect to the existing sidewalk on the commercial property to the north.
-



6. That the applicant submit a sign package which includes the monument sign, menu board, wall signs and directional signs for review and approval by the Planning Commission.
  7. That the approval of the Preliminary Development Plan is subject to approval of the Conditional Use Permit for the drive-through window and if the Conditional Use Permit is not approved, the applicant shall revise the site plan and resubmit it for approval by the Planning Commission.
  8. That the applicant submit detail for the 8-foot fence that will be used to screen adjacent residences for review and approval by Staff.
  9. That the applicant plat the property prior to obtaining a building permit.
  10. That the landscape area along the north and south property lines be approved for 5 feet which is reduced from the standard 8-foot requirement.
  11. That the applicant work with the Public Works Department for approval of the stormwater drainage.
  12. That the applicant install filters in the venting system to control odors from cooking and provide information on the filters during the building permitting process.
  13. That the business operator or manager work with staff to reduce noise during operation hours, as well as, during clean-up time after the business closes.
  14. That the hours of operation are 10:30 a.m. to 10:00 p.m.
  15. That the drive-through speaker systems be maintained at decibel levels that are not audible above daytime ambient noise levels from any residential property abutting the site.
-



**Existing Building**



**West End of Site**



**Northwest Property Line**



**Northwest Property Line**

# STAFF REPORT

**TO:** Prairie Village Planning Commission  
**FROM:** Chris Brewster, AICP, Gould Evans, Planning Consultant  
**DATE:** September 1 2015, Planning Commission Meeting

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**Application:** PC 2015-07 - Revised

**Request:** Conditional Use Permit for a Drive-Through Window

**Property Address:** 7930 State Line Road

**Applicant:** 7930 State Line LLC (Block and Company)

**Current Zoning and Land Use:** R-1B Single-Family Residential and C-0 Office Building - Office Building

**Surrounding Zoning and Land Use:** **North:** CP-1 Planned Restricted Business - Panda Express and R-1B Single-Family Residential - Single-Family Dwellings  
**East:** Commercial (KCMO) - CVS and Wendy's  
**South:** R-1 Single-Family Residential - Single-Family Dwellings and SD-O Business Office District - Financial Institution  
**West:** R-1B Single-Family Residential - Single-Family Dwellings

**Legal Description:** Multiple Lots

**Property Area:** 1.37 acres

**Related Case Files:** PC 2015-06 Rezoning from R-1B and C-0 to CP-1

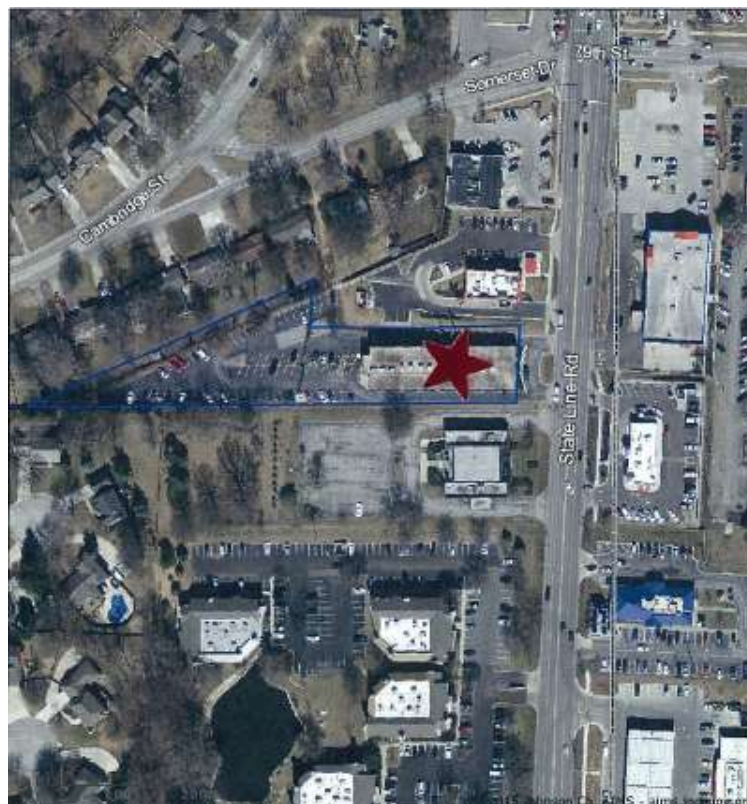
**Attachments:** Application and Plans



### General Location Map



### Aerial Map





**COMMENTS:*****Status Update:***

This application was first heard by the Planning Commission on June 2, 2015, and then again on July 7, 2015. The Planning Commission recommended approval of the rezoning and preliminary site plan subject to 15 conditions. Additionally the planning commission approved a Conditional Use Permit for a drive-through based on the site plan, subject to 3 conditions – one it being contingent upon approval of the Zoning and Preliminary Site Plan by the Governing Body. The Governing Body considered the application at its August 3 meeting and failed to approve the application. A motion was approved to send the application back to the Planning Commission to look at specific issues associated with the drive-through and relationship with abutting residential property. A revised site plan based on this motion is included in this packet that presents an alternative layout for the property.

***Background***

The applicant is proposing to build a Slim Chicken fast food restaurant and desires to have a drive-through window. The applicant has requested CP-1 Zoning and approval of the Preliminary Development Plan, but the drive-through window requires Conditional Use Permit approval. This request should be considered along with the zoning change request and the Preliminary Development Plan.

In accordance with the Planning Commission's Citizens' Participation policy, the applicant held a meeting on May 28<sup>th</sup>.

The Planning Commission shall make findings of fact to support its recommendation to approve, conditionally approve, or disapprove this Conditional Use Permit. In making its decision, consideration should be given to any of the following factors that are relevant to the request:

**FACTORS FOR CONSIDERATION SPECIFIC TO CONDITIONAL USE PERMITS:**

- 1. The proposed conditional use complies with all applicable provisions of these regulations including intensity of use regulations, yard regulations, and use limitations.**

The proposed drive-through window meets all the yard regulations of the ordinance.

- 2. The proposed conditional use at the specified location will not adversely affect the welfare or convenience of the public.**

The properties to the north, south and east are developed for business and this proposed use will not adversely affect them. The properties that may be adversely affected are the residences on the northwest side of the site. Traffic entering the site might cause problems with headlights; however, the adjacent properties will be screened with a solid or semi-solid fence and landscaping that will help mitigate this problem. It is also possible that noise from the ordering box could affect the neighbors but it has been placed on the south side of the building, away from the residences.

- 3. The proposed conditional use will not cause substantial injury to the value of other property in the neighborhood in which it is to be located.**

The business properties on State Line Road will not be adversely affected. Some injury to the value of the adjacent residential properties might occur but fencing and landscaping should improve the appearance from what is there now.

- 4. The location and size of the conditional use, the nature and intensity of the operation involved in or conducted in connection with it, and the location of the site with respect to streets giving access to it, are such that this conditional use will not dominate the immediate neighborhood so as to hinder development and use of neighboring property in accordance with the applicable zoning district regulations. In determining whether the conditional use will so dominate the immediate neighborhood, consideration shall be given to: a) the location, size and nature of the height of the building, structures, walls and fences on the site; and b) the nature and extent of landscaping and screening on the site.**

The proposed building is small; approximately one-third of the size of the existing building so it will not dominate the area by size. The neighborhood is completely developed so it will not hinder development in the area. The building will be approximately 24.5 feet in height. Less land will be devoted to hard surface, buildings and parking, which will open more area for green space. The residential neighbors will also be screened with a solid/semi-solid fence.

- 5. Off-street parking and loading areas will be provided in accordance with standards set forth in these regulations and said areas shall be screened from adjoining residential uses and located so as to protect such residential uses from any injurious affect.**

The applicant is providing the required off-street parking and adequate vehicle stacking for the drive-through window. The residential areas will be screened from the parking area.

- 6. Adequate utility, drainage and other necessary utilities have been or will be provided.**

Since this is a redevelopment project, utilities are already available at the site. Drainage will be addressed in the final plans, but less area will be impervious than under the current conditions so there will be less runoff.

- 7. Adequate access roads or entrance and exit drives will be provided and shall be so designed to prevent hazards and to minimize traffic congestion in public streets and alleys.**

The property will be accessed by one entrance drive on the north and a two-lane exit drive on the south. Stacking area for a minimum of 15 cars has been provided for the drive-through window. Adequate access is being provided and internal circulation should be adequate.

- 8. Adjoining properties and the general public will be adequately protected from any hazardous or toxic materials, hazardous manufacturing processes, obnoxious odors, or unnecessary intrusive noises.**

There should not be any hazardous materials or obnoxious odors associated with this project. There could, however, be some noise associated with the use, primarily cars. This will be mitigated by landscaping and fencing.

### ***Revised Application:***

Based upon the Governing Body action described above, the Planning Commission is reconsidering this application, and the applicant has submitted a revised site plan. This site plan includes additional landscape materials, and a revised circulation plan that does not circulate parking and drive-through traffic as far back (west) on the site. Instead, two stacking lanes turn into the drive-through closer to the building on the central part of the lot. The speaker boxes for the drive-through remain in the same location as the original application and are oriented to the south west – towards the office property to the south. While additional landscape materials and reduced potential for all traffic circulating to the back portion of the lot could reduce perceived noise impacts on abutting residential property, the revised plan also presents a potential circulation issue. There is only one drive lane to the majority of the site parking on the north side of the lot, and if more than 12 cars begin to stack at the drive-through area, there is the potential for customers trying to access parking to stack in that line along the east side of the applicants property. This option was originally proposed by the applicant prior to the initial application, but due to potential stacking issues staff requested the circulation option shown on the original application.

Regarding the drive-through noise, the speaker boxes are located approximately 120 feet or more from the closes residential property boundary, and are oriented away from this boundary to the southwest. An additional condition on this application is recommended below, that the speakers be operated at levels that are not audible above ambient noise levels from this boundary. This would meant that any speaker noise would not be distinguishable above other noise that is ordinarily heard from the street and other operations of adjacent sites.

### **RECOMMENDATIONS:**

Based on these events the Planning Commission is presented with two options – (1) to make a recommendation based on the revised plan, which may have potential benefits to any perceived noise issues; or (2) to make a recommendation based on the original plan, which has benefits to potential stacking issues that could occur in the applicant's parking lot.

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It is the opinion of Staff that the findings of fact for the proposed Conditional Use Permit to allow a drive-through are favorable; if the Planning Commission feels that the revised site plan improves the previous recommendation it should approve it based on the following conditions:

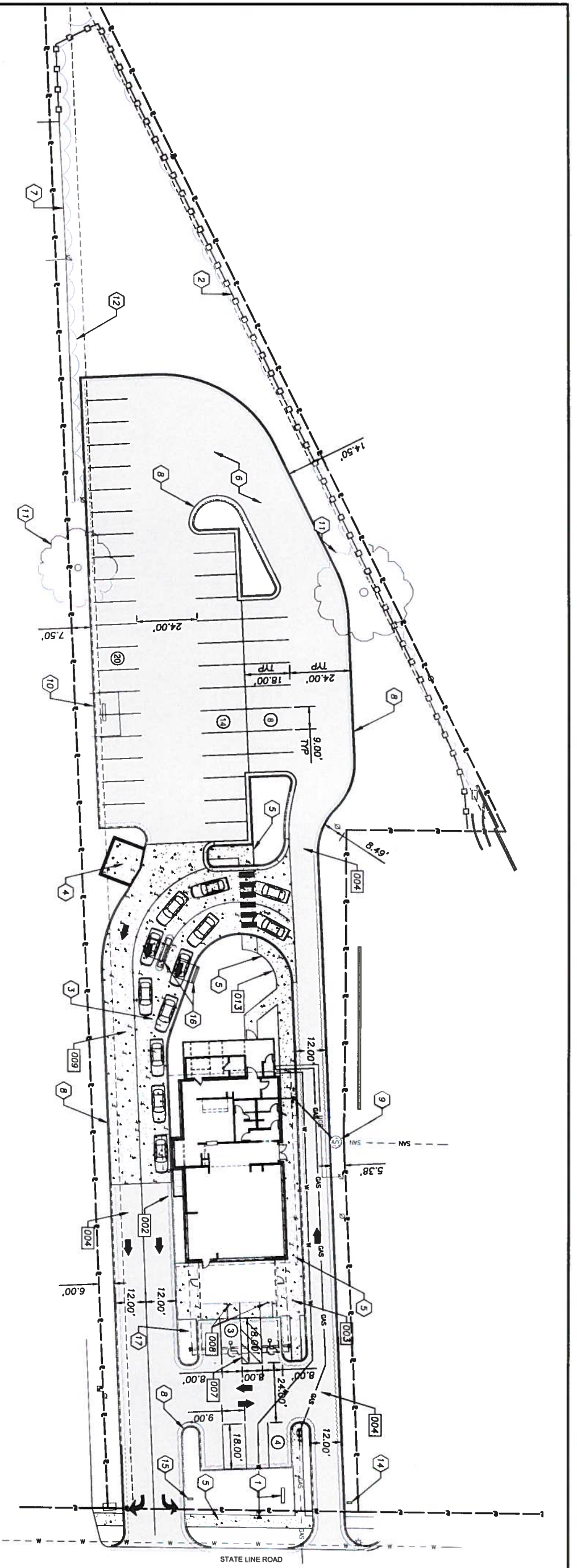
1. That the Conditional Use Permit approval is contingent upon approval of the CP-1 Zoning and the Preliminary Development Plan. If the rezoning and Preliminary Development Plan are not approved by the Governing Body the approval of this Conditional Use Permit will be null and void.
2. That the applicant maintain the fencing and landscaping according to an approved landscape plan and replace any plant materials that die and fence that is damaged so that the integrity of the landscaping/screening is maintained throughout the life of the project.
3. That the drive-through speaker systems be maintained at decibel levels that are not audible above daytime ambient noise levels from any residential property abutting the site.
4. That the Conditional Use Permit shall terminate when the site is no longer used for a fast food restaurant.

Alternatively, if the potential stacking of cars internal to the site is a concern and the original layout is preferred, the previous recommendation should be amended to include an additional condition 5. that the landscape plan associated with the revised site plan (or a comparable plan in terms of species, location and quantity) should be required.

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**CONSTRUCTION NOTES**

- 01 MONUMENT SIGN, REFER TO ARCHITECTURAL
- 02 8' TALL WOOD PRIVACY FENCE
- 03 CONCRETE PAVEMENT
- 04 DUMPSTER ENCLOSURE
- 05 CONCRETE SIDEWALK
- 06 ASPHALT PAVEMENT
- 07 PROTECT EXISTING WOOD PRIVACY FENCE
- 08 CONCRETE CURB AND GUTTER
- 09 PROTECT EXISTING SEWER MANHOLE
- 10 PROTECT EXISTING STORM DRAIN
- 11 PROTECT EXISTING TREE LINE
- 12 PROTECT EXISTING TREE
- 13 REMOVED
- 14 ENTRANCE DIRECTIONAL SIGN
- 15 EXIT DIRECTIONAL SIGN
- 16 MENU BOARD
- 17 ROOF CANOPY

**SITE DATA**

**SITE AREA:**  
 EXISTING: 50,027 SQ FT (83.8%)  
 PROPOSED: 36,942 SQ FT (61.9%)

**BUILDING:**  
 EXISTING BUILDING: 11,982 SF  
 PROPOSED BUILDING: 2,897 SF BUILDING + 539 SF SERVICE ± 548 SF BALDO ± 3,984 SF TOTAL

**PARKING STALLS:**  
 TOTAL PARKING STALLS: 49 STALLS

**REQUIRED PARKING:**  
 94 INDOOR SEATS/2.5 = 37.6 STALLS  
 1/2.5 SEATS = 28 OUTDOOR SEATS/2.5 = 11.2 STALLS  
 REQUIRED HANDICAPPED STALLS: 2 (1 VAN)  
 (26-50 STALLS REQUIRES 2 HC STALLS PER ADA)  
 HANDICAP STALLS PROVIDED: 2 (2 VAN)

**GENERAL NOTES**

1. All work in public easement and Right-of-Way shall be installed per the requirements and specifications of the City of Prairie Village, Kansas.
2. All existing topographic, survey, and utility information shown was provided to BHC Rhodes in the form of an Topographic Survey prepared by Viking Surveys and dated October 3, 2014. BHC Rhodes makes no warranties as to the accuracy of the existing information shown hereon. Contractors shall satisfy themselves as to the existing conditions of the site and have all utilities located prior to commencing construction.
3. The contractor shall be required to obtain all Federal, State, and Local permits required for this project prior to commencing construction.
4. Any work adjacent to or crossing existing streets requires proper traffic control devices. Traffic control devices shall be placed in accordance with the Manual of Uniform Traffic Control Devices (MUTCD).
5. The contractor shall be required to demolish, remove and dispose of all existing structures, pavements, and features necessary to construct the improvements shown hereon. Any waste materials generated during construction shall be removed from the site by the Contractor and disposed of in accordance with all local, State, and Federal regulations governing such disposal.
6. The contractor shall prevent any trash, debris, or liquid wastes from being disposed of in sanitary sewers, storm sewers, or open drainage systems.
7. The Contractor shall be solely responsible to protect adjacent property, structures, and other improvements from damage during construction. In the event of damage to adjacent property, structures, or improvements, the contractor shall repair or replace such damage to the Owners's satisfaction at the Contractor's expense.
8. Contractors at the site shall be solely responsible for jobsite safety for all aspects of work shown hereon.
9. All work and materials used in the construction of the improvements shown hereon shall comply with all referenced standards, specifications, and plan notes.
10. All buildings are shown as a reference only. All buildings shall be located and constructed per the Architectural drawings prepared by others.
11. Contractor shall be responsible for contacting all utility companies for field locations of underground utilities affected by the contract. All existing utilities indicated on these plans are according to the best information available to the engineer; however, all utilities actually existing may not be shown. Utilities damaged through the negligence of the contractor to obtain the location of same shall be repaired or replaced at the expense of the contractor.
12. Any and all hazards shall be properly identified and barricaded from access during all non-construction periods.

**LEGEND**

- (#) PARKING STALL COUNT
- MEDIUM DUTY PCCP PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE CURB & GUTTER
- CONCRETE DRY CURB & GUTTER
- PROPERTY LINE
- 6' WOOD PRIVACY FENCE

**DETAILS**

SEE CONSTRUCTION DETAILS - SHEETS C5.D-6.0

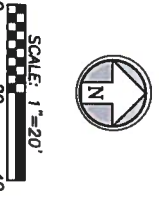
- 002 TYPE "B" CONCRETE CURB & GUTTER
- 002 TYPE "B" DRY CONCRETE CURB & GUTTER
- 004 ASPHALT PAVEMENT
- 009 CONCRETE SIDEWALK
- 013 CONCRETE SIDEWALK SECTION
- 017 SIDEWALK RAMP
- 018 (ADA) HANDICAP PARKING STRIPING
- 019 (ADA) HANDICAP PARKING SIGNAGE

**LEGAL DESCRIPTION**

PART OF LOT 3, NE1/4RD, AND PART OF LOT 14, BLOCK 8, MEADOW LAKE, BOTH BEING SUBDIVISIONS IN THE CITY OF PRAIRIE VILLAGE, JOHNSON COUNTY, KANSAS, DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID LOT 3 WITH THE WEST LINE OF STATE LINE ROAD, AS NOW ESTABLISHED; THENCE NORTH 2° 50' EAST, ALONG THE WEST LINE OF STATE LINE ROAD, A DISTANCE OF 100.00 FEET TO THE SOUTHEAST CORNER OF LOT 15, IN SAID BLOCK 8; THENCE WEST, ALONG THE SOUTH LINE OF SAID LOT 15, A DISTANCE OF 150.00 FEET TO THE SOUTHWEST CORNER THEREOF; THENCE NORTH 97° 10' WEST, ALONG A LINE, WHICH MAKES A SOUTHWEST ANGLE OF 90 DEGREES WITH THE EASTERLY LINE OF SAID LOT 14, A DISTANCE OF 123.00 FEET; THENCE NORTH 2° 50' EAST, A DISTANCE OF 63.37 FEET, TO A POINT ON THE NORTHWESTERN LINE OF SAID LOT 14, THENCE SOUTH 66° 21' 16" WEST, ALONG THE NORTHWESTERLY LINE OF SAID LOT 14, A DISTANCE OF 421.97 FEET, TO THE SOUTHWEST CORNER THEREOF; THENCE EAST, ALONG THE SOUTH LINE OF SAID LOTS 14, AND 3 A DISTANCE OF 651.33 TO THE POINT OF BEGINNING.

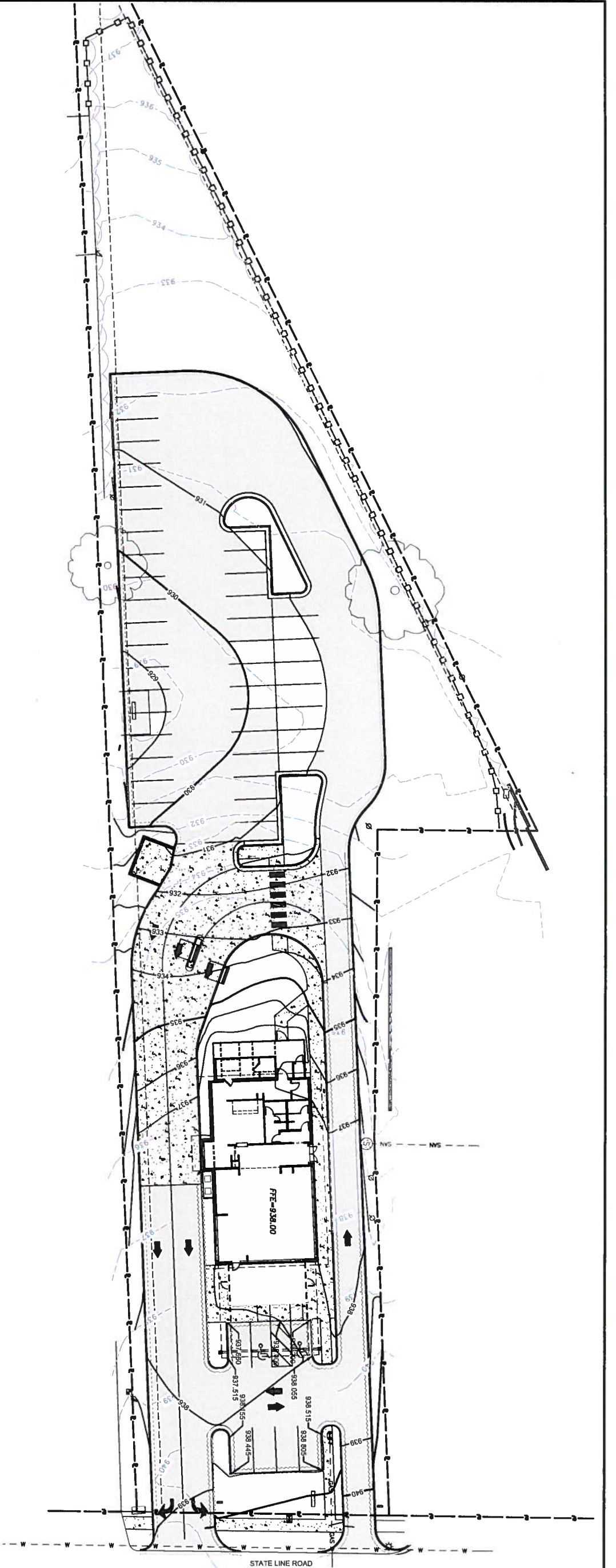
**PROJECT ADDRESS**

7930 STATE LINE ROAD  
 PRAIRIE VILLAGE, KS 66208



<p><b>7930 STATE LINE ROAD                  FINAL DEVELOPMENT PLANS                  PRAIRIE VILLAGE, KANSAS</b></p> <p><b>SITE PLAN</b></p>	<p>Prepared For:                  BLOCK AND COMPANY, INC.                  605 WEST 47TH STREET                  SUITE 200                  KANSAS CITY, MO 64112                  P: (816) 753-6000</p>	<p><b>BHC RHODES</b>                  Civil Engineering • Surveying • Utilities</p> <p>7101 College Blvd., Suite 400                  Overland Park, Kansas 66210                  P: (913) 663-1900 F: (913) 663-1633  <small>BHC RHODES is a trademark of Broughton Management &amp; Company, PA</small></p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev.</th> <th>Date</th> <th>Description</th> <th>By</th> <th>App.</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>08/12/15</td> <td>REVISED PER CITY COMMENTS</td> <td>JWB</td> <td>JWB</td> </tr> <tr> <td>1</td> <td>07/01/15</td> <td>REVISED PER CITY COMMENTS</td> <td>JWB</td> <td>JWB</td> </tr> </tbody> </table>	Rev.	Date	Description	By	App.	2	08/12/15	REVISED PER CITY COMMENTS	JWB	JWB	1	07/01/15	REVISED PER CITY COMMENTS	JWB	JWB
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**GRADING NOTES**

1. Contractor shall operate under the terms and permits included in the Stormwater Pollution Prevention Plan (SWPPP) prepared for this project and permitted through the State of Kansas. Contractor shall employ a qualified person to conduct regular inspections of the site erosion control measures and document such inspections in the SWPPP document maintained by the Contractor.
2. All topsoil, vegetation, root structures, and deleterious materials shall be stripped from the ground surface prior to the placement of embankments. Contractor shall obtain the On-site geotechnical representative's acceptance of the existing ground surface materials and the proposed fill material prior to the placement of fill.
3. All proposed contour lines and spot elevations shown are finish ground elevations. Contractor shall account for pavement depths, building pads, topsoil, etc when grading the site.
4. All disturbed areas that are not to be paved (green spaces) shall be finish graded with a minimum of six inches of topsoil.
5. All excavation and embankments shall comply with the recommendations provided by the Geotechnical Engineer.
6. Prior to placing any concrete or asphalt pavement the contractor shall perform a proof roll of the pavement sub-grade with a fully loaded tandem axle dump truck. The proof roll shall be conducted in the presence of the Engineer and the On-Site Geotechnical Representative. Areas that display rutting or pumping that are unsatisfactory to the Engineer shall be re-worked and a follow-up proof roll shall be conducted prior to acceptance of the sub-grade for paving. The contractor may, at its own expense, stabilize the sub-grade using Class C fly ash or quicklime.
7. Finished grades shall not be steeper than 3:1.
8. All grading work shall be considered unclassified. No additional payments shall be made for rock excavation. Contractor shall satisfy himself as to any rock excavation required to accomplish the improvements shown hereon.
9. A 1/4" per foot maximum cross slope shall be maintained on all pedestrian sidewalks and paths.

**LEGEND**

- 980 — FINISH GRADE 5' CONTOURS
- 980 — FINISH GRADE 1' CONTOURS
- 980 — EXISTING GRADE 10' CONTOURS
- 980 — EXISTING GRADE 1' CONTOURS
- — PROPERTY LINE



**7930 STATE LINE ROAD  
FINAL DEVELOPMENT PLANS  
PRAIRIE VILLAGE, KANSAS**

**GRADING PLAN**

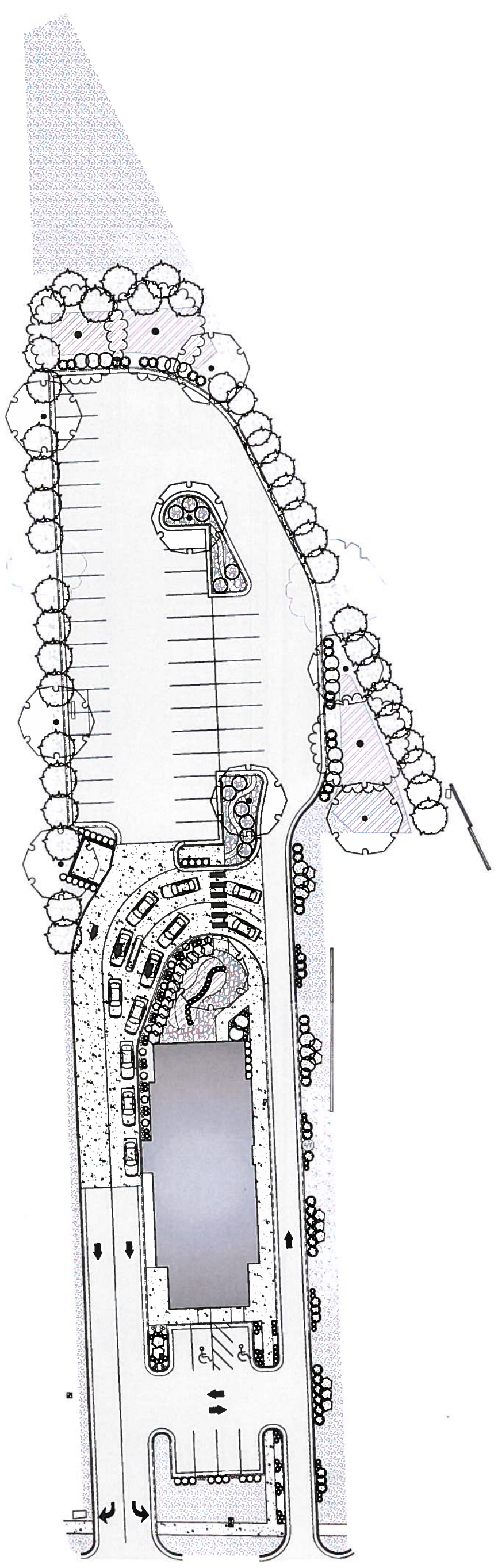
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2	08/12/15	REVISED PER CITY COMMENTS	JWB	JWB
1	07/01/15	REVISED PER CITY COMMENTS	JWB	JWB





**LANDSCAPING NOTES**

1. ALL DISTURBED AREAS SHALL BE SODED WITH TURF-TYPE TALL FESCUE SOD WITH A MINIMUM OF THREE CULTIVARS.
2. ALL LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 6-INCH DEPTH OF TOPSOIL COMPACTED TO 85% DENSITY AT OPTIMUM MOISTURE CONTENT.
3. THE ENTIRE SURFACE TO BE LANDSCAPED SHOULD BE REASONABLY SMOOTH AND FREE FROM STONES, ROOTS OR OTHER DEBRIS.
4. SOD SHALL BE MACHINE STRIPPED AT A UNIFORM SOIL THICKNESS OF APPROXIMATELY ONE INCH (PLUS OR MINUS 1/4-INCH). THE MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH, AND SHALL BE DETERMINED AT THE TIME OF CUTTING IN THE FIELD. PRECAUTIONS SHALL BE TAKEN TO PREVENT DRYING AND HEATING. SOD DAMAGED BY HEAT AND DRY CONDITIONS, AND SOD CUT MORE THAN 18 HOURS BEFORE BEING INCORPORATED INTO THE WORK SHALL NOT BE USED.
5. HANDLING OF SOD SHALL BE DONE IN A MANNER THAT WILL PREVENT TEARING, BREAKING, DRYING AND OTHER DAMAGE. PROTECT EXPOSED ROOTS FROM DEHYDRATION. DO NOT DELIVER MORE SOD THAN CAN BE LAID WITHIN 24 HOURS.
6. MOISTEN PREPARED SURFACE IMMEDIATELY PRIOR TO LAYING SOD. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE INSTALLING SOD. FERTILIZE HARROW OR RAKE FERTILIZER IN THE TOP 1-1/2-INCHES OR TOPSOIL AT A UNIFORM RATE.
7. FERTILIZER SHALL BE 20-10-5 COMMERCIAL FERTILIZER OF THE GRADE, TYPE AND FORM SPECIFIED AND SHALL COMPLY WITH THE RULES OF THE STATE OF KANSAS DEPT. OF AGRICULTURE. FERTILIZER SHALL BE IDENTIFIED ACCORDING TO THE PERCENT N-P-K IN THAT ORDER.
8. SATURATE SOD WITH FINE WATER SPRAY WITHIN TWO HOURS OF PLANTING. DURING THE FIRST WEEK AFTER PLANTING, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A MINIMUM DEPTH OF FOUR INCHES.
9. CONTRACTOR SHALL PROVIDE FULL MAINTENANCE FOR NEWLY LANDSCAPED AREAS FOR A PERIOD OF 30 DAYS AFTER THE DATE OF FINAL ACCEPTANCE. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EYE-COLORED, VIABLE TURF AND LANDSCAPED AREA MUST BE ESTABLISHED. THE LANDSCAPED AREAS SHALL BE FREE OF WEEDS, OPEN JOINTS, BARE AREAS AND SURFACE IRREGULARITIES.

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT.	CAL.	SIZE
	4	Acer rubrum / Red Maple	B & B	2' Cal	12-15' H
	3	Gleditsia triacanthos var. inermis 'Shademaster' TM / Shademaster Locust	B & B	2' Cal	12-15' H
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SIZE	
	2	Amelanchier arborea / Downy Serviceberry	1 gal	2' height	
	40	Calliopsis dichotoma 'Early Amethyst' / Beadlightberry	1 gal	2' height	
	31	Eriogonum alidum / Winged Eriogonum	15 gal	3' height	
	41	Eriogonum alidum 'Golden' TM / Little Woeses Dwarf Burning Bush	3 gal		
	25	Rhus typhina / Staghorn Sumac	3 gal		
	34	Typha occidentalis 'Strain Giant' / Strain Giant Arrowweed	B & B	7-8' H	
ANNUAL PERENNIALS	QTY	BOTANICAL NAME / COMMON NAME	SIZE		
	14	Achillea millefolium / Common Yarrow	1 gal		
	84	Eriogonum spectabile / Purple Love Grass	3 gal		
	60	Schizachyrium scoparium / Little Bluestem Grass	3 gal		
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT.	SPACING	
	4,204 sq'	Festuca ovina 'Pasture Perfect' / Pasture Perfect Blend of Tall Fescue	sod		
	2,216	Pachyandra terminalis / Japanese Spurge	plug	6" o.c.	
	241	Panicum virgatum 'Prairie Fire' / Red Switch Grass	3 gal	12" o.c.	
MULCH/GRAVEL	QTY	BOTANICAL NAME / COMMON NAME	SIZE		
	1,142 sq'	Native Cobblestone	4" - 6" stones		
	600 cu yd	Double Grand Hardwood Mulch	2" - 3" deep		

**SLIM CHICKEN LANDSCAPING PLAN**



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FINAL DEVELOPMENT PLANS  
PRAIRIE VILLAGE, KANSAS**

**LANDSCAPE PLAN**

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Design: NAB Drawn: NAB  
Checked: RAE  
Issue Date: 08/19/2015  
Project Number: 021220  
4 of 5  
**11**