

PLANNING COMMISSION AGENDA
CITY OF PRAIRIE VILLAGE
TUESDAY, APRIL 2, 2013
****INDIAN HILLS MIDDLE SCHOOL****
6400 MISSION ROAD
7:00 P. M.

- I. ROLL CALL
- II. APPROVAL OF PC MINUTES - March 5, 2013
- III. PUBLIC HEARINGS
- IV. NON-PUBLIC HEARINGS
 - PC2013-109 Site Plan Approval
7400 State Line Road
Zoning: C:0
Applicant: AMAI Architecture, for K.U. Eye
 - PC2013-110 Site Plan Approval - wireless antennae
9011 Roe Avenue
Zoning: R-1a
Applicant: Polsinelli for Sprint
 - PC2013-111 Preliminary & Final Plat Approval
PV Shopping Center
Zoning: C-2
Applicant: PV Retail Partners
- V. OTHER BUSINESS
 - PC2012-119 Sign Approval
3935 & 3939 W. 69th Terrace
Zoning: C-2
Applicant: Lega C Properties
- VI. ADJOURNMENT

**Immediately following the meeting the Planning Commission will meet in work session to review and discuss the proposed development at 8500 Mission Road -
No action will be taken.**

Plans available at City Hall if applicable

If you can not be present, comments can be made by e-mail to

Cityclerk@Pvkansas.com

***Any Commission members having a conflict of interest, shall acknowledge that conflict prior to the hearing of an application, shall not participate in the hearing or discussion, shall not vote on the issue and shall vacate their position at the table until the conclusion of the hearing.**

**PLANNING COMMISSION WORK SESSION AGENDA
CITY OF PRAIRIE VILLAGE
TUESDAY, APRIL 2, 2013
INDIAN HILLS MIDDLE SCHOOL
6400 MISSION ROAD**

**Immediately Following
Regular Commission Meeting**

**Presentation on proposed development of 8500 Mission Road -
“Mission Chateau Senior Center
Representatives of Tutera Family Communities &
Polsinelli Shughart**

Dennis Enslinger reviewed the purpose for Neighborhood Conservation Overlay Districts as set out in Chapter 19.25.

Section 19.25.30 establishes the process for review of proposed Neighborhood Conservation Overlay Districts and indicates that the Planning Commission shall make a recommendation that the NC district zoning be approved, approved with conditions or denied to the Governing Body. The recommendation shall be accompanied by a report containing the following information:

- (i) an explanation of how the area meets or does not meet the selection criteria contained in Section 19.25.010;*
- (ii) in the case of an area found to meet the criteria in Section 19.25.010:
 - a. a description of the general pattern of development, including Streets, Lots and Buildings in the area; and*
 - b. Development/Design Standards to guide development within the District;**
- (iii) a map showing the recommended boundaries of the NC District; and*
- (iv) a record of the proceedings before the Planning Commission;*

Design Standards

The CSE Homes Association has spent the last two years working with staff to develop design standards for the CSE Overlay District. The Design Standards are attached and are focused on what could be described as the “big ticket” items such as overall height of structures, side yard setbacks, how additions relate to neighboring properties, etc. The following fifteen key points are listed in the Design Guidelines Documents:

1. A maximum 5-foot knee wall height on upper story will be allowed on front of home.
2. Minimum 66% of original eave line must be maintained on the front of home.
3. Minimum 10% of new home or renovated portion of front of home must contain windows.
4. Gabled roofs facing the street must match existing roof slopes on front of home, excluding dormers.
5. For a 3-car garage on home front, at least 1 bay must be in a different plane.
6. For a split-level home, an addition above existing upper level is not allowed.
7. In the case of a new home, predominate eave line on the front of the home must be within 2' of the highest neighboring eave line.
8. The plots in Countryside East shall be used for private dwellings only and each dwelling shall be designed only for occupancy by a single family.
9. No garage or outbuilding shall be used as a residence or living quarters.
10. No building structure shall be commenced or erected until acceptable plans are submitted for Overlay District approval with the City of Prairie Village.
11. No outbuilding shall exceed the dwelling in height or number of stories. The size of an outbuilding is limited to 50 percent of the width of the lot measured along the rear line. Any outbuilding, except a greenhouse, shall correspond in style and architecture to the dwelling and shall be of the same exterior materials.

12. No dwelling or any part thereof shall be erected nearer to the adjoining street than the building limit line shown on the recorded plat. Stoops, porches, balconies and terraces that are not enclosed, may extend no more than 6 feet beyond the limit line. Architectural appurtenances may extend no more than 4 feet beyond the limit line.
13. No part of any dwelling shall be erected nearer to the side property line than 12 ½ percent of the width of the property at the front property line.
14. No dwelling shall exceed 1½ stories. A house - new construction or remodel - that meets the restrictions numbered 1 through 7 above shall be deemed to meet the 1½ story restriction.
15. Houses must have a ground floor minimum square footage (excluding garages and porches) based on the frontage length of the property as follows:

Frontage of:	1 story	1.5 story
70 - 80 feet	900 sq. ft	700 sq. ft.
80 - 90 feet	1000 sq. ft	750 sq. ft.
90 - 100 feet	1100 sq. ft.	750 sq. ft.
100 feet or over	1200 sq. ft.	800 sq. ft.

Acting Chairman Bob Lindeblad opened the public hearing:

Peter Gogol, 5019 West 66th Terrace and current president of the Countryside East Homes Association, spoke in support of the proposed overlay district as the key to preserving their neighborhood and quality of life. He reported that on January 10th the Board of Directors unanimously adopted a resolution stated that the Board continues to be in favor of the creation of a neighborhood Overlay District and that they approved the design guidelines that were publicly presented at the association's annual meeting in November, 2012. Mr. Gogol noted these guidelines were passed on opinions of their residents derived from a survey, public meetings and individual discussion with homeowners.

Dan Blom, 6408 West 64th Terrace, reported that at the annual meeting of the homes association the overlay district guidelines were presented as well as an explanation of the process followed. Everyone was notified of that meeting and a petition of support was signed by the residents attending that meeting.

With no more comments, the public hearing was closed at 7:09 p.m.

Vice Chairman Bob Lindeblad led the Commission in review the following criteria that must be met in order to establish a Neighborhood Conservation Overly District:

- (1) **the general pattern of development, including streets, lots and buildings, shall have been established at least 25 years prior to the Effective Date;**

The Countryside East (CSE) Overlay District area began developing in the late 1940s with the oldest structure built ca. 1948. The majority of structures in the CSE Overlay District were completed in the 1950s and 1960s. There were a few structures which were built in the mid-1970s. Based on this information, the CSE Overlay District meets the 25 year criteria.

(2) the area shall possess built environmental characteristics that create an identifiable setting, character and association;

While there are a variety of architectural form types and styles within the CSE Overlay District, the area consists of a built environment which creates an identifiable setting, character and association.

The CSE Overlay District is residential in land use and consists of only single-family dwelling units. The area is centered along the North-South collector street, Hodges Drive with the numbered streets intersecting Hodges Drive. One of the unique features of the area is Highland Cemetery. The area is also known for its tree lined streets which are planted with predominantly Ash trees.

The lots within the CSE Overlay District are predominately just under or just over a quarter of an acre. There are a few larger lots within the area which are just over one-half acre. With the exception of Hodges Drive and Ash Street, the dwellings are oriented towards the number streets.

The area also contains a very active homes association the Countryside East Homes Association. The proposed CSE Overlay District is consistent with the Countryside East Homes Association.

(3) the designated area shall be a contiguous area of at least five (5) acres in size.

Areas of less than five (5) acres may be designated as an NC Overlay District only when they abut an existing five (5) acre or greater NC Overlay District.

The CSE Overlay District contains approximately 112 acres.

Nancy Wallerstein moved the Planning Commission forward the proposed Design Guidelines for the Countryside East Neighborhood Overlay District to the Governing with a recommendation for approval. The motion was seconded by Gregory Wolf and passed unanimously.

Bob Lindeblad thanked the neighborhood for their participation and work during the past two years in the development of these guidelines.

Nancy Wallerstein announced to those in attendance that the neighborhood meeting on the Mission Valley Site was currently being held at Shawnee Mission East and that this item would not be discussed by the Planning Commission this evening.

**PC2013-03 Request for Special Use Permit for St. Ann's School Expansion
7235 Mission Road**

Arnie Tulloch, with Shafer, Kline & Warren, presented the application on behalf of St. Ann's School and noted their acceptance of the staff recommendation on this application. However he wanted to clarify that the existing pre-school that operates within St. Ann's School was included in the special use permit.

Ron Williamson responded that the special use permit would cover pre-school through 8th grade. If the school expanded to cover high school, the permit would need to be amended.

Mr. Williamson noted that the site plan for the school expansion was approved at the February meeting by the Commission which extends the north wing of the school building to add eight new classrooms. The expansion will have four classrooms on each floor and an elevator will be constructed to provide access between the floors. The addition will provide implementation of a full-day kindergarten program. All classrooms will be moved out of the basement of the church to the new classrooms. The science lab, which currently serves a dual purpose as a home room, will be dedicated full time to science education. Staff will be moved from lobbies and corridor spaces to the classrooms. The proposed expansion will provide a more efficient and effective organization of providing education to the students.

A neighbor has submitted a request that the construction vehicles not access from Windsor, but access the site from Mission Road. This seems to be a reasonable request and can be added as a condition of approval. Windsor is a residential street and bringing construction equipment and materials through this residential area would be disruptive.

The applicant held a neighborhood meeting on February 20, 2013, in accordance with the Planning Commission Citizen Participation Policy. One resident attended and had no issues with the proposal.

Bob Lindeblad opened the public hearing. No one was present to address the Commission, however, it was noted that a letter was received earlier and included in the commissioners' packet by a resident. The public hearing was closed at 7:15 p.m.

Vice Chairman Bob Lindeblad led the Commission in the following review of findings of fact:

- 1. The proposed special use complies with all applicable provisions of these regulations including intensity of use regulations, yard regulations and use limitations.**

The property is zoned R-1B Single Family Residential District and has been developed by St. Ann's Church and School since 1968. The site is approximately 10.6 acres and has adequate area to accommodate the proposed expansion and meet all setback, height and area regulations of the zoning ordinance.

- 2. The proposed special use at the specified location will not adversely affect the welfare or convenience of the public.**

The site is large and this is the expansion of a use that has been there since 1968. The proposed expansion is for eight classrooms internally on the site and will not adversely affect the welfare or convenience of the public.

- 3. The proposed special use will not cause substantial injury to the value of other property in the neighborhood in which it is to be located.**

The footprint of the proposed expansion is approximately 72' x 77' or 5,544 sq. ft. The total square footage added will be 11,088 sq. ft. The existing square footage of the school and church is 93,631 square feet according to the Johnson County Appraisers data. This is a 11.8% increase in the square feet of the complex.

The proposed expansion is internal to the site and will have little if any impact on the surrounding neighborhood. Therefore, the proposed expansion will not cause substantial injury to the value of other property.

4. **The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with it, and the location of the site with respect to streets giving access to it, are such that this special use will not dominate the immediate neighborhood so as to hinder development and use of neighboring property in accordance with the applicable zoning district regulations. In determining whether the special use will so dominate the immediate neighborhood, consideration shall be given to: a) the location, size and nature of the height of the building, structures, walls and fences on the site; and b) the nature and extent of landscaping and screening on the site.**

This proposal is for only eight additional classrooms and is not of a size that will dominate the neighborhood or hinder development or redevelopment. This neighborhood is completely developed.

5. **Off-street parking and loading areas will be provided in accordance with standards set forth in these regulations and said areas shall be screened from adjoining residential uses and located so as to protect such residential uses from any injurious affect.**

Currently there are 305 parking spaces on the site and the applicant has calculated that the school and church require 239 spaces. The ordinance requires two spaces for each classroom which will add 16 spaces for a total requirement of 255 spaces. The site will have an excess of 50 spaces over the requirements. The church normally does not have functions during school time so generally there is more than adequate parking available. The parking spaces are existing and are located to have minimum negative impact on the neighborhood. When major events occur, the grassed sports fields could be used as temporary parking. Also it may be possible to use parking to the south if an activity does not occur during normal office hours.

6. **Adequate utility, drainage and other necessary utilities have been or will be provided.**

Storm drainage was addressed at the time of site plan approval and the applicant is working with Public Works to resolve drainage concerns. All utilities are available on site.

7. **Adequate access roads or entrance and exit drives will be provided and shall be so designed to prevent hazards and to minimize traffic congestion in public streets and alleys.**

St. Ann's Church and School is a developed property and no change in the ingress or egress is planned. Currently the property can be entered from one location on Mission Road and one location of Windsor Street. Exiting can occur from two locations on Mission Road and one on Windsor Street. No congestion will be added to adjacent public streets.

8. **Adjoining properties will be adequately protected from any hazardous or toxic materials, hazardous manufacturing processes, obnoxious odors, or unnecessary intrusive noises.**

This particular use does not appear to have any hazardous or toxic materials, hazardous processes or obnoxious odors related to its use. There may be some noise generated from the outdoor play of the children, but it should be minimal.

9. **Architectural style and exterior materials are compatible with such style and materials used in the neighborhood in which the proposed structure is to be built or located.**

The architectural plans were approved as a part of the Site Plan Approval.

Gregory Wolf moved the Planning Commission find favorable the findings of fact for PC2013-02 and recommend the Governing Body approve the issuance of a Special Use Permit for St. Ann's School, grades pre-school through eighth grade, at 7235 Mission Road, Prairie Village, subject to the following conditions:

1. That access to the site for construction vehicles and material deliveries be from Mission Road.
2. That the Special Use Permit be approved for an indefinite time.
3. That future expansion or modification be handled through the Site Plan Procedure and amendment to the Special Use Permit not be required unless the school expands to high school grades.
4. That if the applicant is found to be in non-compliance with the conditions of the Special Use Permit, the permit will become null and void within 90 days of notification of non-compliance, unless the non-compliance is corrected.

The motion was seconded by Randy Kronblad and passed unanimously.

NON-PUBLIC HEARINGS

**PC2013-101 Site Plan Approval - Roe 89 Shops
8825 & 8839 Roe Avenue**

Kevin Harden with Gastinger, Walker & Harden and Greg Hoefler with The Tutera Group noted they are proposing to give a new facelift to the 89th and Roe Shops. The north building, 8825 Roe Avenue was built in 1965 and the south building, 8839 Roe Avenue, was built in 1988. Both buildings are owned by the same entity and the proposed facade design is to update and create some similarity in the buildings' appearance.

The proposed design for the north building essentially includes adding columns for aesthetic purposes, replacing the fluorescent light strip under the canopy with can lights and attaching a gable roof to the face of the facade. The existing canopy projects approximately eight feet from the building and the sidewalk is approximately ten feet wide. The proposed columns are not needed for structural support of the canopy. The proposed gables will only be about one foot deep and the roof material will be cedar boards.

The proposed design for the south building extends the canopy approximately four feet, adds gables, adds columns and replaces the five foot sidewalk with an eight foot sidewalk. The existing canopy is approximately three feet and it will be extended to approximately seven feet. The two existing dormers do not serve a purpose, are a maintenance problem and will be removed.

Kevin Harden stated they have received staff comments and are in agreement except for condition 3 that the façade of the north building be changed to be a shingled mansard roof. Mr. Harden noted the north building has a flat roof and the south building has a pitched roof 15' higher than the north building.

Mr. Williamson noted the flat front facade of the building is really not being changed and it is the most unattractive feature of the building. Redesigning it to a true mansard roof using the same roofing material as the south building would be more compatible with the south building and would better unify the development. Mr. Williamson pointed out that this renovation would probably be a 15 to 20 year improvement, and now is the time to provide a more compatible design.

Bob Lindeblad confirmed one of their goals was to be able to have more updated signage on the buildings.

Kevin Hardin noted the larger over hang on the south building to match the north.

There was a lengthy discussion regarding design that would better unify the buildings. Nancy Vennard suggested adding a continuous cedar band to the north building similar to that on the south building. to provide continuity between buildings.

Randy Kronblad noted Mrs. Vennard's suggestion would give more interest to the building and build a sign band. He noted he is ok with the proposal and noted you cannot make the buildings the same without starting over.

Bob Lindeblad led the Commission in the following review of the site plan criteria:

A. The site is capable of accommodating the building, parking areas and drives with appropriate open space and landscape.

The applicant is not proposing to increase the square footage of either building and is not proposing to increase or decrease the number of parking spaces. According to the plans there are 41 parking spaces. The total square feet of the two buildings is 9,791 square feet which requires 39 parking spaces. The buildings meet the parking requirements of the ordinance. It should be pointed out that the south building has only 13 parking spaces and the ordinance requires 18 parking spaces. Therefore, these two buildings will need to remain in common ownership in order to meet the off-street parking requirements. It is recommended that the two unplatted tracts be platted into one lot unless it is decided to turn the project into condos.

The applicant has proposed a new landscape plan. The existing pine trees on Roe Avenue are dying and need to be replaced. The replacement trees proposed are Hackberry which will probably not be approved by the Tree Board. The applicant is also proposing to replace the plants along 89th Street which have deteriorated over time.

B. Utilities are available with adequate capacity to serve the proposed development.

Utilities are currently in place and adequately serve the buildings.

C. The plan provides for adequate management of stormwater runoff.
There will be no increase in impervious surface so stormwater is not an issue.

D. The plan provides for safe and easy ingress, egress and internal traffic circulation.

The proposed site will utilize existing driveways and the general circulation of the Center will not be changed.

E. The plan is consistent with good land planning and good site engineering design principles.

There is very little change in site. The canopy is being expanded and the sidewalk is being widened on the south building. Adequate area will be available to accommodate drive ways and perpendicular parking.

The landscape which has deteriorated over time is being replaced.

F. An appropriate degree of compatibility will prevail between the architectural quality of the proposed building and the surrounding neighborhood.

The upgrading of the facade design of these buildings will be an improvement to this area. The front facade design of the north building should be changed to be more similar to the south building. A mansard roof and shingles could accomplish this. The applicant has submitted a materials palette to indicate the color of the brick, painted wood and roof shingles. The residential development to the north and south is high quality and the upgrading of these two buildings should reflect that quality.

Any proposed outdoor lighting will need to be in compliance with the outdoor lighting ordinance.

G. The plan represents an overall development pattern that is consistent with the comprehensive plan and other adopted planning policies.

One of the principles of the Village Vision was to focus on redevelopment and reinvestment in the community. These issues have become primary goals for the City and this project represents a step in that direction.

Dirk Shaffer moved the Planning Commission approve the proposed site plan for the 89th & Roe Shops (8825 & 8839 Roe Avenue) subject to the following conditions:

1. That all lighting used to illuminate the outdoor area be installed in such a way as to not create any glare off the site and be in conjunction with the outdoor lighting regulations.
2. That the street trees proposed along Roe Avenue and the landscape plan are subject to the approval of the Tree Board.
3. That the developer meet with staff and work out an acceptable facade design.
4. That the dormers be removed on the south building.
5. That a revised set of drawings be prepared and submitted with any changes required by this approval.
6. That the applicant plat the property into one lot in the future prior to the next renovation project. Because it is small and only one lot the preliminary and final plats can be submitted and reviewed as one package.

The motion was seconded by Gregory Wolf and passed unanimously.

SIGN STANDARDS:

The applicant has submitted a new set of Sign Standards for the renovated project including both a text and a building graphic.

Dirk Shafer moved the Planning Commission approve the revised sign standards for Roe 89 Shops subject to the following conditions:

1. The title of paragraph "1. Elliptical Under Gable - Signage" should be revised to "1. Elliptical Under Gable and Band Sign - Signage".
2. Text needs to be added to paragraph 1.a. that "Only one sign shall be permitted per tenant and no sign shall exceed 5% of the square feet of the tenants' facade.
3. Add paragraph 5. Monument Sign:
 5. Monument Sign:
 - a. One monument sign shall be permitted for the two building complex.
 - b. The sign face may be changed out by City Staff approval.
 - c. If the monument sign is relocated or redesigned, it will be required to be submitted to the Planning Commission for review and approval.
4. Remove the window dormers on the south building elevation and submit revised drawings to the City.

The motion was seconded by Randy Kronblad and passed unanimously.

PC2013-106 Approval of Revised Final Plan for Mission Pines 7870 Howe Circle

Rick Jones with Nearing Staats & Jones presented the application on behalf of the Hickok Dible Company. They are requesting a revision to the approved Final Development Plan for Lot 35 Mission Pines Second Plat. When the Final Development Plan was approved in 1989, Lot 35 was approved for a "New A-1" residential design. The first floor was 1,405 sq. ft.; the second floor was 787 sq. ft.; the garage was 452 sq. ft.; and the building was two story with a height of approximately 31 feet to the top of the roof at the street level. Since this is a Planned District specific floor plans and building facades were approved for the project and any minor changes must be approved as a revised Final Plan by the Planning Commission. Mission Pines was originally conceived as a 35 lot subdivision, but over time it was reduced to 25 lots. Lot 35 is one of the largest lots in the subdivision.

The proposed first floor plan is approximately 1,475 sq. ft. plus a 144 sq. ft. sun porch for a total of 1,619 sq. ft. with a 700 sq. ft. lower level, a 468 sq. ft. garage and the height of the building at the street is approximately 24 feet. The first floor is approximately 214 sq. ft. larger, the garage is 16 sq. ft. larger and the building is 7 feet less in height then the originally approved plan. The approved plan also had a shared driveway with the lot to the east and the proposed plan will have a separate driveway. The garage has been moved to the other side of the house and the shared driveway no longer is practical. Lot coverage will be 24.8% compared to 22.1% on the original plan.

The redesign of the floor plan has also changed the relationship of the proposed residence to the existing ones. The distance between the proposed residence and the one to the north is 13.71 feet compared to the original plan of 24 feet. The distance between the proposed residence and the one to the east is about 9 feet compared to 17 feet on the original plan.

This lot slopes from northeast to southwest approximately six feet which is why the applicant is proposing the lower level walkout. Rick Jones stated the first floor elevation would be higher than that of the adjacent homes. The engineer was to provide elevations of the first floors of the two adjacent homes, but had not been able to survey because of the snow.

Ron Williamson noted the Mission Pines Home Owners Association provides for a Design Review Committee that is required to review and approve all plans prior to obtaining a building permit. The City does not have any jurisdiction regarding private restrictions or covenants, however, because this project was approved as a Planned Development the design of the buildings must be in accordance with the approved plans. The proposed residence appears to be designed in the same theme as the original plan and will use the same building materials.

The applicant held a Citizen Participation Meeting on February 20, 2013 in accordance with the Planning Commission Policy. Ten residents attended the meeting and three were HOA Board members. Most were concerned about issues during construction, however, one resident preferred that it not be built.

Gregory Wolf moved the Planning Commission approved the revised final plan for Mission Pines subject to the following conditions:

1. That the applicant obtain formal approval of the plan from the HOA Design Review Committee prior to obtaining a building permit.
2. That the applicant use the same materials and colors used in the construction of the existing dwellings.
3. That the first floor elevation be approved by city staff.

The motion was seconded by Nancy Wallerstein and passed unanimously.

**PC2013-107 Approval of Monument Sign - Hillcrest Covenant Church
8801 Nall Avenue**

Mike Manzo, president of SignCraft, Inc. presented the request from Hillcrest Covenant Church to replace its existing monument sign at the same location. The existing sign is perpendicular to Nall Avenue, is lighted and is double faced. The sign will be setback 13 feet from the back of curb. The sign base will be stone similar to the stone on the building. The sign face will be stucco with flat cut bronze aluminum letters.

The sign will be lit with ground mounted lights. Mr. Manzo stated the lights are only 8.5" high and will be incorporated into the landscape bed making their visibility minimal. He feels this indirect lighting is softer and does not have the glare produced by other lighting.

2. That the applicant use the same materials and colors used in the construction of the existing dwellings.

The maximum sign height permitted by the ordinance is five feet and the proposed sign complies with that requirement. The area of the proposed sign panel is 19.09 square feet. However, the actual sign is approximately 7.5 square feet. The maximum square feet permitted is 20 square feet for the sign panel.

Ron Williamson noted the applicant has submitted a landscape plan and the plant selection is appropriate.

Nancy Vennard stated she felt the proposed lighting could be hidden in landscaping and prefers them to flush mounted lighting. However, the landscape plan presented has them very exposed. She suggested that it be adjusted to provide more coverage of the light fixtures by placing permanent plantings in front of them.

Bob Lindeblad stated he is ok with the proposed lighting and feels a revised landscape plan would address the concerns with their visibility.

Nancy Vennard moved the Planning Commission approve PC2013-107 granting approval for the proposed monument sign for Hillcrest Covenant Church at 8801 Nail Avenue as presented subject to the following conditions:

1. That the existing sign be removed when the new one is installed.
2. That the stone be similar to that of the church building.
3. That the landscape plan be revised to provide better screening of the proposed lighting and presented to staff for approval.

The motion was seconded by Gregory Wolf and passed unanimously.

PC2013-108 Site Plan Approval for Wireless Communication Equipment Installation 3921 West 63rd Street

Bud Harlow with Black & Veatch representing AT&T presented a request for site plan approval to add three new antennas at the 95' level of the existing monopole at 3921 West 63rd Street. The antennae will be not be visible.

Ron Williamson noted a Special Use Permit was issued for this facility for Verizon and two additional carriers with the additional carriers being required to get site plan approval. AT&T submitted a site plan approval application and it was approved by the Planning Commission in December 2010.

T-Mobile was approved as the third carrier for the co-location site in June 2011. Both Verizon and AT&T have used two center-lines on the monopole while T-Mobile only used one. T-Mobile is only using G-3 data transmission at this location so only one center-line was needed. The pole was designed for six center-lines which means there is still one left at 95'. AT&T is requesting to use this center-line to install antennas for its LTE (Long-Term Evolution) high-speed data service.

T-Mobile has not installed its antennas and equipment, but will use the 105' center-line and the equipment will be installed between the monopole and the AT&T lease area. AT&T leases the east 21.5 feet of the equipment compound. The T-Mobile equipment box will be mounted on a rack rather than being mounted on a pad and the rack poles will be slightly less than 10 feet in height which will be below the height of the 10-foot screening wall.

Mr. Williamson noted the applicant was unable to hold a neighborhood meeting because of the weather, but also noted that a neighborhood meeting was held when the Special Use Permit was approved in 2010, but no additional neighborhood meetings were held for the AT&T and T-Mobile Site Plan approvals.

Acting Chairman Bob Lindeblad led the Commission in the following review of site plan criteria:

- A. The site is capable of accommodating the building, parking areas and drives with appropriate open space and landscape.**

The capability of the site to accommodate the equipment compound was addressed in the approval of the Special Use Permit.

- B. Utilities are available with adequate capacity to serve the proposed development.**

Adequate utilities are available to serve this location.

- C. The plan provides for adequate management of stormwater runoff.**

Public Works has reviewed and approved a storm water management plan for the entire equipment compound as a part of the Special Use Permit Application (PC 2010-03).

- D. The plan provides for safe and easy ingress, egress and internal traffic circulation.**

The proposed site will utilize the existing fire station driveway and parking lot for circulation which will adequately serve the proposed use.

- E. The plan is consistent with good land planning and good site engineering design principles.**

The details of the overall design of the equipment compound were worked as a part of the Special Use Permit Application (PC 2010-03).

- F. An appropriate degree of compatibility will prevail between the architectural quality of the proposed installation and the surrounding neighborhood.**

A 10-foot tall brick screening has been constructed around the perimeter of the equipment compound using the same materials that match the existing fire station. No equipment will be visible above the wall.

- G. The plan represents an overall development pattern that is consistent with the comprehensive plan and other adopted planning policies.**

Wireless communications are not specifically addressed in Village Vision. Generally it falls into maintaining and improving infrastructure.

Randy Kronblad moved the Planning Commission approve PC2013-108 for site plan approval for the installation of wireless communication equipment at 3921 West 63rd Street for AT&T subject to the following conditions:

1. That all antennas and wiring be contained within the monopole.
2. That none of the equipment and supporting structure shall be taller than the 10' screening wall.

3. That none of the proposed improvements encroach into the T-Mobile equipment area the compound.
4. That AT&T and any subsequent entity maintain compliance with all the conditions of approval of the Special Use Permit (2010-03).

The motion was seconded by Gregory Wolf and passed unanimously.

OTHER BUSINESS

Next Meeting

Ron Williamson noted it appears that Tutera will be filing for the May Planning Commission meeting. He and Mr. Enslinger are to meet with them the end of the week. Dennis Enslinger announced that Tutera has moved the timeline back one month. Joyce Hagen Mundy announced that two applications have been filed for April: PC2013-108 - Site Plan approval for antenna on the tower at 9011 Roe Avenue and PC2013-109 - Site Plan approval for a small addition to 7400 State Line Road. It is also expected that PV Retail Partnership will be bringing to the Commission a new plat for the Prairie Village Shopping Center that covers only property owned by them. The location of the April meeting will be determined at a later date depending on agenda items. Indian Hills Middle School has already been reserved for the meeting. Mrs. Vennard noted the need for audio visual equipment for presentations.

ADJOURNMENT

With no further business to come before the Planning Commission, Vice Chairman Bob Lindeblad adjourned the meeting at 7:50 p.m.

Bob Lindeblad
Vice Chairman

STAFF REPORT

TO: Prairie Village Planning Commission
FROM: Ron Williamson, Lochner, Planning Consultant
DATE: April 2, 2013 Planning Commission Meeting

Project # 000005977

Application: PC 2013-109

Request: Approval of Site Plan

Property Address: 7400 State Line Road

Applicant: Tower Properties / KU EYE

Current Zoning and Land Use: CP-0 Planned Office Building District – Office Building

Surrounding Zoning and Land Use: **North:** R-1B Single-family Residential-Single Family Dwellings
East: Residential KCMO – Single-family Dwellings
South: C-1 Restricted Business – Office Building
West: R-1B Single-family Residential-Single Family Dwellings

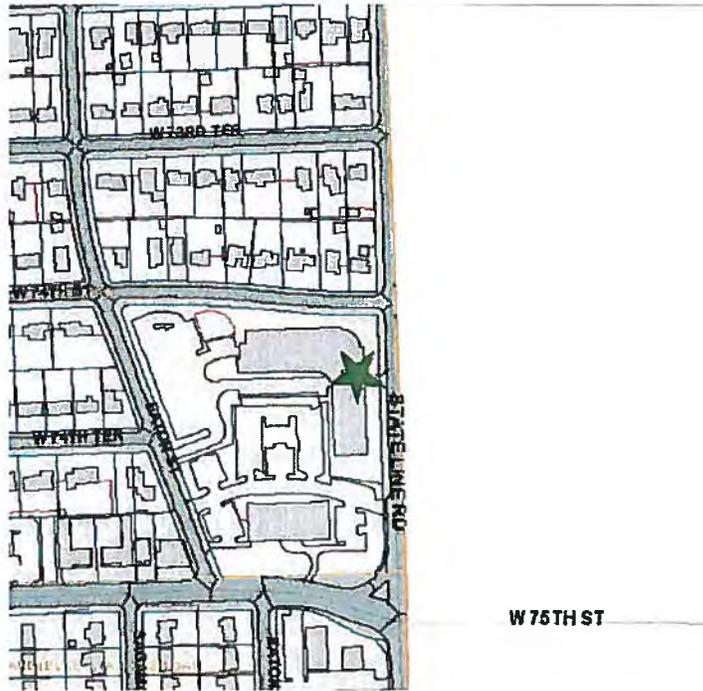
Legal Description: Combination of Platted Lots

Property Area: 3.03 Acres

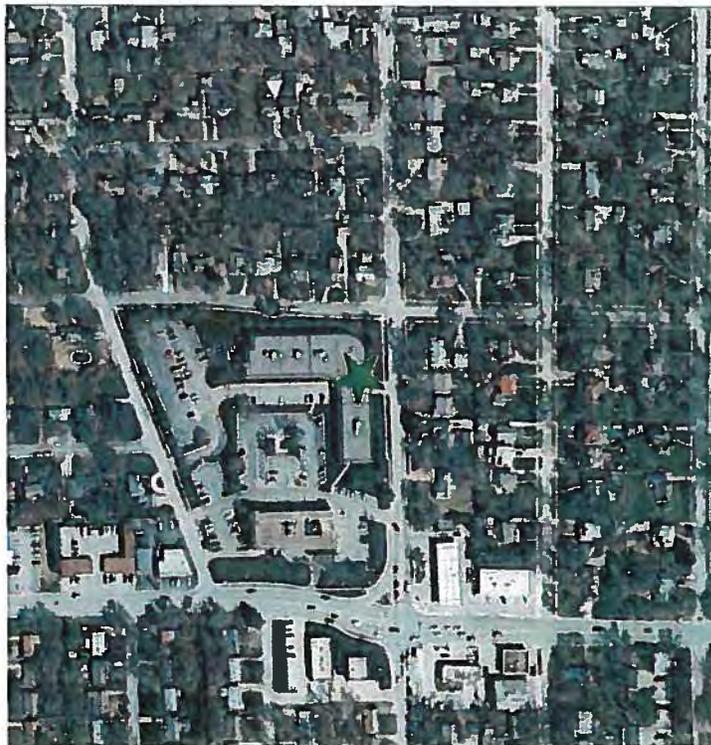
Related Case Files: PC 2005-117 Monument Sign Approval
PC 2007-101 Approval of Sign Standards
PC 2011-110 Approval of Monument Sign

Attachments: Application, Plans, Photo

General Location Map



Aerial Map



STAFF COMMENTS:

KU EYE is proposing to expand its services by adding an eye surgery suite on the second floor to complement its current eye examination practice. KU EYE currently has 15,877 sq. ft. on the first floor and plans to add 7,600 sq. ft. on the second floor. They are located in the west end of the north wing of the building. In implementing this expansion, they are proposing to have an entrance to their space on the west end of the building. To accomplish this they propose to add an elevator to the northwest corner of the building. This requires expansion of the wall area, relocating the transformer and installing a standby generator. This will result in the loss of two parking spaces.

The proposed standby generator is diesel fueled. The Planning Commission has preferred standby generators to be fueled by natural gas delivered by a direct line. Diesel fueled generators have been approved in the past and the applicant has stated that diesel fuel is better for their application. The proposed generator has a 788 gallon fuel tank.

The applicant held a neighborhood meeting on March 13, 2013 in accordance with the Planning Commission Citizen Participation Policy. Three interested citizens appeared and the primary concerns were the size of the addition, generator noise and safety during construction. The applicant answered their concerns satisfactorily.

The Planning Commission shall give consideration to the following criteria in approving or disapproving a site plan:

A. The site is capable of accommodating the building, parking areas and drives with appropriate open space and landscape.

The site is 3.03 acres and is fully developed. The site adequately accommodates the building and the development has open space and landscaping.

The on-site circulation works well. Access is provided from State Line Road and Booth Street. No changes are proposed for access or circulation. The primary concern is meeting the requirements for off-street parking. The building has 46,505 sq. ft. of leasable space. Currently KU EYE occupies 15,877 sq. ft. and proposes to add 7,600 sq. ft. for a total of 23,477 sq. ft. The building was built and used for general office which requires one parking space per 300 sq. ft. of floor area. Dividing the 46,505 sq. ft. by 300 required equals 155 spaces. The site has 169 parking spaces and therefore meets the requirement. A problem occurs when general office space is converted to medical offices. Medical offices require one parking space for 200 sq. ft. of floor area. At that rate the current parking requirement for the building is 80 spaces for medical and 103 spaces for general offices for a total of 183 spaces or 14 more than are provided. The parking analysis was not addressed when the medical office space was built out several years ago, but with expansion it is necessary for the parking requirement to be met. Under the proposal there will be 23,028 sq. ft. of general offices requiring 77 spaces and 23,477 sq. ft. of medical requiring 118 spaces for a total of 195 spaces for the building and a deficiency of 28 spaces. Two existing spaces will be lost due to the expansion.

The applicant has stated that 5,650 sq. ft. of the space is for administration staff and should be calculated based on the general office standard. General office would then be 28,678 sq. ft. requiring 96 spaces and medical would be 17,827 sq. ft. requiring 90 spaces for a total of 186 spaces for the building, and a deficiency of 19 spaces. When this building served as a call center, parking was also an issue and the tenant leased space from other properties in the area to meet the need and reduce the on-street parking in the adjacent residential neighborhood. Staff recommends that they provide 186 spaces at a minimum and make that a condition of approval.

B. Utilities are available with adequate capacity to serve the proposed development.

The property is currently served with all utilities and the proposed improvements will not create the demand for additional utilities.

C. The plan provides for adequate management of stormwater runoff.

The amount of impervious area created is insignificant and a storm water management plan was not required. It also should be noted that a large detention pond is located adjacent to the expansion area.

D. The plan provides for safe and easy ingress, egress and internal traffic circulation.

Ingress and egress to the site will be the same after the improvements as it is now.

E. The plan is consistent with good land planning and good site engineering design principles.

The location of the proposed improvements works well with the existing development of the site. The overall plan appears to be well-conceived and is consistent with good planning and site engineering design principles. The plans have not addressed outdoor lighting; and, if outdoor lighting will be added or changed, it will need to conform to the City's outdoor lighting regulation.

F. An appropriate degree of compatibility will prevail between the architectural quality of the proposed installation and the surrounding neighborhood.

The proposed elevations indicate that the design of the addition will be compatible with the existing building on the site. The architect has proposed to use similar materials and colors on the new construction as was used on the original building. Material samples will need to be submitted for Staff approval prior to construction.

G. The plan represents an overall development pattern that is consistent with the Comprehensive Plan (Village Vision) and other adopted planning policies.

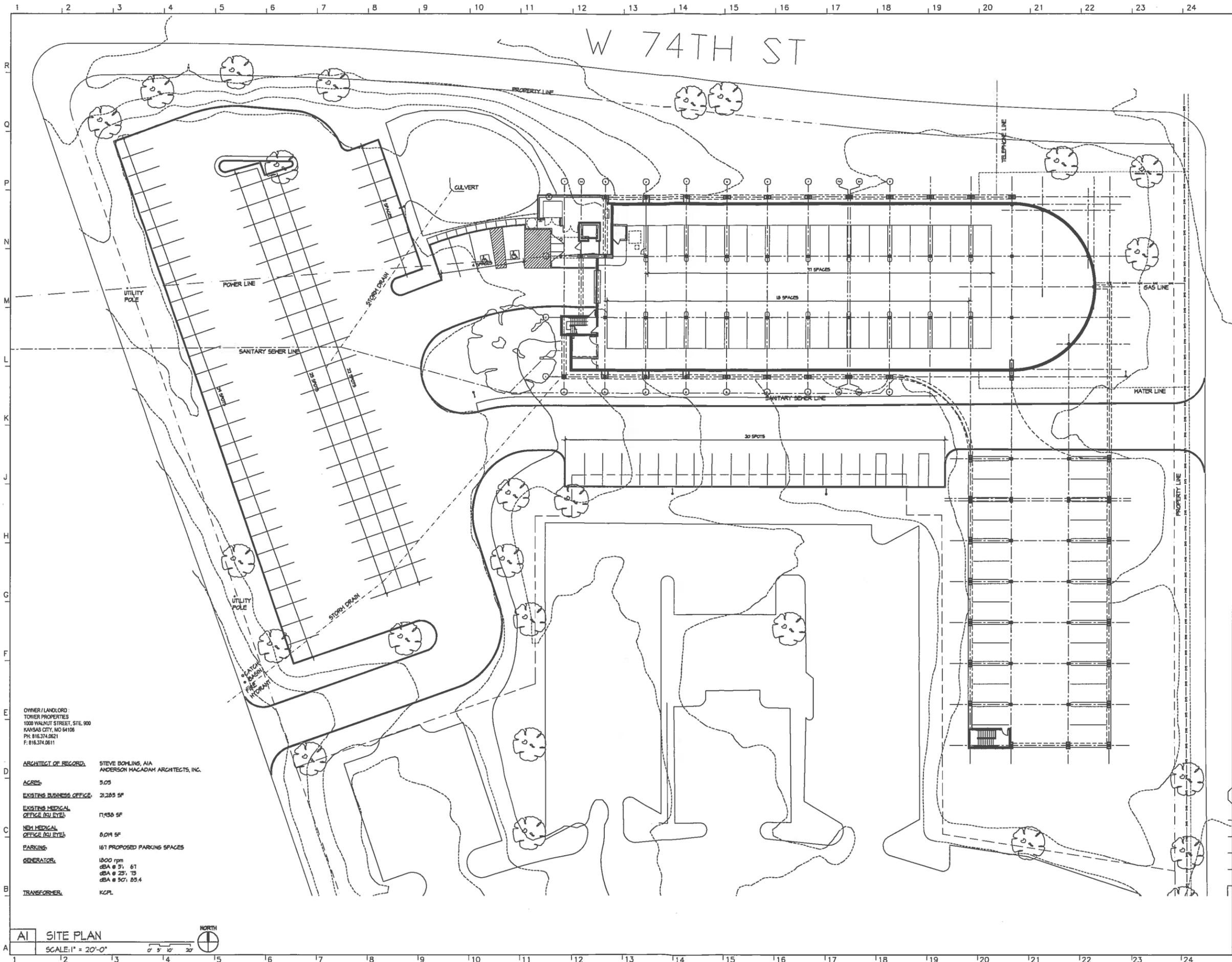
One of the principles of the Village Vision was to focus on redevelopment and reinvestment in the community. These issues have become primary goals for the City and this project represents a step in that direction. This is an opportunity to accommodate a successful local business that will generate additional jobs for the City.

RECOMMENDATION:

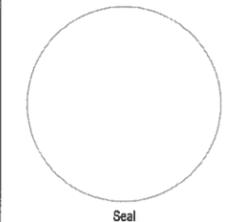
It is the recommendation of the Staff that the Planning Commission approve the site plan for the addition to 7400 State Line Road subject to the following conditions:

1. That the applicant submit and outdoor lighting plan in accordance with Section 19.34.050 Outdoor Lighting of the Zoning Ordinance if applicable.
 2. That the applicant use materials similar to those used in the existing building and submit material samples to Staff for approval prior to construction.
 3. That the applicant provide 186 parking spaces and provide copies of agreements to Staff for off-site space prior to obtaining a building permit.
 4. That the maximum noise level for the emergency generator not exceed 67 db. and documentation submitted to Staff.
 5. That the emergency generator be tested on weekdays during the hours between 8:00 a.m. and 5:00 p.m.
 6. Final design and details subject to Staff approval.
-





AMAI ARCHITECTURE
 1510 Walnut Suite 200
 Kansas City, MO 64108
 P 816.994.5900 / 5901 F



**University of Kansas
 Ophthalmic
 Foundation**
 K.U. Eye Surgery and Laser
 Center, LLC
 7400 State Line Road
 Prairie Village, KS 66208

Consultants
 MEDICAL DESIGN CONSULTANT:
 MARASCO & ASSOCIATES, INC.
 475 LINCOLN STREET, STE 150
 DENVER, CO 80203
 PH: 303.832.2887
 FAX: 303.861.6808

MECHANICAL CONSULTANT:
 BRACK & ASSOCIATES CONSULTING
 ENGINEERS
 3501 SW GAGE BOULEVARD
 TOPEKA, KS 66614
 PH: 785.271.6644

STRUCTURAL CONSULTANT:
 KHG ENGINEERING
 15377 W 95TH STREET
 LENEXA, KS 66219
 PH: 913.825.9381

INTERIOR CONSULTANT:
 BENSCHWEDD
 8820 BOND
 OVERLAND PARK, KS 66214
 PH: 913.486.5674

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ISSUED FOR:
 DD - PRICING SET 18 FEB 2013
 PLANNING COMMISSION 01 MAR 2013

Blank lines for additional issue information.

SITE PLAN

A00.04

OWNER / LANDLORD:
 TOWER PROPERTIES
 1000 WALNUT STREET, STE. 900
 KANSAS CITY, MO 64108
 PH: 816.374.0621
 F: 816.374.0611

ARCHITECT OF RECORD: STEVE BOWLING, AIA
 ANDERSON MACADAM ARCHITECTS, INC.

ACRES: 3.03

EXISTING BUSINESS OFFICE: 21,285 SF

EXISTING MEDICAL OFFICE (OU EYE): 17,430 SF

NEW MEDICAL OFFICE (OU EYE): 8,074 SF

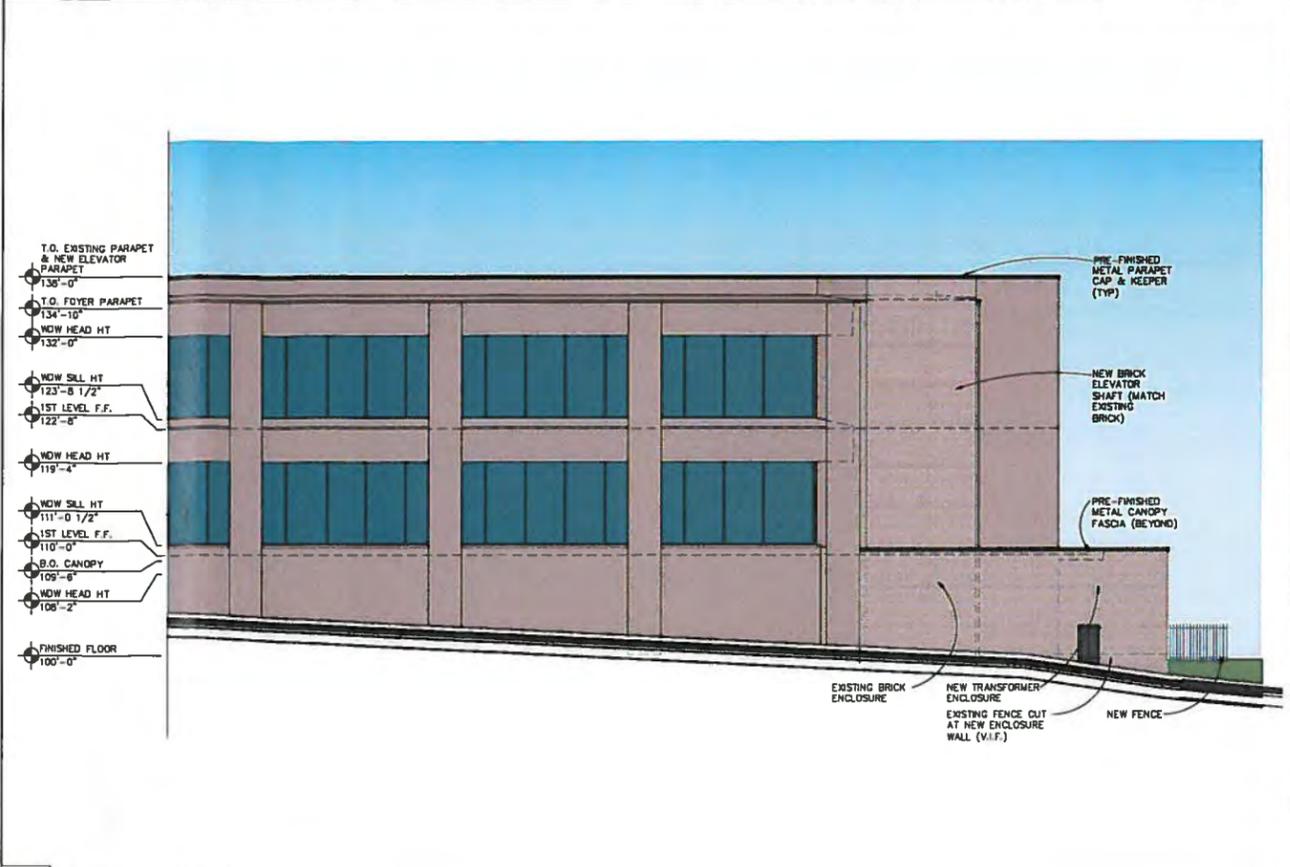
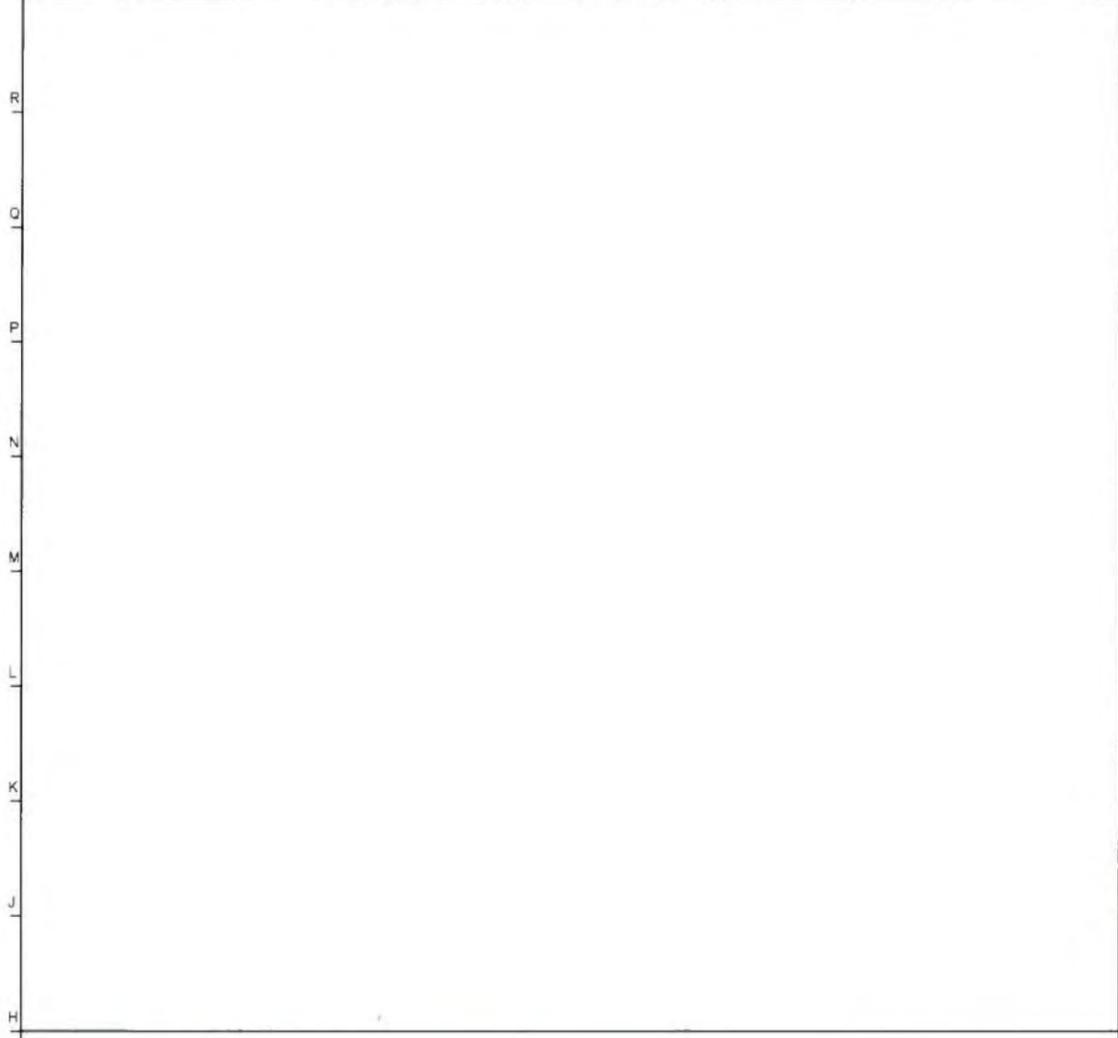
PARKING: 167 PROPOSED PARKING SPACES

GENERATOR: 1800 rpm
 OSA @ 3', 6T
 OSA @ 23', 13
 OSA @ 50', 83.4

TRANSFORMER: KCP.

AI SITE PLAN
 SCALE: 1" = 20'-0"
 NORTH

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24



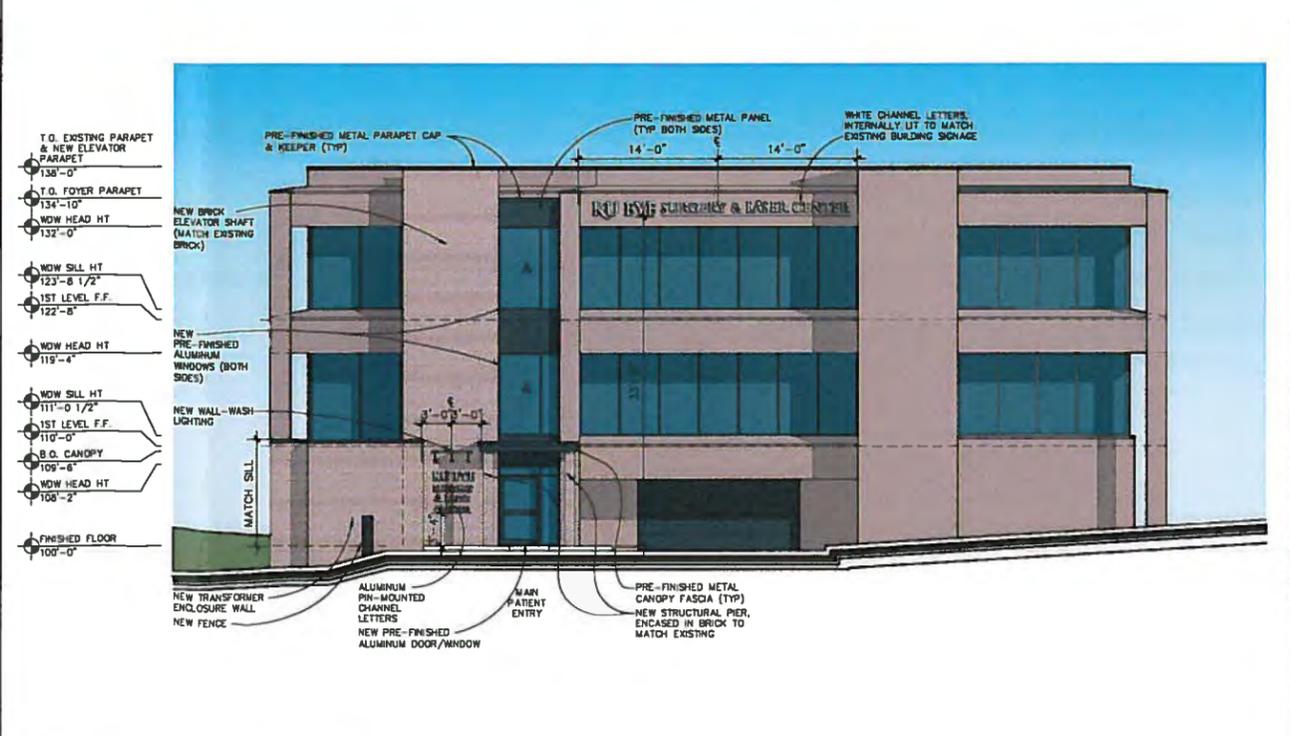
J12 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



D1 SIGNAGE DETAIL - BUILDING
SCALE: 1/4" = 1'-0"



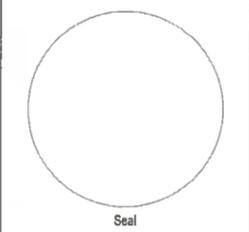
A1 SIGNAGE DETAIL - ENTRY
SCALE: 1/2" = 1'-0"



A12 WEST ELEVATION
SCALE: 1/8" = 1'-0"



AMAI ARCHITECTURE
1510 Walnut Suite 200
Kansas City, MO 64108
P 816.994.5900 / 5901 F



Seal
**University of Kansas
Ophthalmic
Foundation**
K.U. Eye Surgery and Laser
Center, LLC
7400 State Line Road
Prairie Village, KS 66208

Consultants
MEDICAL DESIGN CONSULTANT:
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ISSUED FOR:	
DD - PRICING SET	18 FEB 2013
PLANNING COMMISSION	01 MAR 2013

BUILDING
ELEVATIONS
A40.01

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24

STAFF REPORT

TO: Prairie Village Planning Commission
FROM: Ron Williamson, Lochner, Planning Consultant
DATE: April 2, 2013 Planning Commission Meeting

Project # 000005977

Application: PC 2013-110

Request: Site Plan Approval to replace three existing antennas and replace the equipment cabinets.

Property Address: 9011 Roe Avenue, Fire Station

Applicant: Sprint

Current Zoning and Land Use: C-1 Restricted Business District – Fire Station

Surrounding Zoning and Land Use: **North:** C-2 General Business District - Offices
East: C-1 Restricted Business District – KCP&L Substation
South: R-1A Single-Family Residential District - Church
West: R-1A Single-Family Residential District – Single-Family Dwelling

Legal Description: Lot 11 Blk 7 Somerset Acres West

Property Area: 0.73 Acres

Related Case Files: PC 2011-121 Site Plan Approval for Sprint
PC 2009-16 Special Use Permit for Clearwire
PC 2004-10 Special Use Permit for Cingular Wireless (Now AT&T)
PC 1996- 06 Conditional Use Permit for Sprint Wireless

Attachments: Application, Site Plan, Project Photos

COMMENTS:

Sprint is requesting Site Plan Approval to replace three antennas and replace three equipment boxes with two equipment boxes. Sprint submitted an application PC 2011-121 to replace three antennas, add three antennas and replace three equipment boxes with two. This was approved by the Planning Commission; however, Sprint's plans have changed and the request is for less than the previous one.

Sprint is consolidating its multiple network technologies into one new network called Network Vision. Network Vision will provide faster data speeds, better signal strength, fewer dropped calls and improved voice quality. Three existing equipment cabinets will remain until adequate testing is done and then they will be removed. There will be five Sprint cabinets in the equipment compound for the testing period, but no expansion or increase in size of the compound will be needed.

The existing three cabinets will be temporarily relocated and will be removed after the new cabinets have been tested and approved. This may take up to one year.

This monopole was approved in 1996 and at that time approval was by Conditional Use Permit. The monopole was approved for a height of 100 feet and Sprint antennas are on the top. In 2004, a Special Use Permit was granted to Cingular (now AT&T) to install antennas at the 90 feet elevation along with equipment cabinets in the compound at the base of the antenna. In 2009, a Special Use Permit was granted to Clearwire to install antennas and equipment cabinets. Sprint is a major shareholder in Clearwire and the Clearwire antennas were installed as a modification to the Sprint antennas at the top of the tower. The Clearwire antennas will remain as installed, but the three companion Sprint antennas will be replaced with new panels. The replacement panels will be approximately 12" wide by 72" long.

Subsequent to the application in 2011, a new Federal law was passed that requires all local governments to approve any request for replacement of transmission equipment on an existing wireless tower or base station (we call this the equipment compound) provided the request does not substantially change the physical dimensions of the tower or base station.

It is the opinion of Staff that the request does not substantially change the installation and should be approved. The law does not say that local government may not require an application to be filed or that reasonable conditions could be required as part of the approval.

Since no neighbors have appeared at previous neighborhood meetings and the changes were not major, the applicant was not required to hold a neighborhood meeting.

The Planning Commission shall give consideration to the following criteria in approving or disapproving a site plan:

A. The site is capable of accommodating the building, parking areas and drives with appropriate open space and landscape.

The capability of the site to accommodate the equipment compound was addressed in the approval of the Special Use Permit. The proposed improvements will occur on the existing tower and within the existing equipment compound.

B. Utilities are available with adequate capacity to serve the proposed development.

Adequate utilities are available to serve this location.

C. The plan provides for adequate management of stormwater runoff.

No additional impervious area that will be created and therefore a stormwater management plan is not required.

D. The plan provides for safe and easy ingress, egress and internal traffic circulation.

The site utilizes the existing driveway and parking lot for circulation that currently serves it and no changes are proposed.

E. The plan is consistent with good land planning and good site engineering design principles.

The details of the overall design of the equipment compound were worked out on the approval of the Conditional Use Permit. The applicant needs to prepare a structural analysis to confirm that the tower is sufficient to carry the load.

F. An appropriate degree of compatibility will prevail between the architectural quality of the proposed installation and the surrounding neighborhood.

The tower has been at this location for approximately seventeen years. The tower is located at the Fire Station in a commercial area and has very little impact on surrounding residential areas. All the equipment will be located within the equipment compound. The existing ice bridge will be used. The wiring will be inside the tower.

It should be pointed out that when the original approval for the cell tower occurred in 1996, it was the intent that the equipment be screened. A six foot high fence was required at that time. Obviously, the equipment boxes are much taller and the six foot tall fence is inadequate. The reason the equipment boxes are taller is that they are sitting on a 16" high concrete pad and that is why the fence needs to be taller. In 2009, the Special Use Permit approved for Clearwire required adequate screening of the equipment. A new taller fence wall should replace the existing fence in order to improve the appearance of the installation and make this installation more consistent with others in the City. It should also be noted that the ice bridge is much higher and more visible than other installations.

G. The plan represents an overall development pattern that is consistent with the comprehensive plan (Village Vision) and other adopted planning policies.

Wireless communications are not specifically addressed in Village Vision. Generally it falls into maintaining and improving infrastructure.

RECOMMENDATION:

It is the recommendation of the Staff that the Planning Commission approve this Site Plan for Sprint subject to the following conditions:

- 1) That the antennas be installed as shown on the proposed site plan.
 - 2) That all wiring be contained inside the tower.
 - 3) That the three existing cabinets shall be removed immediately after the operation of the new cabinets has been approved, but in no event longer than 12 months from the date of Planning Commission approval of this application. The applicant shall notify the City when the existing cabinets are removed.
 - 4) That the applicant prepare a structural analysis of the tower to confirm that it is sufficient to carry the additional load.
 - 5) That the applicant replace the existing wood fence with an eight foot tall fence to screen the equipment boxes. Plans for the fence shall be submitted to Staff for review and approval prior to obtaining a permit.
-

Equipment Compound (9011 Roe)



Antennas (9011 Roe)





CITY OF PRAIRIE VILLAGE

The Star of Kansas

Planning Commission Application

For Office Use Only
Case No.: <u>PC2013-10</u>
Filing Fee: <u>100</u>
Deposit: <u>500</u>
Date Advertised:
Date Notices Sent:
Public Hearing Date:

Please complete this form and return with Information requested to:

Assistant City Administrator
City of Prairie Village
7700 Mission Rd.
Prairie Village, KS 66208

Applicant: Curtis Holland on behalf of Sprint Phone Number: 913-234-7411

Address: 6201 College Blvd, Ste. 500 Overland Park, KS 66211 E-Mail cholland@polsinelli.com

Owner: Consolidated Fire Dist. No. 2 Phone Number: _____

Address: 3921 W. 63rd Street, Prairie Village, KS Zip: 66208

Location of Property: 9011 Roe Avenue

Legal Description: See attached.

Applicant requests consideration of the following: (Describe proposal/request in detail) Revised Site Plan to replace wireless communication antennas for Sprint.

AGREEMENT TO PAY EXPENSES

APPLICANT intends to file an application with the PRAIRIE VILLAGE PLANNING COMMISSION or the PRAIRIE VILLAGE BOARD OF ZONING APPEALS of the CITY OF PRAIRIE VILLAGE, KANSAS (City) for Site Plan Approval.

As a result of the filing of said application, CITY may incur certain expenses, such as publication costs, consulting fees, attorney fees and court reporter fees.

APPLICANT hereby agrees to be responsible for and to CITY for all cost incurred by CITY as a result of said application. Said costs shall be paid within ten (10) days of receipt of any bill submitted by CITY to APPLICANT. It is understood that no requests granted by CITY or any of its commissions will be effective until all costs have been paid. Costs will be owing whether or not APPLICANT obtains the relief requested in the application.

Curtis M. Holland, Agent
Applicant's Signature/Date for owner

Owner's Signature/Date

LEGAL DESCRIPTION:

Lot 11, Block 7, except the West 10 feet thereof, SOMERSET ACRES WEST, a subdivision in the City of Prairie Village, Johnson County, Kansas.



Curtis M. Holland

6201 College Boulevard, Suite 500
Overland Park, KS 66211
(913) 451-8788
Facsimile: (913) 451-6205
www.polsinelli.com

March 1, 2013

HAND DELIVERY

Prairie Village Planning Department
C/o Ron Williamson
Lochner
903 East 104th Street
Suite 900
Kansas City, MO 64131

Re: Sprint/KC03XC183 – Revised Site Plan Application in Connection with Network Vision Project at 9011 Roe Avenue (“Project”).

Dear Mr. Williamson:

As we have discussed, I have been engaged by Sprint in connection with its Network Vision upgrade for the above-referenced site. According to Sprint:

“Network Vision is Sprint’s plan to consolidate multiple network technologies into one new, seamless network with the goal of increasing efficiency and enhancing network coverage, call quality and data speeds for customers across the United States. In addition to deploying a new 3G network, Sprint will roll out LTE nationwide.

Sprint has launched 4G LTE in 49 markets – and sites are on-air and implementation is under way in hundreds more. In fact, Sprint has announced nearly 150 markets that should see an official LTE launch in the coming months.

Through Network Vision, voice quality is enhanced and Sprint customers in upgraded areas are seeing better performance on their smartphones, mobile broadband connection cards and mobile hotspots when using the Sprint 4G LTE and 3G networks. Customers can expect to experience the following performance improvements:

- **Faster data speeds** that enable instant Web access for news updates, HD viewing and game-playing, quicker video downloads and clear video chats.
- **Better signal strength** when making a call or using the Web.

- **Fewer dropped calls** for peace of mind when talking to friends, family or colleagues.
- **Improved voice quality** and less static or background noise when making phone calls.”

As you know, Sprint previously submitted a Revised Site Plan Application in connection with an earlier version of the Project, which was approved by the City Planning Commission on December 6, 2011, and then amended by the Planning Commission on October 2, 2012. Sprint has since re-designed the Project, and hereby submits its new Revised Site Plan Application reflecting such changes.

The primary changes to the Project are that Sprint will no longer be adding antennas, but instead will simply be replacing existing antennas. Today, Sprint operates a total of 3 antennas at this site. Sprint's redesign includes the replacement of its existing 3 antennas, with 3 different types of antennas that will enable the Network Vision upgrade. As with the prior version of the Project, Sprint will ultimately replace 3 existing equipment cabinets located on its equipment pad at the base of the tower with 2 new equipment cabinets. As before, there will be “testing period” during which the existing 3 equipment cabinets and the 2 new cabinets will be in place at the same time. After the “testing period,” the 3 existing equipment cabinets will be removed leaving only the 2 new equipment cabinets in place to operate Sprint's facilities. No changes are planned to the existing equipment compound size or the existing screening fence.

Subsequent to the Sprint's 2011 application, a new federal law was passed on February 22, 2012, (called Section 6409 of the Middle Class Tax Relief and Job Creation Act of 2012, or "TRA"), which requires all local governments to approve co-location projects so long as such projects do not “substantially change the physical dimensions of the tower” (so-called "substantial change" rule). The FCC issued a Public Notice on January 25, 2013, entitled *Wireless Telecommunications Bureau Offers Guidance on Interpretation of Section 6409(a) of the Middle Class Tax Relief and Job Creation Act of 2012*, which provides a full copy of Section 6409 in the Appendix, and sets forth the FCC's interpretation of the "substantial change" rule. A copy of the FCC's January 25, 2013, Public Notice is included with this Revised Site Plan Application.

As you will see, the FCC adopted the same criteria set forth in the *Nationwide Programmatic Agreement for the Collocation of Wireless Antennas* (codified at 47 C.F.R. Part 1, App.B) for determining when a co-location is a "substantial change." See FCC Public Notice, p. 2. It is clear that the Project is not a "substantial change," and as such, the Revised Site Plan Application must be approved administratively. *Id.* at p.3. Notwithstanding the FCC's directive that such projects be approved administratively, we understand that under Section 19.33.055.C of the Prairie Village Zoning Regulations, the antenna replacements in this case, may be added through an application for a revised site plan and will only require submission to and must be approved by the City Planning Commission.

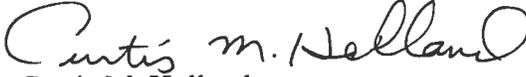
Ron Williamson
March 1, 2013
Page 3

Accordingly, in connection with this new Revised Site Plan Application, please find the following:

1. Completed application and related filing fees.
2. 14 copies (11" x 14") of the Site Plans.
3. FCC Public Notice entitled *Wireless Telecommunications Bureau Offers Guidance on Interpretation of Section 6409(a) of the Middle Class Tax Relief and Job Creation Act of 2012*, dated January 25, 2013.

Please let me know if you have any additional questions or need any additional information.

Sincerely,


Curtis M. Holland

Attachments

cc: Ed Mickells, Site Acquisition Manager, Ericsson - Contractor for Sprint
Joe O'Connor, Md 7, Project Manager

030090 117071



PUBLIC NOTICE

Federal Communications Commission
445 12th St., S.W.
Washington, D.C. 20554

News Media Information 202 / 418-0500
Internet: <http://www.fcc.gov>
TTY: 1-888-835-5322

WIRELESS TELECOMMUNICATIONS BUREAU OFFERS GUIDANCE ON INTERPRETATION OF SECTION 6409(a) OF THE MIDDLE CLASS TAX RELIEF AND JOB CREATION ACT OF 2012

DA 12-2047
January 25, 2013

On February 22, 2012, the Middle Class Tax Relief and Job Creation Act of 2012 (Tax Act)¹ became law. Section 6409(a) of the Tax Act provides that a state or local government “may not deny, and shall approve” any request for collocation, removal, or replacement of transmission equipment on an existing wireless tower or base station, provided this action does not substantially change the physical dimensions of the tower or base station.² The full text of Section 6409(a) is reproduced in the Appendix to this Public Notice.

To date, the Commission has not received any formal petition to interpret or apply the provisions of Section 6409(a). We also are unaware of any judicial precedent interpreting or applying its terms. The Wireless Telecommunications Bureau has, however, received informal inquiries from service providers, facilities owners, and state and local governments seeking guidance as to how Section 6409(a) should be applied. In order to assist interested parties, this Public Notice summarizes the Bureau’s understanding of Section 6409(a) in response to several of the most frequently asked questions.³

What does it mean to “substantially change the physical dimensions” of a tower or base station?

Section 6409(a) does not define what constitutes a “substantial[] change” in the dimensions of a tower or base station. In a similar context, under the *Nationwide Collocation Agreement* with the Advisory Council on Historic Preservation and the National Conference of State Historic Preservation Officers, the Commission has applied a four-prong test to determine whether a collocation will effect a “substantial increase in the size of [a] tower.”⁴ A proposed collocation that does not involve a substantial increase in

¹ Middle Class Tax Relief and Job Creation Act of 2012, Pub. L. 112-96, H.R. 3630, 126 Stat. 156 (enacted Feb. 22, 2012) (Tax Act).

² *Id.*, § 6409(a).

³ Although we offer this interpretive guidance to assist parties in understanding their obligations under Section 6409(a), *see, e.g., Truckers United for Safety v. Federal Highway Administration*, 139 F.3d 934 (D.C.Cir. 1998), the Commission remains free to exercise its discretion to interpret Section 6409(a) either by exercising its rulemaking authority or through adjudication. With two exceptions not relevant here, the Tax Act expressly grants the Commission authority to “implement and enforce” this and other provisions of Title VI of that Act “as if this title is a part of the Communications Act of 1934 (47 U.S.C. 151 et seq.)” Tax Act § 6003.

⁴ 47 C.F.R. Part 1, App. B, *Nationwide Programmatic Agreement for the Collocation of Wireless Antennas*, § 1.C (*Nationwide Collocation Agreement*).

size is ordinarily excluded from the Commission's required historic preservation review under Section 106 of the National Historic Preservation Act (NHPA).⁵ The Commission later adopted the same definition in the *2009 Declaratory Ruling* to determine whether an application will be treated as a collocation when applying Section 332(c)(7) of the Communications Act of 1934.⁶ The Commission has also applied a similar definition to determine whether a modification of an existing registered tower requires public notice for purposes of environmental review.⁷

Under Section I.C of the *Nationwide Collocation Agreement*, a "substantial increase in the size of the tower" occurs if:

- 1) [t]he mounting of the proposed antenna on the tower would increase the existing height of the tower by more than 10%, or by the height of one additional antenna array with separation from the nearest existing antenna not to exceed twenty feet, whichever is greater, except that the mounting of the proposed antenna may exceed the size limits set forth in this paragraph if necessary to avoid interference with existing antennas; or
- 2) [t]he mounting of the proposed antenna would involve the installation of more than the standard number of new equipment cabinets for the technology involved, not to exceed four, or more than one new equipment shelter; or
- 3) [t]he mounting of the proposed antenna would involve adding an appurtenance to the body of the tower that would protrude from the edge of the tower more than twenty feet, or more than the width of the tower structure at the level of the appurtenance, whichever is greater, except that the mounting of the proposed antenna may exceed the size limits set forth in this paragraph if necessary to shelter the antenna from inclement weather or to connect the antenna to the tower via cable; or
- 4) [t]he mounting of the proposed antenna would involve excavation outside the current tower site, defined as the current boundaries of the leased or owned property surrounding the tower and any access or utility easements currently related to the site.

Although Congress did not adopt the Commission's terminology of "substantial increase in size" in Section 6409(a), we believe that the policy reasons for excluding from Section 6409(a) collocations that substantially change the physical dimensions of a structure are closely analogous to those that animated the Commission in the *Nationwide Collocation Agreement* and subsequent proceedings. In light of the Commission's prior findings, the Bureau believes it is appropriate to look to the existing definition of "substantial increase in size" to determine whether the collocation, removal, or replacement of equipment

⁵ See 16 U.S.C. § 470f, *see also* 47 C.F.R. § 1.1307(a)(4) (requiring applicants to determine whether proposed facilities may affect properties that are listed, or are eligible for listing, in the National Register of Historic Places).

⁶ See Petition for Declaratory Ruling to Clarify Provisions of Section 332(c)(7)(B) to Ensure Timely Siting Review and to Preempt Under Section 253 State and Local Ordinances that Classify All Wireless Siting Proposals as Requiring a Variance, WT Docket No. 08-165, *Declaratory Ruling*, 24 FCC Rcd. 13994, 14012, para. 46 & n.146 (2009) (*2009 Declaratory Ruling*), *recon. denied*, 25 FCC Rcd. 11157 (2010), *pet. for review denied sub nom. City of Arlington, Texas v. FCC*, 668 F.3d 229 (5th Cir.), *cert. granted*, 113 S.Ct. 524 (2012); 47 U.S.C. § 332(c)(7).

⁷ See 47 C.F.R. § 17.4(c)(1)(B); National Environmental Policy Act Compliance for Proposed Tower Registrations, WT Docket No. 08-61, *Order on Remand*, 26 FCC Rcd. 16700, 16720-21, para. 53 (2011).

on a wireless tower or base station substantially changes the physical dimensions of the underlying structure within the meaning of Section 6409(a).

What is a “wireless tower or base station”?

A “tower” is defined in the *Nationwide Collocation Agreement* as “any structure built for the sole or primary purpose of supporting FCC-licensed antennas and their associated facilities.”⁸ The Commission has described a “base station” as consisting of “radio transceivers, antennas, coaxial cable, a regular and backup power supply, and other associated electronics.”⁹ Section 6409(a) applies to the collocation, removal, or replacement of equipment on a wireless tower or base station. In this context, we believe it is reasonable to interpret a “base station” to include a structure that currently supports or houses an antenna, transceiver, or other associated equipment that constitutes part of a base station.¹⁰ Moreover, given the absence of any limiting statutory language, we believe a “base station” encompasses such equipment in any technological configuration, including distributed antenna systems and small cells.

Section 6409(a) by its terms applies to any “wireless” tower or base station. By contrast, the scope of Section 332(c)(7) extends only to facilities used for “personal wireless services” as defined in that section.¹¹ Given Congress’s decision not to use the pre-existing definition from another statutory provision relating to wireless siting, we believe the scope of a “wireless” tower or base station under Section 6409(a) is not intended to be limited to facilities that support “personal wireless services” under Section 332(c)(7).

May a state or local government require an application for an action covered under Section 6409(a)?

Section 6409(a) states that a state or local government “may not deny, and shall approve, any eligible facilities request....” It does not say that a state or local government may not require an application to be filed. The provision that a state or local government must approve and may not deny a request to take a covered action, in the Bureau’s view, implies that the relevant government entity may require the filing of an application for administrative approval.

⁸ See *Nationwide Collocation Agreement*, § I.B.

⁹ See Implementation of Section 6002(b) of the Omnibus Budget Reconciliation Act of 1993, WT Docket No. 10-133, *Annual Report and Analysis of Competitive Market Conditions With Respect to Mobile Wireless, Including Commercial Mobile Services, Fifteenth Report*, 26 FCC Rcd. 9664, 9481, para. 308 (2011).

¹⁰ See also 47 C.F.R. Part 1, App. C, *Nationwide Programmatic Agreement Regarding the Section 106 National Historic Preservation Act Review Process*, § II.A.14 (defining “tower” to include “the on-site fencing, equipment, switches, wiring, cabling, power sources, shelters, or cabinets associated with that Tower but not installed as part of an Antenna as defined herein”).

¹¹ 47 U.S.C. § 332(c)(7)(A). “Personal wireless services” is in turn defined to mean “commercial mobile services, unlicensed wireless services, and common carrier wireless exchange access services.” *Id.* § 332(c)(7)(C)(1).

Is there a time limit within which an application must be approved?

Section 6409(a) does not specify any period of time for approving an application. However, the statute clearly contemplates an administrative process that invariably ends in approval of a covered application. We believe the time period for processing these applications should be commensurate with the nature of the review.

In the *2009 Declaratory Ruling*, the Commission found that 90 days is a presumptively reasonable period of time to process collocation applications.¹² In light of the requirement of Section 6409(a) that the reviewing authority “may not deny, and shall approve” a covered request, we believe that 90 days should be the maximum presumptively reasonable period of time for reviewing such applications, whether for “personal wireless services” or other wireless facilities.

Wireless Telecommunications Bureau contact: Maria Kirby at (202) 418-1476 or by email: Maria.Kirby@fcc.gov.

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¹² See *2009 Declaratory Ruling*, 24 FCC Rcd. at 14012-13, paras. 46-47.

APPENDIX

SEC. 6409. WIRELESS FACILITIES DEPLOYMENT.

(a) FACILITY MODIFICATIONS.

(1) **IN GENERAL.** Notwithstanding section 704 of the Telecommunications Act of 1996 (Public Law 104–104) or any other provision of law, a State or local government may not deny, and shall approve, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station.

(2) **ELIGIBLE FACILITIES REQUEST.** For purposes of this subsection, the term “eligible facilities request” means any request for modification of an existing wireless tower or base station that involves —

- (A) collocation of new transmission equipment;
- (B) removal of transmission equipment; or
- (C) replacement of transmission equipment.

(3) **APPLICABILITY OF ENVIRONMENTAL LAWS.** Nothing in paragraph (1) shall be construed to relieve the Commission from the requirements of the National Historic Preservation Act or the National Environmental Policy Act of 1969.

COMPLY WITH THESE STANDARDS UNLESS OTHERWISE REQUIRED BY APPLICABLE CODES

1.0 CONSTRUCTION TO CONFORM TO SPRINT NEXTEL INTEGRATED CONSTRUCTION STANDARDS

1.1 PURPOSE AND INTENT

A. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND SUPPLEMENTARY. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE DONE THE SAME AS IF SHOWN, INDICATED OR SPECIFIED IN BOTH. SHOULD THERE BE ANY DISCREPANCIES BETWEEN REQUIREMENTS SHOWN IN BOTH, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.

B. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS STIPULATED IN THE CONTRACT.

C. THE PURPOSE OF THE SPRINT WIRELESS CONSTRUCTION SPECIFICATIONS IS TO INTERPRET THE INTENT OF THE DRAWINGS AND TO DESIGNATE THE METHOD OF THE PROCEDURE, TYPE AND QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK.

1.2 CONFLICTS

A. VERIFY ALL MEASUREMENTS AT THE SITE BEFORE ORDERING MATERIAL OR DOING ANY WORK. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSIONS OR DIMENSIONS SHOWN ON PLANS. SUBMIT NOTICE OF ANY DISCREPANCY IN DIMENSIONS OR OTHERWISE TO SPRINT WIRELESS FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.

B. NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST OR OF DIFFICULTIES OF CONDITIONS THAT MAY BE ENCOUNTERED, OR OF ANY OTHER RELEVANT MATTER CONCERNING THE EXECUTION OF THE WORK WILL BE ACCEPTED AS AN EXCUSE FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL EVERY DETAIL OF ALL THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS GOVERNING THE WORK.

1.3 CLEANING

KEEP THE SITE FREE FROM ACCUMULATION OF WASTE AND RUBBISH CAUSED BY EMPLOYEES AT THE COMPLETION OF THE WORK. REMOVE ALL WASTE AND NON-CONSTRUCTION MATERIAL INCLUDING ALL CONTRACTOR TOOLS, SCAFFOLDING AND SURPLUS MATERIAL AND LEAVE SITE CLEAN AND READY FOR USE.

1.4 CODES

CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL LAWS, REGULATIONS AND RULES PROMULGATED BY FEDERAL STATE AND LOCAL AUTHORITIES WITH JURISDICTION OVER THE SITE. THIS RESPONSIBILITY IS IN EFFECT REGARDLESS OF WHETHER THE LAW, ORDINANCE, REGULATION OR RULE IS MENTIONED IN THESE SPECIFICATIONS.

1.5 LICENSING

HAVE AND MAINTAIN A VALID CONTRACTORS LICENSE FOR THE LOCATION IN WHICH THE WORK IS TO BE PERFORMED. FOR JURISDICTIONS THAT LICENSE INDIVIDUAL TRADES, THE TRADESMAN OR SUBCONTRACTORS PERFORMING THOSE TRADES SHALL BE LICENSED. RESEARCH AND COMPLY WITH LICENSING LAWS, PAY LICENSE FEES, AND SELECT AND INFORM SUBCONTRACTORS REGARDING THESE LAWS.

1.6 OSHA

FOLLOW ALL APPLICABLE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIONS, AND STATE LAWS BASED IN THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT. THESE REGULATIONS INCLUDE BUT ARE NOT LIMITED TO REGULATIONS DEALING WITH TOWER CONSTRUCTION AND SAFETY, EXCAVATIONS AND TRENCHING, AND WORK IN CONFINED SPACES. ENSURE THAT EMPLOYEES AND SUBCONTRACTORS WEAR HARD HATS AT ALL TIMES DURING CONSTRUCTION.

1.7 PHOTOS

PROVIDE PHOTOGRAPHIC EVIDENCE OF ALL FOUNDATION INSTALLATION, GROUNDING AND TRENCHING AFTER PLACEMENT OF UTILITIES PRIOR TO BACKFILL.

1.8 BUILDING PERMITS

SPRINT WIRELESS WILL SUBMIT CONSTRUCTION DOCUMENTS TO THE JURISDICTIONAL AUTHORITY FOR PLAN CHECK AND REVIEW. CONTRACTOR WILL SUBMIT LICENSING AND WORKMAN'S COMPENSATION INFORMATION TO THE JURISDICTION AS REQUIRED TO OBTAIN THE BUILDING PERMIT. CONTRACTOR SHALL COORDINATE AND SCHEDULE REQUIRED INSPECTIONS AND POST REQUIRED PERMITS AT THE JOB SITE. COMPLY WITH SPECIFIC PROJECT-RELATED REQUESTS AND SUGGESTIONS MADE BY BUILDING INSPECTOR AND INFORM CONSTRUCTION MANAGER OF ANY SUCH WORK THAT MAY BE BEYOND THE SCOPE OF THE CONTRACT OR DEVIATE FROM THE CONSTRUCTION DOCUMENTS. SPRINT WIRELESS WILL REIMBURSE THE CONTRACTOR FOR FEES FOR PLAN REVIEW, BUILDING PERMIT, CONNECTIONS AND INSPECTION.

1.9 ZONING REGULATIONS AND CONDITIONAL USE PERMITS

SPRINT WIRELESS WILL SUBMIT FOR AND OBTAIN ALL ZONING AND CONDITIONAL USE PERMITS. SOME USE PERMITS MAY HAVE SPECIFIC REQUIREMENTS RELATED TO THE CONSTRUCTION SUCH AS NOISE REGULATIONS, HOURS OF WORK, ACCESS LIMITATIONS, ETC. THE CONSTRUCTION MANAGER WILL INFORM THE CONTRACTOR OF THESE REQUIREMENTS AT THE PRE-BID MEETING OR AS SHOWN IN CONSTRUCTION DOCUMENTS.

1.10 FM PERMIT AND TOWER LIGHTING

REFER TO CONSTRUCTION DOCUMENTS AND CONSTRUCTION MANAGER FOR FAA AND STATE LIGHTING REQUIREMENTS. CONTRACTOR SHALL PROVIDE TEMPORARY FM APPROVED LIGHTING UNTIL PERMANENT LIGHTING IS OPERATIONAL.

1.11 TOWER SECURITY

TOWER MUST BE FENCED, TEMPORARILY OR PERMANENTLY WITHIN 24 HOURS OF ERECTION. DO NOT ALLOW THE GATE ACCESSING THE TOWER AREA TO REMAIN OPEN OR UNATTENDED AT ANY TIME FOR ANY REASON. KEEP THE GATE CLOSED AND LOCKED WHEN NOT IN USE.

1.12 SITE CONTROL

A. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR CONTAINMENT OF SEDIMENT AND CONTROL OF EROSION AT THE SITE. ANY DAMAGE TO ADJACENT OR DOWNSTREAM PROPERTIES WILL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO SPRINT WIRELESS.

B. THE CONTRACTOR IS TO MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAND OR POND. ANY DAMAGE TO STRUCTURES OR WORK ON THE SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE PROVISIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANY COST ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE AT THE CONTRACTOR'S EXPENSE.

C. ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OF OFF-SITE OR AS DIRECTED BY THE CONSTRUCTION MANAGER AND IN ACCORDANCE WITH JURISDICTIONAL AUTHORITIES.

2.0 SITE PREPARATION

2.1 SCOPE OF WORK INCLUDES:

A. PROTECTION OF EXISTING TREES, VEGETATION AND LANDSCAPING MATERIALS WHICH MIGHT BE DAMAGED BY CONSTRUCTION ACTIVITIES.

B. TRIMMING OF EXISTING TREES AND VEGETATION AS REQUIRED FOR PROTECTION DURING CONSTRUCTION ACTIVITIES.

C. CLEARING AND GRUBBING OF STUMPS, VEGETATION, DEBRIS, RUBBISH, DESIGNATED TREES, AND SITE IMPROVEMENTS.

D. TOPSOIL STRIPPING AND STOCKPILING.

E. TEMPORARY EROSION CONTROL, SILTATION CONTROL AND DUST CONTROL CONFORMING TO LOCAL REQUIREMENTS AS APPLICABLE.

F. TEMPORARY PROTECTION OF ADJACENT PROPERTY, STRUCTURES, BENCHMARKS AND MONUMENTS.

G. PROTECTION AND TEMPORARY RELOCATION, STORAGE AND RE-INSTALLATION OF DUSTING FENCING AND OTHER SITE IMPROVEMENTS SCHEDULED FOR REUSE.

H. REMOVAL AND LEGAL DISPOSAL OF CLEARED MATERIALS.

2.2 PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS NOTED IN CONSTRUCTION DOCUMENTS.)

A. MATERIALS USED FOR TREE PROTECTION, EROSION CONTROL, SILTATION CONTROL AND DUST CONTROL AS SUITABLE FOR SPECIFIC SITE CONDITIONS.

3.0 EARTH WORK

3.1 SCOPE OF WORK INCLUDES:

A. EXCAVATION, TRENCHING, FILLING, COMPACTION, AND GRADING FOR STRUCTURES, SITE IMPROVEMENTS AND UTILITIES.

B. MATERIALS FOR SUB-BASE DRAINAGE FILL, FILL, BACKFILL AND GRAVEL FOR SLABS, PAVEMENTS AND IMPROVEMENTS.

C. ROCK EXCAVATION WITHOUT BLASTING.

D. SUPPLY OF ADDITIONAL MATERIALS FROM OFFSITE AS REQUIRED.

E. REMOVAL AND LEGAL DISPOSAL OF EXCAVATED MATERIALS AS REQUIRED

3.2 QUALITY ASSURANCE

A. COMPACTION:

1. UNDER STRUCTURES, BUILDING SLABS, PAVEMENTS AND WALKWAYS WILL OBTAIN A 95 PERCENT COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 OR WITHIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE.

B. GRADING TOLERANCES OUTSIDE BUILDING CODES:

1. LAWNS, UNPAVED AREAS AND WALKS PLUS OR MINUS 1 INCH.

2. UNDER PAVEMENTS PLUS OR MINUS 1/2 INCH.

C. GRADING TOLERANCE FOR FILL UNDER ALL CONCRETE APPLICATIONS: PLUS OR MINUS 1/2 INCH MEASURED WITH 10 FOOT STRAIGHTEDGE.

3.3 PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS NOTED IN CONSTRUCTION DOCUMENTS.)

A. SUBBASE MATERIAL GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE OR SLAG, AND NATURAL SAND.

B. WASHED MATERIAL EVENLY GRADED MIXTURE OF CRUSHED STONE OR GRAVEL WITH 95 PERCENT PASSING A 1 1/2 INCH SIEVE.

C. GRADING MATERIAL WILL CONSIST OF: SATISFACTORY NATIVE OR IMPORTED SOIL MATERIALS FREE OF CLAY, ROCK OR GRAVEL NOT LARGER THAN 2 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS AND OTHER UNSUITABLE MATERIALS WILL NOT BE ALLOWED FOR USE. IMPORTED MATERIALS SHALL HAVE A CLAY CONTENT NO MORE THAN 5 PERCENT.

D. BACKFILL MATERIALS WILL CONSIST OF: SATISFACTORY NON-COHESIVE NATIVE OR IMPORTED SOIL MATERIALS FREE OF CLAY, ROCK OR GRAVEL NOT LARGER THAN 4 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, AND OTHER UNSUITABLE MATERIALS. IMPORTED MATERIAL SHALL HAVE A CLAY CONTENT OF NO MORE THAN 5 PERCENT.

E. GRAVEL MATERIAL EVENLY GRADED MIXTURE OF CRUSHED STONE OR GRAVEL WITH 95 PERCENT PASSING A 1 1/2 INCH SIEVE.

F. GEOTEXTILE FABRIC: AS PER CONSTRUCTION DOCUMENTS.

3.4 CLEARING AND GRUBBING REMOVE ALL VEGETATION AND MATERIALS AS REQUIRED. REMOVE STUMPS COMPLETELY UNDER FOUNDATIONS AND ROADWAY. DISPOSE OF CLEARING AND GRUBBING OFF-SITE, OR IN AN ON-SITE LOCATION APPROVED BY CONSTRUCTION MANAGER.

3.5 STRIPPING

STRIP NOT LESS THAN 3 INCHES OF SOD AND TOPSOIL FROM AREAS THAT WILL UNDERLAY GRAVEL PAVEMENT, NEW STRUCTURES OR NEW EMBANKMENTS. STOCKPILE STRIPPING ON-SITE FOR RE-USE IN FINAL LANDSCAPING.

3.6 COMMON EXCAVATION

1. EXCAVATE TO DEPTH, LINES AND GRADES SHOWN ON THE PLANS OR AS OTHERWISE SPECIFIED.

2. TEMPORARILY STOCKPILE ON-SITE EXCAVATION AT AN APPROVED LOCATION WITHIN THE WORK AREA UNTIL SITE GRADING IS COMPLETE STOCKPILE SHALL NOT EXCEED 15 FEET IN HEIGHT.

3. LEGALLY DISPOSE OF EXCESS COMMON EXCAVATION OFF-SITE.

Sprint

6100 SPRINT PARKWAY
OVERLAND PARK, KS 66251



ERICSSON

11320 LACKLAND RD.
ST. LOUIS, MO 63146



Fullerton Engineering Consultants

9600 W. BRYN MAWR AVE.
SUITE 200
ROSEMONT, ILLINOIS 60018
TEL: 847-292-0200
FAX: 847-292-0206
COA# E-1939
www.FullertonEngineering.com

DRAWN BY: AA	CHECKED BY: RI	APPROVED BY: MB
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NO	DESCRIPTION	BY	DATE
	REV. ZONING	AA	10/7/11
	90% REVIEW	AA	11/4/11
	FINAL	AA	11/8/11
▲	CONSTRUCTION REV.-	LA	01/16/13

DATE SIGNED: 01/16/13

SITE NAME PRAIRIE VILLAGE FIRE STATION
SITE NO. KC03XC183
SITE ADDRESS 9011 ROE AVENUE PRAIRIE VILLAGE, KS 66207
SHEET NAME GENERAL NOTES
SHEET NUMBER T2

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3.7 EMBANKMENT

- A. CONSTRUCT EMBANKMENT TO THE LINES AND GRADE SHOWN ON THE DRAWINGS.
- B. CONSTRUCT EMBANKMENT FROM ON-SITE EXCAVATION MATERIALS WHEN SUITABLE USE IMPORTED BACKFILL ONLY AFTER AVAILABLE ON-SITE EXCAVATION MATERIALS HAVE BEEN USED.
- C. CONSTRUCT IN LIFTS OF NOT MORE THAN 12 INCHES IN LOOSE DEPTH. THE FULL WIDTH OF THE CROSS SECTION SHALL BE BROUGHT UP UNIFORMLY.
- D. MATERIAL SHALL NOT BE PLACED IN LAYERS AND SHALL BE NEAR OPTIMUM MOISTURE CONTENT BEFORE ROLLING TO OBTAIN THE PRESCRIBED COMPACTION. WETTING OR DRYING OF THE MATERIAL AND MANIPULATION TO SECURE A UNIFORM MOISTURE CONTENT THROUGHOUT THE LAYER MAY BE REQUIRED. SUCH OPERATIONS SHALL BE INCLUDED IN THE APPROPRIATE BID ITEM. SHOULD THE MATERIAL BE TOO WET TO PERMIT PROPER COMPACTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO UTILIZE MATERIAL WITH AN ACCEPTABLE MOISTURE CONTENT.
- E. DO NOT PLACE FROZEN MATERIAL IN THE EMBANKMENT AND DO NOT PLACE EMBANKMENT MATERIAL UPON FROZEN MATERIAL.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF EMBANKMENTS AND THE REPLACEMENT OF ANY PORTION WHICH HAS BECOME DISPLACED DUE TO THE CONTRACTOR'S OPERATIONS.
- G. START LAYERS IN THE DEEPEST PORTION OF THE FILL, AND AS PLACEMENT PROGRESSES, CONSTRUCT LAYERS APPROXIMATELY PARALLEL TO THE FINISHED GRADE LINE.
- H. ROUTE EQUIPMENT, BOTH LOADED AND EMPTY, OVER THE FULL WIDTH OF EMBANKMENT TO ENSURE UNIFORMITY OF MATERIAL PLACEMENT.
- I. COMPACT EMBANKMENT UNDERLYING NEW GRAVEL PAVING FLOOR SLABS AND STRUCTURES TO A 95 PERCENT COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM 0-1557 OR WITHIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACT NON-STRUCTURAL AREA EMBANKMENTS TO A MINIMUM OF 90 % OF ASTM 0-1557.

3.8 SITE GRADING

- A. USING ON-SITE EXCAVATION MATERIALS SHAPE, TRIM, FINISH AND COMPACT SURFACE AREAS TO CONFORM TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE DRAWINGS OR AS DESIGNATED BY THE CONSTRUCTION MANAGER.
- B. GRADE SURFACES TO DRAIN AND ELIMINATE ANY PONDING OR EROSION.
- C. ELIMINATE WHEEL RUTS BY REGRADING.
- D. COMPACT AREAS UNDERLYING NEW GRAVEL PAVING, FLOOR SLABS AND STRUCTURES TO A 95 PERCENT COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1551 OR WITHIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
- E. CONSTRUCT FINISHED SURFACE OF SITE GRADING AREAS WITHIN ONE INCH FROM SPECIFIED GRADE

3.9 SUBGRADE PREPARATION

- A. SHAPE TOP OF SUBGRADE TO THE LINES AND GRADES SHOWN ON THE DRAWINGS.
- B. MAINTAIN TOP OF SUBGRADE TO A FREE-DRAINING CONDITION.
- C. DO NOT STOCKPILE MATERIALS ON TOP OF SUBGRADE UNLESS AUTHORIZED BY CONSTRUCTION MANAGER.
- D. COMPACT THE TOP 12 INCHES OF SUBGRADE TO A 95% COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM 0-1557 OR WITHIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
- E. CONSTRUCT TOP OF SUBGRADE WITHIN ONE INCH OF ESTABLISHED GRADE AND CROSS-SECTION.

3.10 GEOTEXTILE FABRIC

- A. LAY GEOTEXTILE FABRIC OVER COMPACTED SUBGRADE AS PER CONSTRUCTION DOCUMENTS IN THE COMPOUND AREA AND UNDER LENGTH OF ROAD (WHEN REQUIRED). LAP ALL JOINTS TO A MINIMUM OF 36 INCHES.

3.11 GRAVEL SURFACING

- A. CONSTRUCT GRAVEL SURFACING AREAS USING CRUSHED AGGREGATE BASE AND FINISH COURSES AS SPECIFIED BY CONSTRUCTION MANAGER OR CONSTRUCTION DOCUMENTS.
- B. SPREAD GRAVEL AND RAKE TO OBTAIN A UNIFORM SURFACE AREA.

4.0 TRENCHING

- CALL LOCAL UNDERGROUND UTILITY LOCATING SERVICE BEFORE ANY EXCAVATION OR TRENCHING.

4.1 MATERIALS

FILL MATERIAL SHALL BE OBTAINED, WHEN POSSIBLE FROM MATERIALS EXCAVATED FROM TRENCHES. ON-SITE STRUCTURAL FILL SAND OR SLURRY SHALL BE APPROVED BY THE CONSTRUCTION MANAGER AND SHALL CONFORM TO LOCAL GOVERNING JURISDICTIONS AND UTILITY COMPANY REQUIREMENTS. THE FILL MATERIAL SHALL CONTAIN NO ORGANIC MATERIAL OR ROCKS, NOR SHALL CONTAIN OBJECTIONABLE MATERIALS AND/OR MATERIALS DESIGNATED AS HAZARDOUS OR INDUSTRIAL BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE FILL MATERIAL SHALL CONTAIN FINES SUFFICIENT TO FILL ALL VOIDS IN THE MATERIAL COMPACTION OF BACKFILL OR BORROW SOIL SHALL BE PLACED IN 12 INCH LOOSE LIFTS WHEN UTILIZING HEAVY COMPACTION EQUIPMENT OR 6 INCH LOOSE LIFTS WHEN UTILIZING HAND OPERATED TAMPERS.

4.2 PIPE DETECTION AND IDENTIFICATION

- A. UTILIZING WARNING TAPE: ALL ELECTRIC SERVICE TRENCHES SHALL BE MARKED WITH WARNING TAPE.

4.3 TRENCH EXCAVATION

- A. DIG TRENCH TO LINES AND GRADES SHOWN ON THE PLANS OR AS DIRECTED BY CONSTRUCTION MANAGER.
- B. TRENCH LENGTH SHALL BE SUFFICIENT TO ALLOW FOR SATISFACTORY CONSTRUCTION AND INSPECTION OF THE PROJECT WITHOUT ENDANGERING OTHER CONSTRUCTION WORK OR ADJACENT FACILITIES.
- C. DISPOSE OF EXCESS AND UNSUITABLE EXCAVATION MATERIAL PROPERLY, AS DIRECTED BY CONSTRUCTION MANAGER.
- D. USE HAND METHODS FOR EXCAVATION THAT CANNOT BE ACCOMPLISHED WITHOUT ENDANGERING EXISTING OR NEW STRUCTURES OR OTHER FACILITIES.

4.4 TRENCH PROTECTION

- A. PROVIDE MATERIALS, LABOR AND EQUIPMENT NECESSARY TO PROTECT TRENCHES AT ALL TIMES.
- B. SHEETING AND BRACING: MEET OR EXCEED OSHA REQUIREMENTS.

4.5 BACKFILLING

- A. NOTIFY THE CONSTRUCTION MANAGER AT LEAST 24 HOURS IN ADVANCE OF BACKFILLING.
- B. BACKFILL TRENCH WITH LIFTS UP TO 12 INCHES, LOOSE MEASURE.
- C. PROTECT CONDUIT FROM LATERAL MOVEMENT, DAMAGE FROM IMPACT OR UNBALANCED LOADING TO AVOID DISPLACEMENT OF CONDUIT AND/OR STRUCTURES. DO NOT FREE FALL BACKFILL INTO TRENCH UNTIL AT LEAST 12 INCHES OF COVER IS OVER THE CONDUIT.

4.6 COMPACTION

- A. COMPACT BACKFILL TO A 95 PERCENT COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM 0-1557 OR WITHIN PLUS OR MINUS 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
- B. IF REQUIRED COMPACTION DENSITY HAS NOT BEEN OBTAINED, REMOVE THE BACKFILL FROM THE TRENCH OR STRUCTURE, REPLACE WITH APPROVED BACKFILL AND RECOMPACT AS SPECIFIED.
- C. ANY SUBSEQUENT SETTLEMENT OF TRENCH OR STRUCTURE BACKFILL DURING MAINTENANCE PERIOD SHALL BE CONSIDERED THE RESULT OF IMPROPER COMPACTION AND SHALL BE PROMPTLY CORRECTED.

5.0 CHAIN LINK FENCES AND GATES

5.1 GENERAL

- A. PROVIDE CHAIN LINK FENCES AND GATES AS COMPLETE UNITS BY A SINGLE SUPPLY SOURCE INCLUDING NECESSARY ERECTION ACCESSORIES, FITTINGS AND FASTENERS.

5.2 PRODUCTS AND MATERIALS (AS APPROVED BY CONSTRUCTION MANAGER OR AS WITHIN CONSTRUCTION DOCUMENTS)

- A. COMPOUND FABRIC 84 INCHES HIGH AND OVER WITH 2-INCH MESH SHALL BE KNUCKLED AT ONE SELVAGE AND TWISTED AT THE OTHER.
- B. STEEL FABRIC:
 - COMPLY WITH CHAIN LINK FENCE MANUFACTURERS INSTITUTE (CLFMI) PRODUCT MANUAL. FURNISH ONE PIECE OF FABRIC WIDTHS. WIRE SIZE INCLUDES ZINC OR ALUMINUM COATING.
 - 1. SIZE: 2-INCH MESH 9 GAUGE (0.148-INCH DIAMETER) WIRE.
 - 2. GALVANIZED STEEL FINISH: ASTM A 392. CLASS 2. WITH A MINIMUM 2.0 OZ. ZINC PER SQ. FT. OF UNCOATED WIRE SURFACE.
- C. FRAMEWORK AND ACCESSORIES:
 - 1. GENERAL REQUIREMENTS: EXCEPT AS INDICATED OTHERWISE CONFORM TO THE CHAIN LINK FENCE MANUFACTURERS INSTITUTE (CLFMI) PRODUCT MANUAL INDUSTRIAL STEEL GUIDE FOR FENCE RAILS, POSTS, GATES AND ACCESSORIES INCLUDING TABLE II.
 - 2. STRENGTH REQUIREMENTS FOR POSTS AND RAILS CONFORMING TO ASTM F 669.
 - 3. TYPE 1 PIPE HOT-DIPPED GALVANIZED STEEL PIPE CONFORMING TO ASTM F 1083. PLANE ENDS, STANDARD WEIGHT (SCHEDULE 40) WITH NOT LESS THAN 18 OZ. ZINC PER SQ. FT. OF SURFACE AREA COATED.
 - 4. FILLINGS: COMPLY WITH ASTM F 526 MILL FINISHED ALUMINUM OR GALVANIZED IRON STEEL TO COMPLY WITH MANUFACTURER'S REQUIREMENTS.
 - 5. TOP RAIL MANUFACTURERS LONGEST LENGTHS, WITH EXPANSION TYPE COUPLINGS, APPROXIMATELY 6 INCHES LONG, FOR EACH JOINT. PROVIDE MEANS FOR ATTACHING TOP RAIL SECURELY TO EACH GATE CORNER, PULL AND END POST.
- D. GALVANIZED STEEL 1 1/4 INCH NPS (1.66 INCH OD) TYPE 1 OR II STEEL PIPE OR 1.625 INCH x 1.25 INCH ROLL-FORMED C SECTIONS WEIGHING 1.35 LBS. PER FT.
- E. SWING GATES:
 - COMPLY WITH ASTM F 9000. PROVIDE HARDWARE AND ACCESSORIES FOR EACH GATE. GALVANIZED PER ASTM A 153, AND IN ACCORDANCE WITH THE FOLLOWING:
 - 1. HINGES: NON LIFT-OFF TYPE. OFFSET TO PERMIT ISO DEG. GATE OPENING.
 - 2. LATCH: MTS MULTI-LOCKING DEVICE MT-C6477 OR APPROVED EQUAL.
 - 3. KEEPER: PROVIDE KEEPER FOR VEHICLE GATES, WHICH AUTOMATICALLY ENGAGES GATE LEAF AND HOLDS IT IN OPEN POSITION UNTIL MANUALLY RELEASED.

F. CONCRETE:

- PROVIDE CONCRETE CONSISTING OF PORTLAND CEMENT, ASTM C 150, AGGREGATES ASTM C 33, AND CLEAN WATER. MIX MATERIALS TO OBTAIN CONCRETE WITH A MINIMUM OF 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.

6.0 LANDSCAPING

- A. FURNISH, INSTALL AND MAINTAIN LANDSCAPE WORK AS SHOWN AND OR REQUIRED WITHIN THE CONSTRUCTION DOCUMENTS OR AS SPECIFIED IN THE SPRINT WIRELESS CONSTRUCTION SPECIFICATIONS.

7.0 CONCRETE FORMWORK

- A. FORMS: SMOOTH AND FREE OF SURFACE IRREGULARITIES. UTILIZE FORM RELEASE AGENTS.
- B. CHAMFER: EXPOSED EDGES OF ALL TOWER FOUNDATIONS SHALL RECEIVE A 3/4" BY 3/4" 45 DEGREE CHAMFER. OTHER EXPOSED EDGES SHALL RECEIVE A TOOLED RADIUS FINISH.
- C. UPON COMPLETION, REMOVE ALL FORMS, INCLUDING THOSE CONCEALED OR BURIED.
- D. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

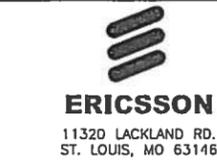
8.0 CONCRETE REINFORCEMENT

- REFER TO STRUCTURAL DRAWINGS FOR ALL REQUIREMENTS.

9.0 CAST IN PLACE CONCRETE

FOR STRUCTURAL CONCRETE (FOOTINGS, FOUNDATIONS, ETC.), REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS. FOR ANY MISCELLANEOUS CONCRETE, REFER TO SPECIFICATION BOOK OR OBTAIN REQUIREMENTS FROM CONSTRUCTION MANAGER.

- A. ALL CONCRETE SHALL COMPLY WITH ASTM C94 UNLESS NOTED OTHERWISE.
- B. MINIMUM COMPRESSIVE STRENGTH (F'C) AT 28 DAYS: 4000 PSI FOR TOWER FOUNDATION AND 3500 PSI FOR ALL OTHER CONCRETE UNLESS SPECIFIED IN CONSTRUCTION DOCUMENTS.
- C. AIR ENTRAINMENT: PROVIDE 4 TO 8% AIR ENTRAINMENT FOR ALL CONCRETE SUBJECT TO FREEZE-THAW CYCLE.
- D. CONCRETE TESTING: ALL FOUNDATION CONCRETE SHALL BE TESTED BY AN INDEPENDENT TESTING AGENCY APPROVED BY THE CONSTRUCTION MANAGER. ALL STRUCTURAL TOWER FOUNDATION CONCRETE MUST BE TESTED. EQUIPMENT OR BUILDING PADS ARE NOT REQUIRED TO BE TESTED, UNLESS OTHERWISE NOTED BY CONSTRUCTION MANAGER. PROVIDE A MINIMUM OF 5 CYLINDERS (2-7-DAY, 2-28-DAY, 1-SPARE) FOR EACH DAYS POUR, OR FOR EVERY 50 YARDS PLACED, WHICHEVER IS GREATER. ADDITIONAL TESTS OR CYLINDERS MAY BE REQUIRED BY CONSTRUCTION MANAGER. A SLUMP, AIR, AND TEMPERATURE TEST SHALL BE PERFORMED FOR EACH SET OF CYLINDERS CAST. PREFERABLY, TESTS SHALL BE PERFORMED AT THE LOCATION OF ANCHOR BOLTS (PIERS - FOR MAT & PIERS CAISSONS - TOP 1/3 OF CAISSON). TESTS SHALL ALSO BE REQUIRED FOR CONCRETE CONSIDERED BEING LESS THAN DESIRABLE BY CONCRETE SPECIFICATION STANDARDS. THE TESTING AGENCY HAS THE AUTHORITY TO NOT ACCEPT CONCRETE MEETING THESE SPECIFICATIONS FOR SPRINT WIRELESS. THE CONTRACTOR IS RESPONSIBLE FOR ANY CONCRETE NOT MEETING THESE STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE TESTING AGENCY A MINIMUM OF 24 HOURS IN ADVANCE OF EACH FOUNDATION POUR. TEST REPORTS SHALL BE FORWARDED TO SPRINT CONSTRUCTION MANAGER WITHIN 24 HOURS OF LAB TEST.
- E. VIBRATE ALL CONCRETE USING SUFFICIENT HIGH FREQUENCY LOW AMPLITUDE MECHANICAL IMMERSION TYPE VIBRATORS. INSERT VIBRATORS IN CONCRETE AT REGULAR INTERVALS AND OVER ENTIRE SURFACE TO SOLIDLY FILL CONCRETE. MECHANICAL IMMERSION TYPE VIBRATORS. INSERT VIBRATORS IN CONCRETE AT REGULAR INTERVALS AND OVER ENTIRE SURFACE TO SOLIDLY FILL CONCRETE AROUND AND BETWEEN REINFORCEMENT BARS AND INTO CORNERS AND IRREGULARITIES. VIBRATE THOROUGHLY THROUGH EACH LIFT TO THE PREVIOUS LIFE REVERBERATION AS LATE AS THE RUNNING VIBRATOR WILL SINK THROUGH UPPER LAYERS OF ITS WEIGHT IS RECOMMENDED. DISCONTINUE VIBRATION WHEN RISING ENTRAPPED AIR BUBBLES STOP BREAKING THE LEVELING SURFACE. DO NOT OVER VIBRATE AS THIS MAY CAUSE SEGREGATION.
- F. FINISHING EXPOSED CONCRETE SURFACES:
 - 1. THESE PROVISIONS APPLY TO ALL EXPOSED AND ALL FORMED CONCRETE, EXTERIOR OR INTERIOR, UNLESS SPECIFICALLY DETAILED OTHERWISE, PERFORM PROCEDURES PRIOR TO APPLICATION OF ANY CURING COMPOUNDS.
 - 2. ALL SURFACES: THOROUGHLY CLEAN OFF ALL STAINS, SPATTER AND LOOSE MATERIAL.
 - 3. FINS, RIDGES AND HIGH SPOTS: HONE SMOOTH WITH ABRASIVE POWER GRINDERS WHILE CONCRETE IS GREEN, IMMEDIATELY AFTER FORM REMOVAL.
 - 4. FORM THE HOLES AND DEEP DEPRESSIONS: FLUSH THOROUGHLY WITH CLEAN WATER AND TAMP TO OVERFULL WITH DRYPACK. CURE 10 DAYS AND HONE FLUSH AND SMOOTH.
 - 5. ROCK POCKETS, HONEYCOMB, SAND STREAKS, DEBRIS AND VOIDS: CUT OUT AT LEAST 1 INCH DEEP WITH SIDES PERPENDICULAR TO SURFACE. FLUSH THOROUGHLY WITH CLEAN WATER, COAT SURFACE WITH NEAT CEMENT PASTE AND TAMP TO OVERFULL WITH DRYPACK IN AT LEAST TWO LAYERS. CURE FOR 10 DAYS AND HONE FLUSHED AND SMOOTH.
- G. CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF ALL ELECTRICAL OPENINGS AND EQUIPMENT/BUILDING PADS WITH THE ELECTRICAL DRAWINGS AND SHOP DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OPENINGS AND SLEEVES FOR PROPER DISTRIBUTION FOR ALL UTILITIES. CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES NOT SHOWN ON STRUCTURAL DRAWINGS. PRIOR TO POURING CONCRETE THE INDEPENDENT TESTING AGENCY SHALL INSPECT ALL FOUNDATION STEEL AND FOUNDATION SUBGRADE



DRAWN BY:	CHECKED BY:	APPROVED BY:
AA	RI	MB

NO	DESCRIPTION	BY	DATE
	REV. ZONING	AA	10/7/11
	90% REVIEW	AA	11/4/11
	FINAL	AA	11/8/11
Δ	CONSTRUCTION REV.-1	LA	01/16/13

DATE SIGNED: 01/16/13

SITE NAME
PRAIRIE VILLAGE FIRE STATION

SITE NO.
KC03XC183

SITE ADDRESS
9011 ROE AVENUE PRAIRIE VILLAGE, KS 66207

SHEET NAME
GENERAL NOTES

SHEET NUMBER
T3

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10.0 STRUCTURAL STEEL

MEET OR EXCEED MANUFACTURER'S RECOMMENDATIONS.

- A. UNLESS OTHERWISE NOTED, ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315).
- B. ALL REINFORCING STEEL SHALL BE NEW BILLET STEEL, CONFORMING TO ASTM A-615, GRADE 60, DEFORMED.
- C. HEATING AND WELDING OF BARS IS PROHIBITED WITH THE EXCEPTION OF WRITTEN APPROVAL BY THE STRUCTURAL ENGINEER.
- D. ALL REINFORCEMENT BARS TO BE FREE FROM LOOSE RUST AND SCALE.
- E. UNLESS OTHERWISE NOTED, ALL REINFORCEMENT SHALL HAVE A MINIMUM CONCRETE COVERAGE OF 3 INCHES. THIS MAY REQUIRE SPACERS AND CHAIRS AS REQUIRED BY TESTING AGENCY OR CONSTRUCTION MANAGER.
- F. SPLICES IN REINFORCEMENT STEEL ARE PROHIBITED, UNLESS APPROVED BY CONSTRUCTION MANAGER. ALL SPLICES MUST THEN MEET ALL APPLICABLE ASTM STANDARDS FOR SPLICING.

11.0 GROUNDING

MEET ALL APPLICABLE CODES, REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS AND SPRINT WIRELESS CONSTRUCTION SPECIFICATIONS.

GENERATOR SPECIFICATIONS

- 1. SWITCHES AND STANDARD FEATURES
 - A. CYCLIC CRANKING
 - B. ALARM HORN WITH SILENCING SWITCH
 - C. VOLTAGE ADJUSTING RHEOSTAT
 - D. OVERVOLTAGE PROTECTION
 - E. REMOTE TWO-WIRE AUTO START SYSTEM
 - F. LAMP TEST SWITCH
 - G. RUN-OFF-RESET/AUTO SWITCH (ENGINE START)
 - H. ENGINE COOL DOWN TIMER (5 MINUTES)
- 2. ERROR-PROOF WIRING HARNESS FOR ELECTRICAL CONNECTIONS
- 3. PANEL LAMPS
- 4. DC CIRCUIT PROTECTION

UNIT ACCESSORIES

- 1. WEATHER HOUSING-STANDARD WITH ROOF MOUNTED SILENCER
- 2. MOUNTED CRITICAL GRADE EXHAUST SILENCER
- 3. TAIL PIPE AND RAIN CAP

COOLING SYSTEM ACCESSORIES

- 1. UNIT MOUNTED RADIATOR
- 2. ENGINE BLOCK HEATER

FUEL SYSTEM ACCESSORIES

- 1. FLEXIBLE FUEL LINES
- 2. ENGINE BLOCK HEATER
- 3. SUBBASE FUEL TANK-172 GALLONS
- 4. DOUBLE WALL CONSTRUCTION WITH LEAK DETECTION MONITOR
- 5. U.L. 142 LISTED
- 6. FUEL LEVEL GAUGE
- 7. LOW FUEL LEVEL ALARM
- 8. FILL PIPE EXTENDED 10% INTO TANK
- 9. HIGH-FUEL LEVEL ALARM-SET AT 95%
- 10. 7.5 GALLON LOCKABLE FILL WITH SPILL CONTAINMENT

GENERATOR ACCESSORIES

- 1. MAIN LINE CIRCUIT BREAKER-100 AMPS, INSTALLED ON GENERATOR
- 2. VOLTAGE REGULATOR ±2%
- 3. SAFEGUARD BREAKER

ENGINE ELECTRICAL ACCESSORIES

- 1. ELECTRONIC/ISOCRONOUS GOVERNOR
- 2. BATTERY RACK, CABLES AND STARTING BATTERY SYSTEM-LEAD ACID TYPE
- 3. BATTERY CHARGER-AUTOMATIC 6 AMP OUTPUT

UTILITY POLES

- 1. ALL UTILITY POLES SHALL BE 35 FT., CLASS 4 OR AS DIRECTED BY THE UTILITY PROVIDER. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY PRIOR TO EXCAVATING OR INSTALLING ANY UTILITY POLES.

GENERAL NOTES:

- 1. THE GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS BEFORE STARTING WORK. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
- 2. IT IS THE INTENTION OF THESE DRAWINGS TO SHOW THE COMPLETED INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, 115. FORM WORK, ETC. IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL ORDINANCES TO SAFELY EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR SAME. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
- 3. THE CONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
- 4. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THAT REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO INDEMNIFY AND HOLD DESIGN ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
- 5. SITE GROUNDING SHALL COMPLY WITH SPRINT/NEXTEL GROUNDING STANDARDS, LATEST EDITION AND COMPLY WITH SPRINT/NEXTEL GROUNDING CHECKLIST, LATEST VERSION. WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT, THEY SHALL GOVERN. GROUNDING SHALL BE COMPLETED BEFORE ERECTION OF A NEW TOWER.
- 6. ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION. IF TEMPORARY LIGHTING AND MARKING ARE REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION (FAA), IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE NECESSARY LIGHTS AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A PROBLEM.
- 7. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL CODES OR ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
- 8. ANY DAMAGE TO ADJACENT PROPERTIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE
- 9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AMPLE NOTICE TO THE BUILDING INSPECTION DEPARTMENT TO SCHEDULE THE REQUIRED INSPECTIONS. A MINIMUM OF 24 HOURS OF NOTICE SHOULD BE GIVEN AND THE BUILDING INSPECTION DEPARTMENTS HAVE REQUESTED THAT GROUPS OF TWO OR THREE SITES BE SCHEDULED AT ONE TIME IF POSSIBLE.
- 10. FOR NEW TOWERS, SPRINT WILL CONFIRM FAA APPROVAL OF TOWER LOCATION BY ISSUING TOWER RELEASE FORM. NO TOWER SHALL BE CONSTRUCTED UNTIL TOWER RELEASE FORM IS ISSUED TO THE CONTRACTOR.
- 11. THE COMPLETE BID PACKAGE INCLUDES THESE CONSTRUCTION DRAWINGS ALONG WITH THE SPECIFICATIONS AND TOWER DRAWINGS/ANALYSIS. CONTRACTOR IS RESPONSIBLE FOR REVIEW OF THE TOTAL BID PACKAGE PRIOR TO BID SUBMITTAL.
- 12. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. SILT AND EROSION CONTROL SHALL BE MAINTAINED ON THE DOWNSTREAM SIDE OF THE SITE AT ALL TIMES. ANY DAMAGE TO ADJACENT PROPERTIES WILL BE CORRECTED AT THE CONTRACTORS EXPENSE.
- 14. CLEARING OF TREES AND VEGETATION ON THE SITE SHOULD BE KEPT TO A MINIMUM. ONLY THE TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED. ANY DAMAGE TO PROPERTY OUTSIDE THE LEASED PROPERTY SHALL BE REPAIRED BY THE CONTRACTOR.
- 15. ALL SUITABLE BORROW MATERIAL FOR BACKFILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES PRIOR TO DISPOSAL.
- 16. SEEDING AND MULCHING OF THE SITE WILL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE DEVELOPMENT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING AN ADEQUATE COVER OF VEGETATION OVER THE SITE FOR A ONE YEAR PERIOD.
- 17. PERMITS: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, LICENSES, FEES, INSPECTIONS, ETC. AND PROVIDE E911 ADDRESS TO SPRINT WIRELESS.
- 18. RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS, ETC., BETWEEN THE WORK AS SPECIFIED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETION OF THE PROJECT.

EXCAVATION AND GRADING NOTES:

- 1. ALL CUT AND FILL SLOPES SHALL BE 3:1 MAXIMUM.
- 2. ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUND WATER. DEWATERING FOR EXCESS GROUND WATER SHALL BE PROVIDED IF REQUIRED.
- 3. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH. THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION SHALL BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
- 4. ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
- 5. AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE AND BEFORE BACKFILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS AND SO FORTH.
- 6. ALL BACKFILLING SHALL (1) USE APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAYS, SAND AND GRAVEL OR SOFT SHALE, (2) BE FREE FROM CLODS OR STONES OVER 2 1/2" MAXIMUM DIMENSIONS. MD (3) BE PLACED IN LAYERS AND COMPACTED.
- 7. SITE FILL MATERIAL AND FOUNDATION BACKFILL SHALL BE PLACED IN LAYERS MAXIMUM 6' DEEP BEFORE COMPACTION. EACH LAYER SHALL BE SPRINKLED IF REQUIRED AND COMPACTED BY HAND OR MACHINE TAMPERS TO 95% OF MAXIMUM DENSITY. AT THE OPTIMUM MOISTURE CONTENT OF ±2% AS DETERMINED BY ASTM DESIGNATION D-698, UNLESS OTHERWISE APPROVED. SUCH BACKFILL SHALL NOT BE PLACED BEFORE 3 DAYS AFTER PLACEMENT OF CONCRETE.
- 8. THE FOUNDATION AREA SHALL BE GRADED TO PROVIDE WATER RUNOFF AND PREVENT WATER FROM STANDING. THE FINAL GRADE SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE FOUNDATION AREA (UP TO ONE FOOT OUTSIDE THE FENCE OR GROUND SYSTEM PERIMETER) AND SHALL BE COVERED WITH A GEOTEXTILE FABRIC MIRAFI 500X OR APPROVED EQUAL TO PREVENT REOCCURRENCE OF VEGETATIVE GROWTH, AN THEN SHALL BE COVERED WITH 4" DEEP COMPACTED STONE OR GRAVEL.
- 9. THE CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL, CITY, COUNTY AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENT FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS FROM LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE SUCH MEASURES AS SILT FENCES, STRAW BALE SEDIMENT BARRIERS AND CHECK DAMS.
- 10. FILL PREPARATION: REMOVE ALL VEGETATION, TOPSOIL DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS AND DELETERIOUS MATERIAL FROM GROUND SURFACE PRIOR TO PLACING FILLS. PLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE TO REQUIRED DEPTH, PULVERIZE, MOISTURE CONDITION OR AERATE SOIL AND RECOMPACT TO REQUIRED DENSITY.
- 11. REPLACE EXISTING GRAVEL SURFACING ON AREAS FROM WHICH GRAVEL SURFACING IS REMOVED DURING CONSTRUCTION OPERATIONS. GRAVEL SURFACING SHALL BE REPLACED TO MATCH EXISTING ADJACENT GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS. SURFACES AND GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL GRAVEL RESURFACING MATERIAL AS REQUIRED. BEFORE GRAVEL SURFACING IS REPLACED, SUBGRADE SHALL BE GRADE TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE.
- 12. PROTECT EXISTING GRAVEL SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR ANY DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS.
- 13. DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTORS NEGLIGENCE SHALL BE REPAIRED/REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
- 14. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH THE PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
- 15. ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
- 16. RIPRAP SHALL BE CLEAN, HARD, SOUND, DURABLE AND UNIFORM IN QUALITY AND FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRIABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL, ALKALI OR OTHER DELETERIOUS SUBSTANCE.

Sprint
6100 SPRINT PARKWAY
OVERLAND PARK, KS 66251

ERICSSON
11320 LACKLAND RD.
ST. LOUIS, MO 63146

FEI
Fullerton Engineering Consultants
9600 W. BRYN MAWR AVE.
SUITE 200
ROSEMONT, ILLINOIS 60018
TEL: 847-292-0200
FAX: 847-292-0206
COA# E-1939
www.FullertonEngineering.com

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NO	DESCRIPTION	BY	DATE
	REV. ZONING	AA	10/7/11
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Δ	CONSTRUCTION REV.-1	LA	01/16/13

DATE SIGNED: 01/16/13

SITE NAME
**PRAIRIE VILLAGE
FIRE STATION**

SITE NO.
KC03XC183

SITE ADDRESS
**9011 ROE AVENUE
PRAIRIE VILLAGE, KS 66207**

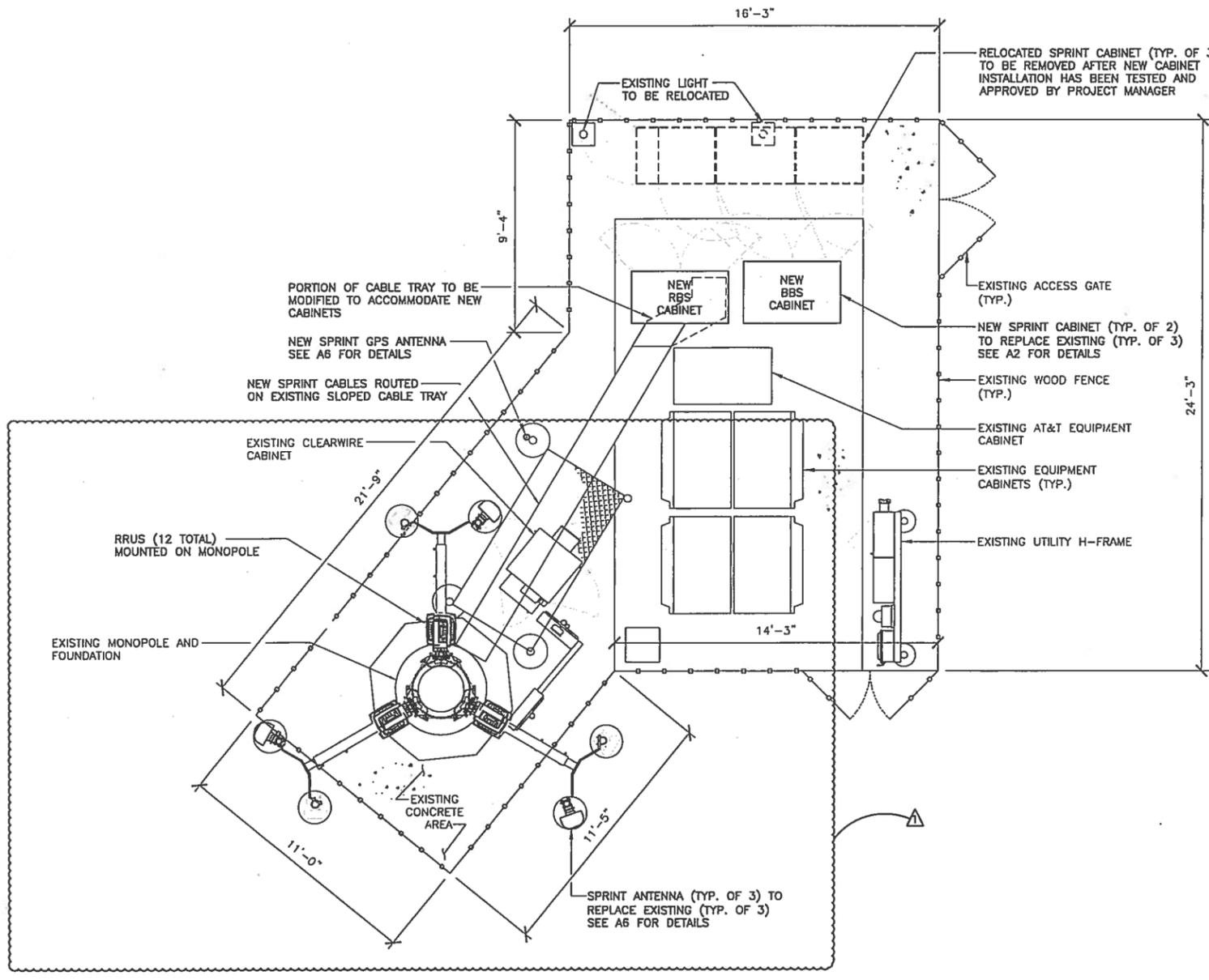
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ABBREVIATIONS	
AFF	ABOVE FINISHED FLOOR
AGL	ABOVE GRADE LEVEL
AMSL	ABOVE MEAN SEA LEVEL
APPROX	APPROXIMATE
AWG	AMERICAN WIRE GAUGE
BLDG	BUILDING
BTS	BASE TRANSMISSION STATION
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CND	CONDUIT
DWG	DRAWING
FT	FOOT(FEET)
EGB	EQUIPMENT GROUND BAR
ELEC	ELECTRICAL
EMT	ELECTRICAL METALLIC TUBING
ELEV	ELEVATION
EQUIP	EQUIPMENT
(E)	EXISTING
EXT	EXTERIOR
FND	FOUNDATION
F	FIBER
GA	GAUGE
GALV	GALVANIZED
GPS	GLOBAL POSITIONING SYSTEM
GND	GROUND
LTE	LONG TERM EVOLUTION
MAX	MAXIMUM
MFR	MANUFACTURER
MGB	MASTER GROUND BAR
MIN	MINIMUM
MMBTS	MULTI-MODE BASE TRANSMISSION STATION
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OE/OT	OVERHEAD ELECTRIC/TELCO
PPC	POWER PROTECTION CABINET
RBS	RADIO BASED STATION
RRU	REMOTE RADIO UNIT
RGS	RIGID GALVANIZED STEEL
IN	INCH(ES)
INT	INTERIOR
LB(S)	POUND(S)
SF	SQUARE FOOT
STL	STEEL
TYP	TYPICAL
UE/UT	UNDERGROUND ELECTRIC/TELCO
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
W/	WITH
XFMR	TRANSFORMER
#	POUND(S)

SYMBOLS	
	REVISION
	WORK POINT
	UTILITY POLE
	BRICK
	COMPRESSED STONE
	CONCRETE
	EARTH
	GRAVEL
	MASONRY
	STEEL
	CENTERLINE
	PROPERTY LINE
	LEASE LINE
	EASEMENT LINE
	CHAIN LINK FENCE
	WOOD FENCE
	BELOW GRADE ELECTRIC
	BELOW GRADE TELEPHONE
	OVERHEAD ELECTRIC/TELEPHONE
	SECTION REFERENCE



1 SITE PLAN
 SCALE: 3/16" = 1' - 0"
 0 1' 2' 4' 8'

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 TEL: 847-292-0200
 FAX: 847-292-0206
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 www.FullertonEngineering.com

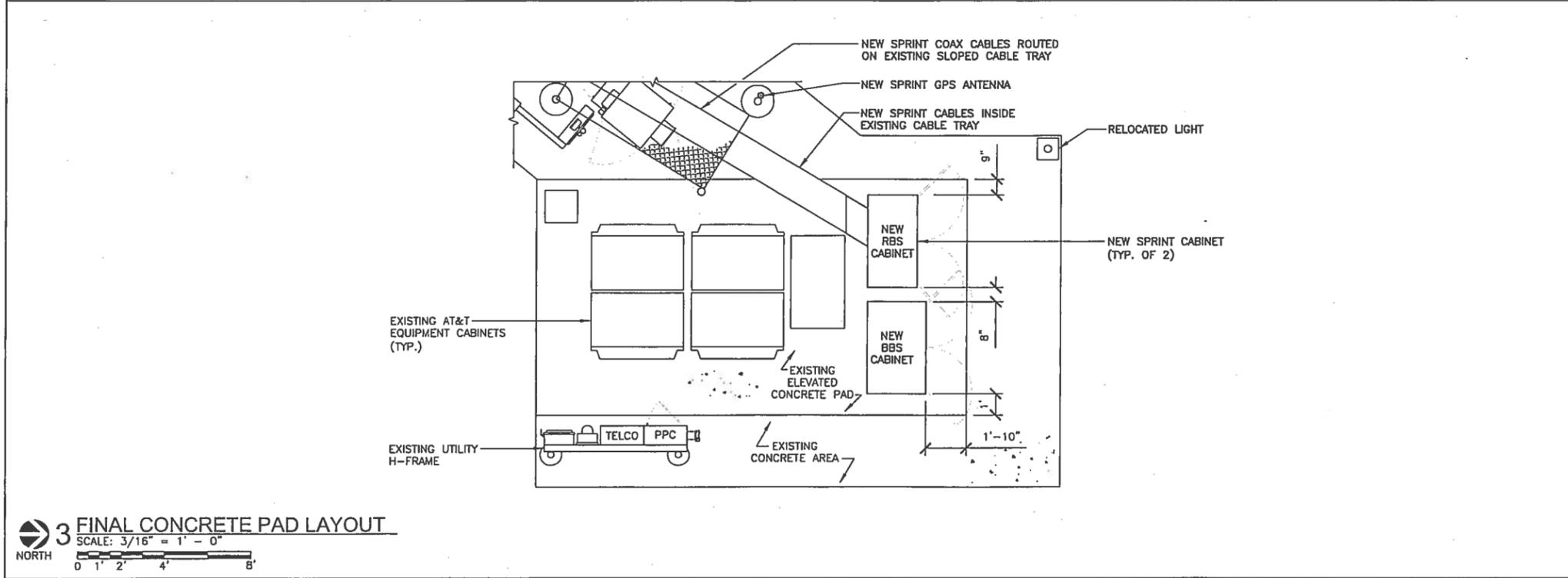
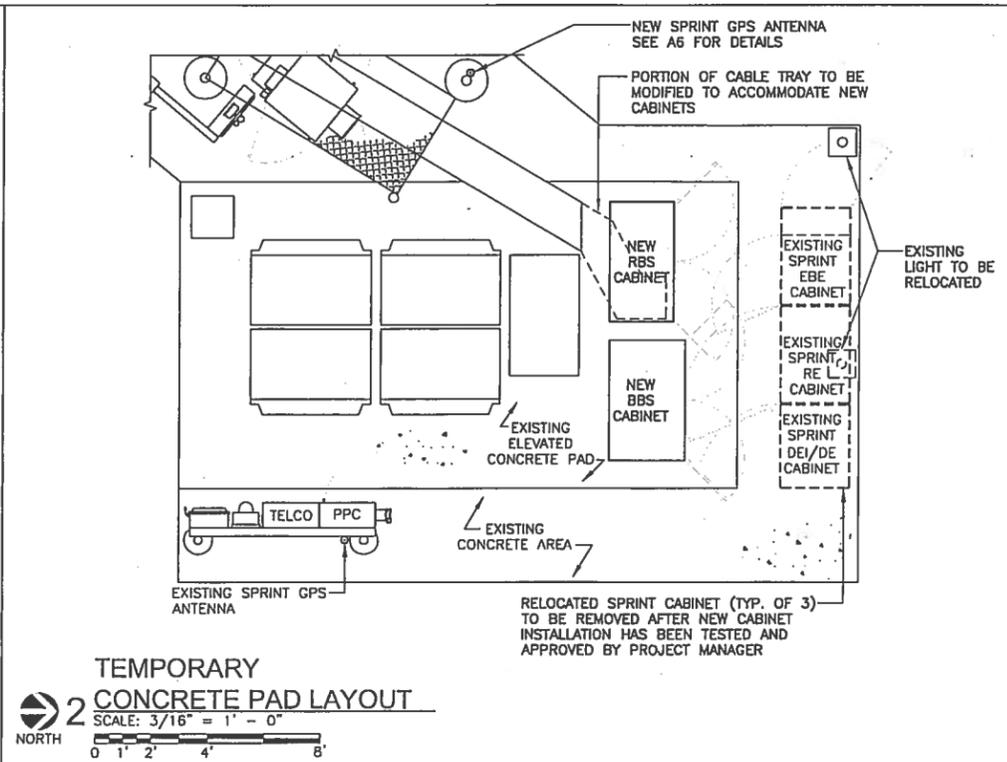
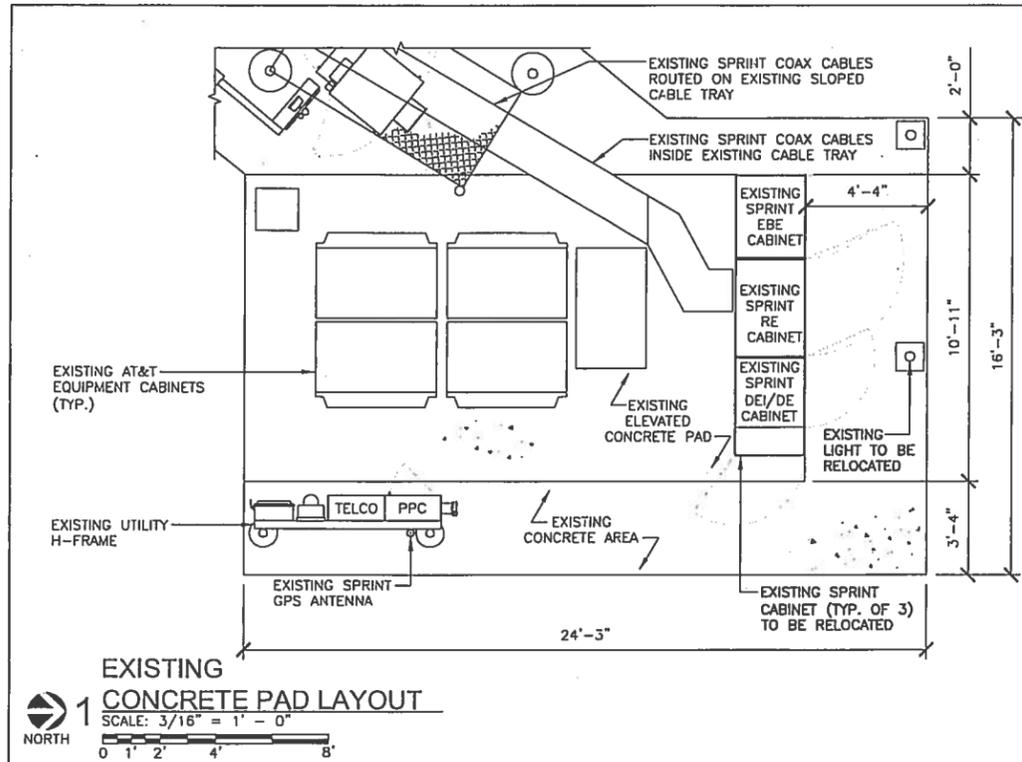
DRAWN BY: AA	CHECKED BY: RI	APPROVED BY: MB
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NO	DESCRIPTION	BY	DATE
	REV. ZONING	AA	10/7/11
	90% REVIEW	AA	11/4/11
	FINAL	AA	11/8/11
▲	CONSTRUCTION REV.	LA	01/16/13

DATE SIGNED: 01/16/13

SITE NAME	PRAIRIE VILLAGE FIRE STATION
SITE NO.	KC03XC183
SITE ADDRESS	9011 ROE AVENUE PRAIRIE VILLAGE, KS 66207
SHEET NAME	SITE PLAN
SHEET NUMBER	A1

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AA	RI	MB	
NO	DESCRIPTION	BY	DATE
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	90% REVIEW	AA	11/4/11
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Δ	CONSTRUCTION REV.	LA	01/16/13

DATE SIGNED: 01/16/13

SITE NAME
**PRAIRIE VILLAGE
FIRE STATION**

SITE NO.
KC03XC183

SITE ADDRESS
**9011 ROE AVENUE
PRAIRIE VILLAGE, KS 66207**

SHEET NAME
CONCRETE PAD LAYOUT

SHEET NUMBER
A2

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- ANTENNA NOTES:**
1. THE SIZE, HEIGHT, AND DIRECTION OF THE ANTENNA SHALL BE ADJUSTED TO MEET SYSTEM REQUIREMENTS.
 2. CONTRACTOR SHALL VERIFY HEIGHT OF ANTENNA WITH WITH PROJECT MANAGER.
 3. ALL ANTENNA AZIMUTHS TO BE FROM TRUE NORTH.

- STRUCTURAL NOTES:**
1. STRUCTURAL CALCULATION PREPARED BY OTHERS. CONTRACTOR TO COORDINATE WITH PROJECT MANAGER TO OBTAIN A COPY.
 2. CONTRACTOR TO REFER TO STRUCTURAL CALCULATIONS FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF THE STRUCTURE SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.

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	FINAL	AA 11/8/11
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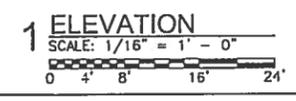
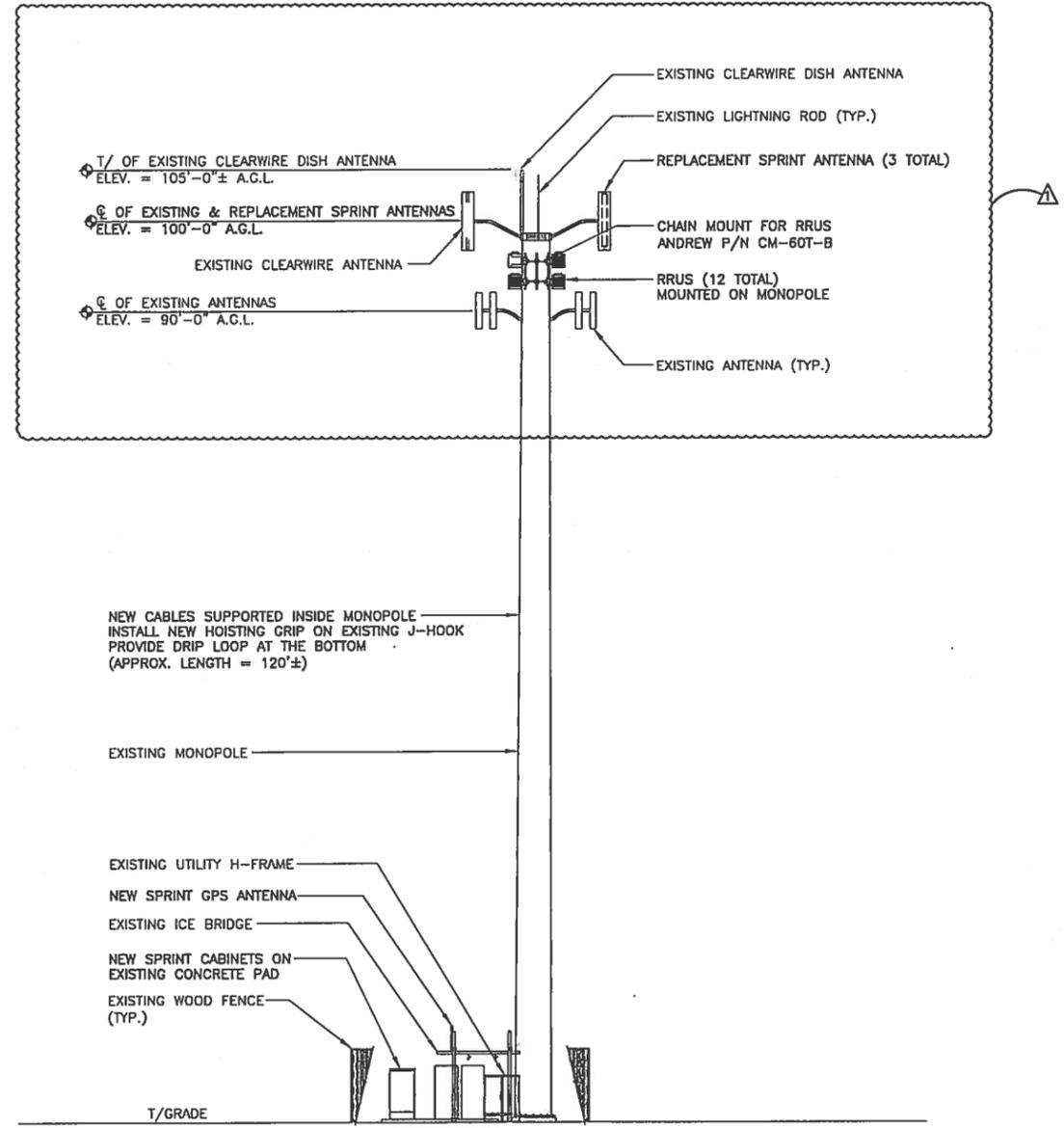
SITE NAME
**PRAIRIE VILLAGE
 FIRE STATION**

SITE NO.
KC03XC183

SITE ADDRESS
 9011 ROE AVENUE
 PRAIRIE VILLAGE, KS 66207

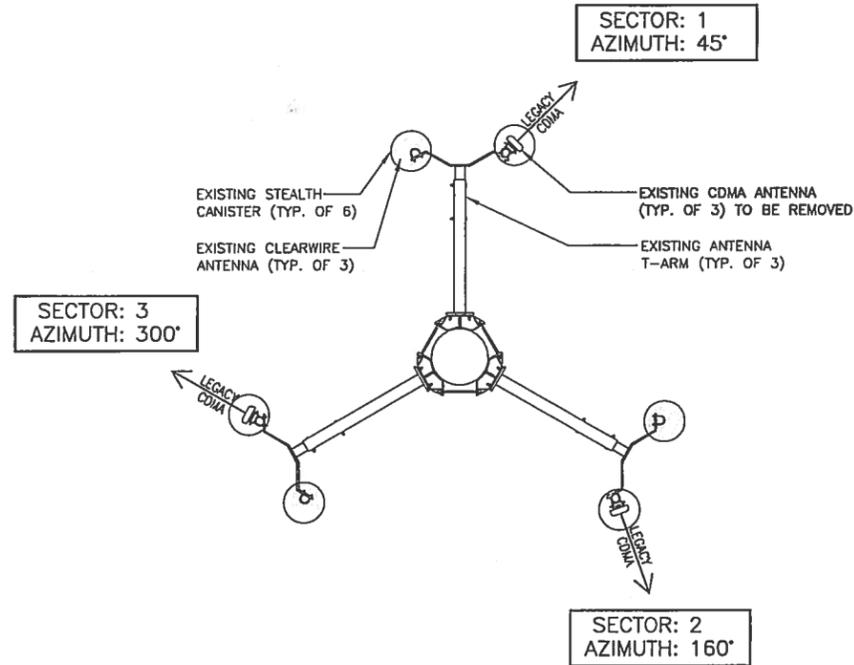
SHEET NAME
SITE ELEVATION

SHEET NUMBER
A3



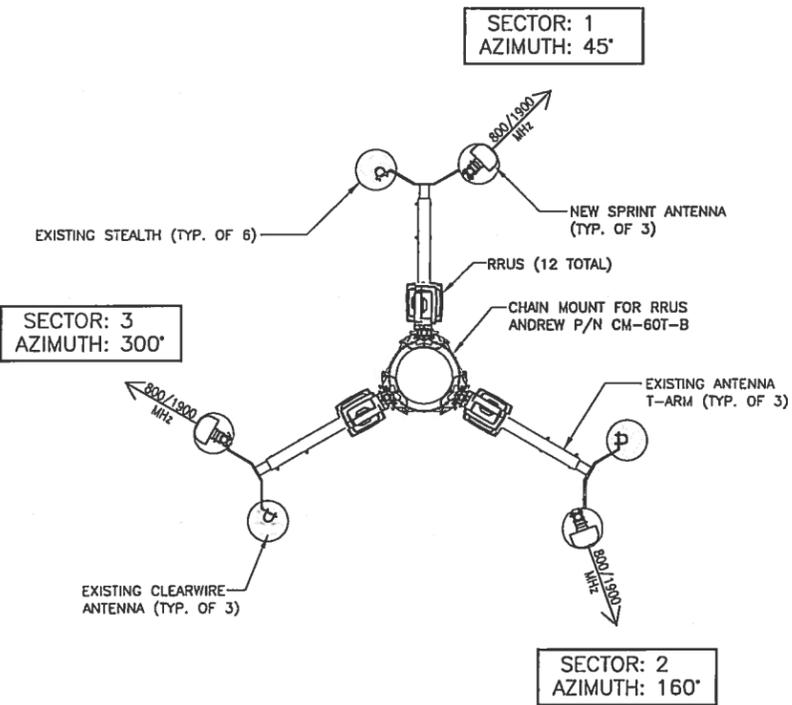
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TRUE NORTH
MAGNETIC NORTH
DECLINATION
2'19" E



1 EXISTING ANTENNA LAYOUT
SCALE: 3/16" = 1' - 0"
NORTH

NOTE:
EXISTING CDMA ANTENNA TO BE REMOVED DURING COLD SLIDE OF ANTENNA (TYP.)



2 FINAL ANTENNA LAYOUT
SCALE: 3/16" = 1' - 0"
NORTH

ANTENNA LEGEND

EXISTING SPRINT ANTENNAS

NEW SPRINT ANTENNAS

RFS:
APXVERR1B-C

NOTES:

1. FINAL AZIMUTHS ARE SUBJECT TO REVISIONS AND ARE TO BE VERIFIED WITH LATEST RF DATA SHEET.
2. CONTRACTOR TO VERIFY EXISTING ANTENNA FRAMES ARE ADEQUATE TO MEET MINIMUM SEPARATION REQUIREMENTS. SEPARATION IS TYPICAL PER SECTOR UNLESS NOTED OTHERWISE. NOTIFY PROJECT MANAGER IF SEPARATION CAN NOT BE MET.

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SUITE 200
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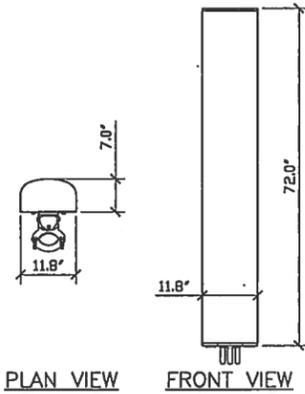
DRAWN BY: AA	CHECKED BY: RI	APPROVED BY: MB
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NO	DESCRIPTION	BY	DATE
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	90% REVIEW	AA	11/4/11
	FINAL	AA	11/8/11
▲	CONSTRUCTION REV.	LA	01/16/13

DATE SIGNED: 01/16/13

SITE NAME PRAIRIE VILLAGE FIRE STATION
SITE NO. KC03XC183
SITE ADDRESS 9011 ROE AVENUE PRAIRIE VILLAGE, KS 66207
SHEET NAME ANTENNA LAYOUT
SHEET NUMBER A4

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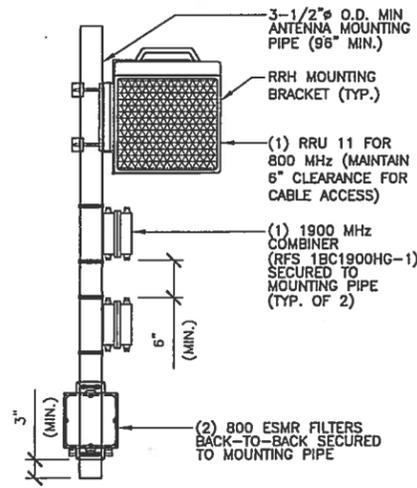


RFS APXVERR18 ANTENNA
TRIPLE BAND DUAL POLARIZED

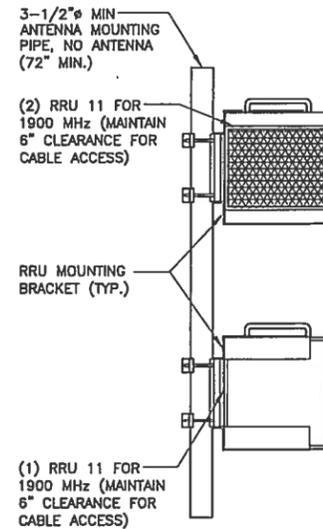
FREQUENCY RANGE 806-869 & 1850-1995 MHz
 ANTENNA W/O MOUNTING HARDWARE 55 lb
 MOUNTING HARDWARE 7.5 lb
TOTAL WEIGHT 62.5 lb

800/1900 ANTENNA SPEC.
1 **ALL SECTORS**
SCALE: N.T.S.

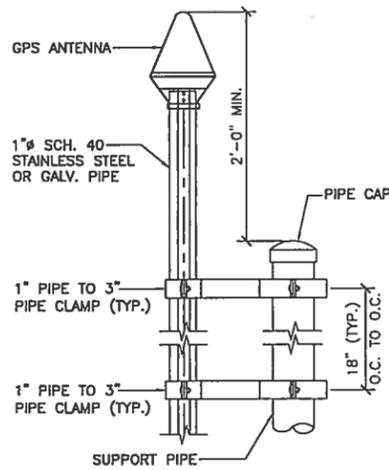
2 NOT USED
SCALE: N.T.S.



3 800 MOUNTING SPEC.
SCALE: N.T.S.



4 1900 MOUNTING SPEC.
SCALE: N.T.S.



5 GPS ANTENNA DETAIL
SCALE: N.T.S.

6 NOT USED
SCALE: N.T.S.

7 NOT USED
SCALE: N.T.S.

8 NOT USED
SCALE: N.T.S.

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SITE NAME
**PRAIRIE VILLAGE
FIRE STATION**

SITE NO.

KC03XC183

SITE ADDRESS

9011 ROE AVENUE
PRAIRIE VILLAGE, KS 66207

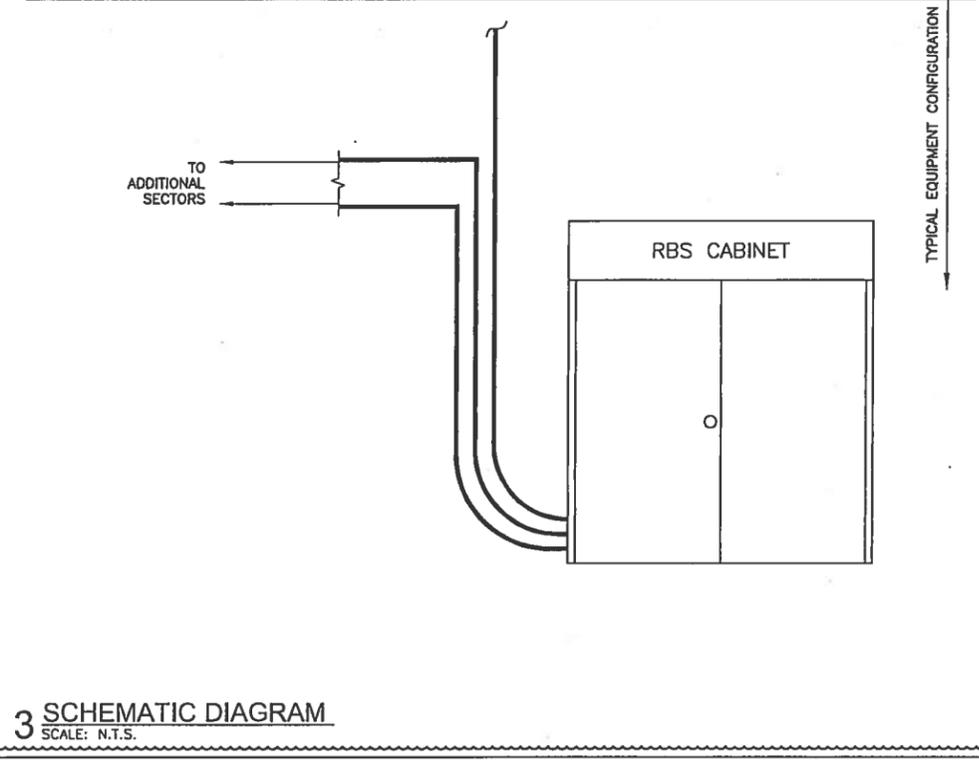
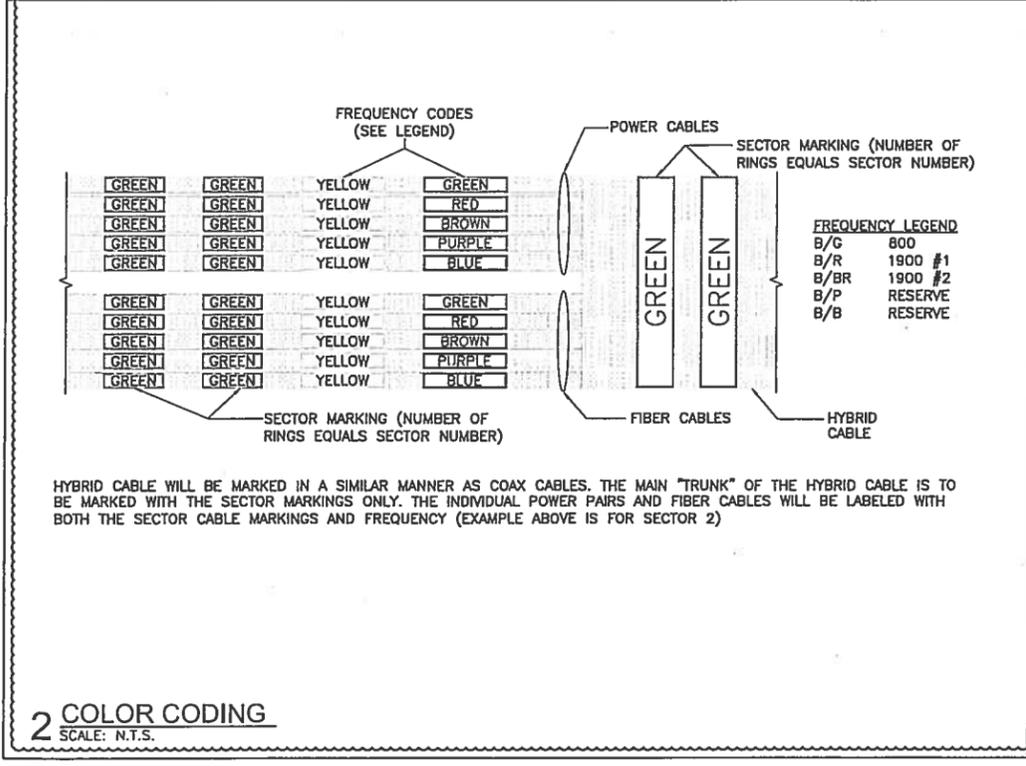
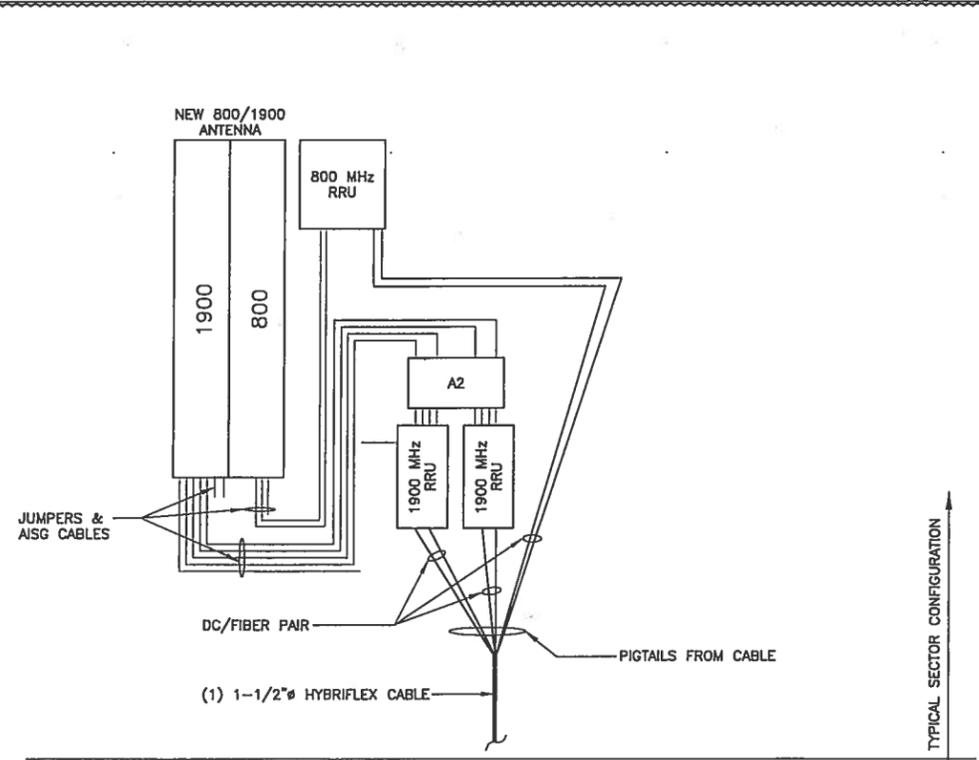
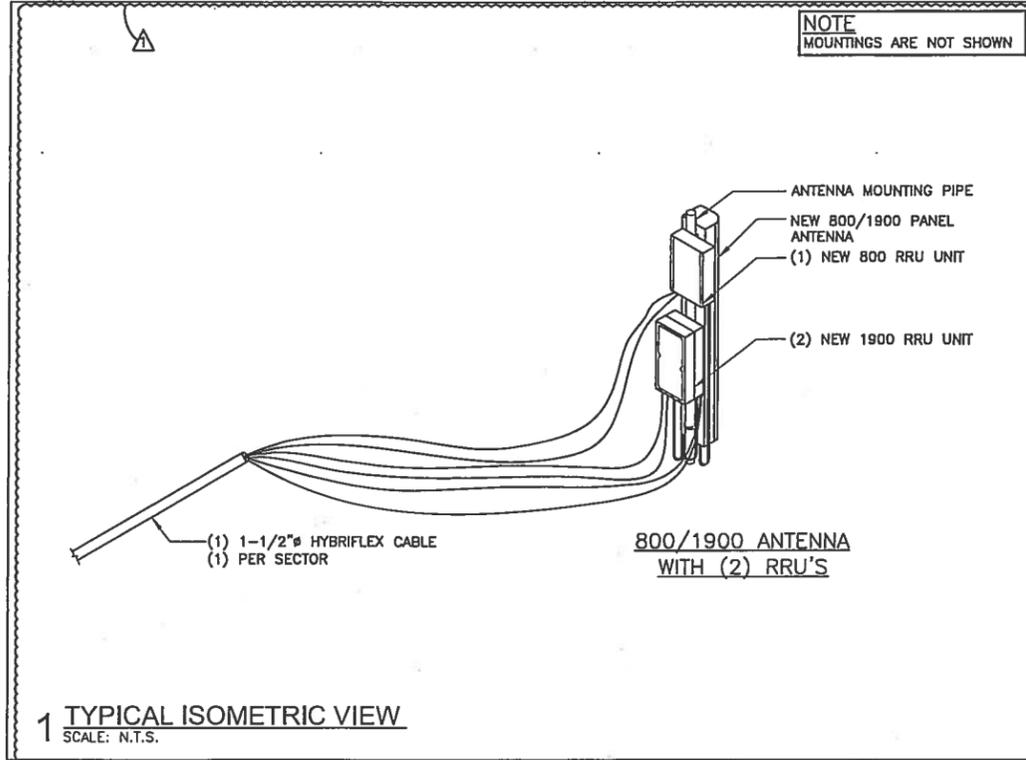
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ANTENNA DETAILS

SHEET NUMBER

A6

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NO	DESCRIPTION	BY	DATE
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SITE NAME
PRAIRIE VILLAGE FIRE STATION

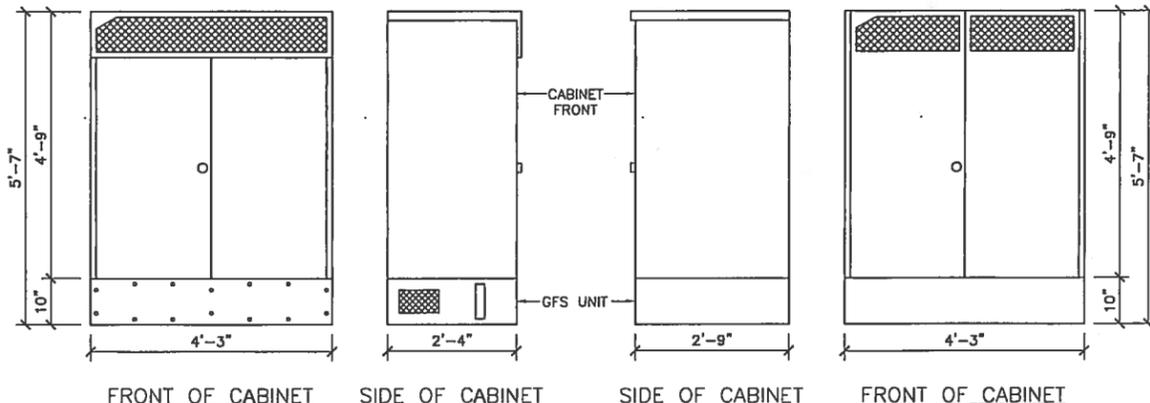
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KC03XC183

SITE ADDRESS
9011 ROE AVENUE
PRAIRIE VILLAGE, KS 66207

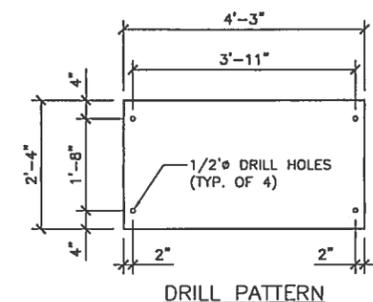
SHEET NAME
SITE DETAILS

SHEET NUMBER
A7

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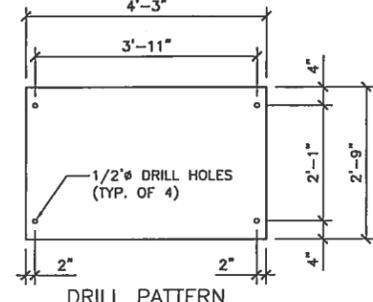
FRONT OF CABINET SIDE OF CABINET SIDE OF CABINET FRONT OF CABINET



DRILL PATTERN

ERICSSON RBS 6102			
DIMENSIONS	51.18"W x 27.56"D x *66.93"H		
WEIGHT	**771.62 LBS.		
MINIMUM CLEARANCES			
FRONT	SIDES	REAR	
3'-0"	4"	1'-0"	

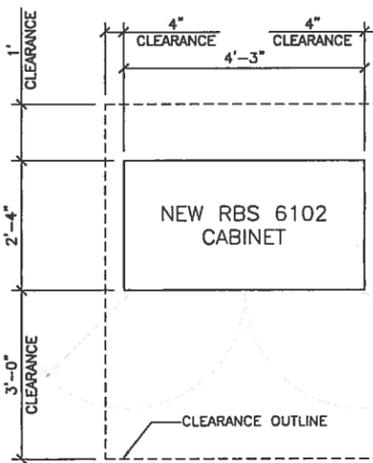
*HEIGHT SHOWN ON THE TABLE INCLUDES GLOBAL BASE UNIT PROVIDE BY ERICSSON.
 **WEIGHT SHOWN ON THE TABLE INCLUDES GLOBAL BASE UNIT PROVIDE BY ERICSSON.



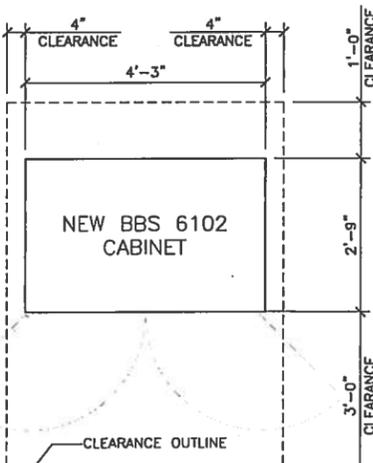
DRILL PATTERN

ERICSSON BBS 6102			
DIMENSIONS	51.18"W x 27.56"D x *66.93"H		
WEIGHT	***491.63 - 654.77 LBS.		
MINIMUM CLEARANCES			
FRONT	SIDES	REAR	
3'-0"	4"	1'-0"	

***WEIGHT SHOWN ON THE TABLE INCLUDES OP2V BATTERIES

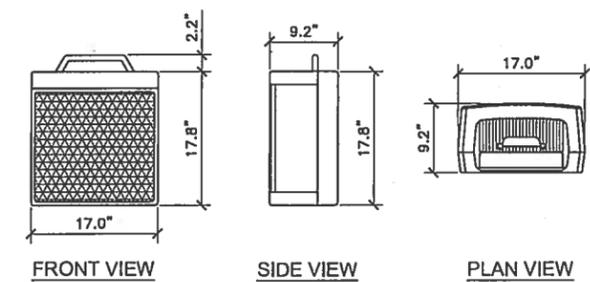
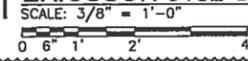


NEW RBS 6102 CABINET



NEW BBS 6102 CABINET

1 ERICSSON 6102 CABINET DETAILS

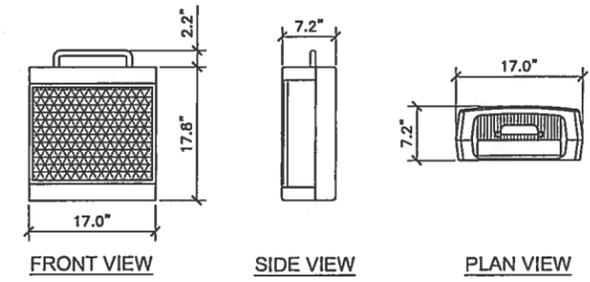


FRONT VIEW SIDE VIEW PLAN VIEW

800 MHz	DIMENSIONS (HxWxD)	17" x 17.8" x 9.2"
	WEIGHT	54 LBS

2 800 MHz RADIO

SCALE: N.T.S.



FRONT VIEW SIDE VIEW PLAN VIEW

1900 MHz	DIMENSIONS (HxWxD)	17" x 17.8" x 7.2"
	WEIGHT	44 LBS

3 1900 MHz RADIO

SCALE: N.T.S.

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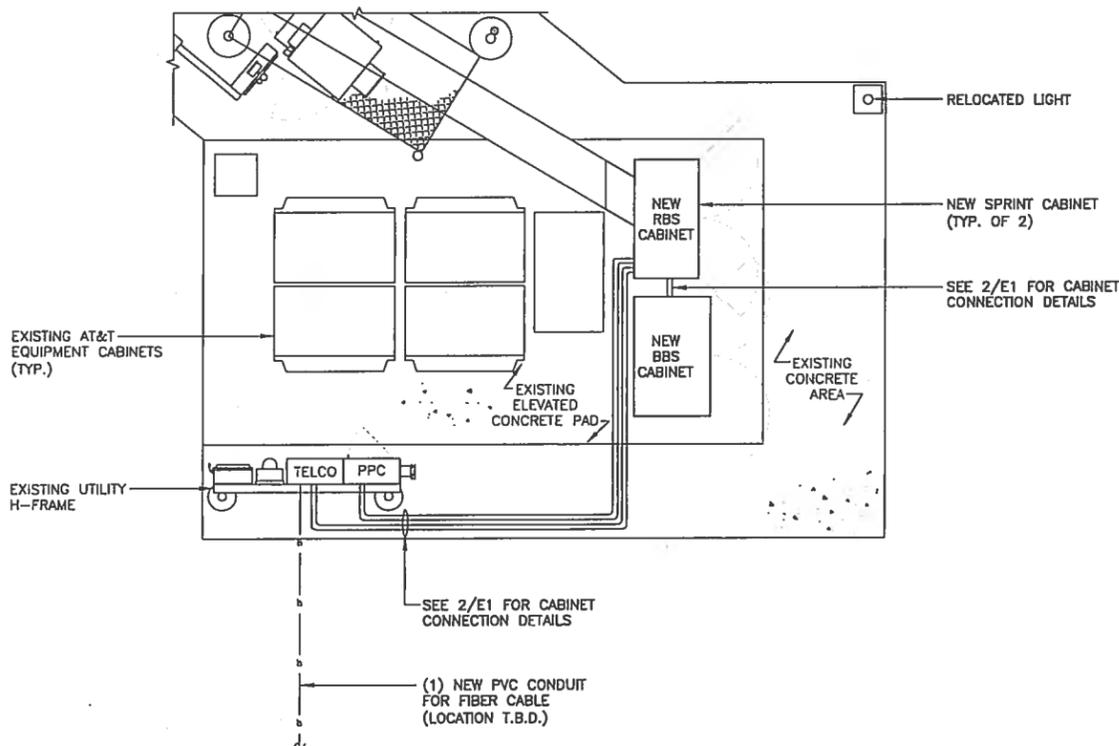
DRAWN BY: AA	CHECKED BY: RI	APPROVED BY: MB	
NO	DESCRIPTION	BY	DATE
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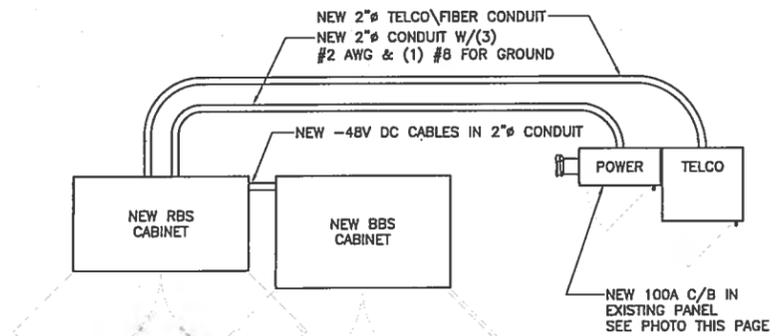
SITE NAME	PRAIRIE VILLAGE FIRE STATION
SITE NO.	KC03XC183
SITE ADDRESS	9011 ROE AVENUE PRAIRIE VILLAGE, KS 66207
SHEET NAME	EQUIPMENT DETAILS
SHEET NUMBER	A8

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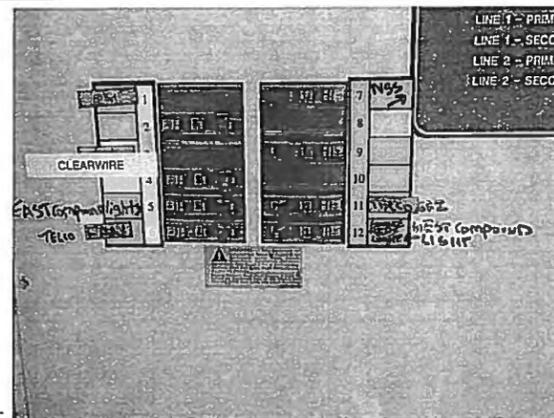
UTILITY COMPANIES
 POWER COMPANY:
 KCP&L
 TELCO COMPANY:
 AT&T



1 UTILITY PLAN
 SCALE: 3/16" = 1' - 0"
 NORTH
 0 1' 2' 4' 8'



2 ONE LINE DIAGRAM
 SCALE: N.T.S.



3 PPC CABINET
 SCALE: N.T.S.

1. ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE (N.E.C.), AND APPLICABLE LOCAL CODES.
2. GROUNDING SHALL COMPLY WITH ARTICLE 250 OF NATIONAL ELECTRICAL CODE.
3. ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED.
4. ALL WIRES SHALL BE AWG MIN #12 THIN COPPER UNLESS NOTED.
5. CONDUCTORS SHALL BE INSTALLED IN SCHEDULE 40 PVC CONDUIT UNLESS NOTED OTHERWISE.
6. LABEL SPRINT SERVICE DISCONNECT SWITCH AND PPC CABINET WITH ENGRAVED LAMACIOD LABELS, LETTERS 1" IN HEIGHT.
7. ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE. BEND GROUNDING LEADS WITH A MINIMUM 8" RADIUS.
8. ENGAGE AN INDEPENDENT TESTING FIRM TO TEST AND VERIFY THAT RESISTANCE DOES NOT EXCEED 5 OHMS TO GROUND. TEST GROUND RING RESISTANCE PRIOR TO MAKING FINAL GROUND CONNECTIONS TO INFRASTRUCTURE AND EQUIPMENT. GROUNDING AND OTHER OPERATIONAL TESTING SHALL BE WITNESSED BY SPRINTS REPRESENTATIVE.
9. PROVIDE PULL BOXES AND JUNCTION BOXES WHERE REQUIRED SO THAT CONDUIT BENDS DO NOT EXCEED 360°.
10. OBTAIN PERMITS AND PAY FEES RELATED TO ELECTRICAL WORK PERFORMED ON THIS PROJECT. DELIVER COPIES OF ALL PERMITS TO SPRINT REPRESENTATIVE.
11. SCHEDULE AND ATTEND INSPECTIONS RELATED TO ELECTRICAL WORK REQUIRED BY JURISDICTION HAVING AUTHORITY. CORRECT AND PAY FOR ANY WORK REQUIRED TO PASS ANY FAILED INSPECTION.
12. REDLINED AS-BUILTS ARE TO BE DELIVERED TO SPRINT REPRESENTATIVE.
13. PROVIDE TWO COPIES OF OPERATION AND MAINTENANCE MANUALS IN THREE-RING BINDER.
14. FURNISH AND INSTALL THE COMPLETE ELECTRICAL SERVICE, TELCO CONDUIT, AND THE COMPLETE GROUNDING SYSTEM.
15. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL ORDINANCES, INSTALLED IN A NEAT MANNER, AND SHALL BE SUBJECT TO APPROVAL BY SPRINT REPRESENTATIVE.
16. CONDUCT A PRE-CONSTRUCTION SITE VISIT AND VERIFY EXISTING SITE CONDITIONS AFFECTING THIS WORK. REPORT ANY OMISSIONS OR DISCREPANCIES FOR CLARIFICATION PRIOR TO THE START OF CONSTRUCTION.
17. PROJECT ADJACENT STRUCTURES AND FINISHES FROM DAMAGE. REPAIR TO ORIGINAL CONDITION ANY DAMAGED AREA.
18. REMOVE DEBRIS ON A DAILY BASIS. DEBRIS NOT REMOVED IN A TIMELY FASHION WILL BE REMOVED BY OTHERS AND THE RESPONSIBLE SUBCONTRACTOR SHALL BE CHARGED ACCORDINGLY. REMOVAL OF DEBRIS SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE. DEBRIS SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED OF LEGALLY.
19. UPON COMPLETION OF WORK, THE SITE SHALL BE CLEAN AND FREE OF DUST AND FINGERPRINTS.
20. PRIOR TO ANY TRENCHING, CONTACT LOCAL UTILITY TO VERIFY LOCATION OF ANY EXISTING BURIED SERVICE CONDUITS.
21. DOCUMENT GROUND RING INSTALLATION AND CONNECTIONS TO IT WITH PHOTOGRAPHS PRIOR TO BACKFILLING SITE. PRESENT PHOTO ARCHIVE AT SITE "PUNCH LIST" WALK TO SPRINT'S REPRESENTATIVE.

4 ELECTRIC NOTES
 SCALE: N.T.S.

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SITE NAME
**PRAIRIE VILLAGE
 FIRE STATION**

SITE NO.
KC03XC183

SITE ADDRESS
**9011 ROE AVENUE
 PRAIRIE VILLAGE, KS 66207**

SHEET NAME
**UTILITY PLAN AND
 DETAILS**

SHEET NUMBER
E1

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SERVICE EQUIPMENT NOTES:

1. SERVICE EQUIPMENT SHALL HAVE A SHORT CIRCUIT WITHSTAND RATING EQUAL TO OR EXCEEDING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SUPPLY TERMINAL. THE INSTALLATION SHALL BE FREE FROM ANY SHORT CIRCUITS AND GROUNDS.
2. ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENT ENGRAVED PLASTIC LABELS.
3. PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.

CONDUCTOR NOTES:

1. ALL CONDUCTORS SHALL BE COPPER
2. ALL WIRING SHALL BE COPPER WITH THHN/THWN DUAL RATED 600 VOLTS INSULATION
3. GROUNDING CONDUCTORS SHALL BE SOLID TINNED COPPER UNLESS OTHERWISE NOTED.

CONDUIT NOTES:

1. RIGID GALVANIZED STEEL (RGS) SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH EARTH, OR EXPOSED ABOVE GRADE
2. EMT SHALL BE USED ONLY FOR INTERIOR RUNS AND SHALL HAVE COMPRESSION TYPE FITTINGS
3. SEAL TIGHT, FLEXIBLE CONDUIT MAY BE USED WHERE CODE PERMITS. ALL CONDUIT SHALL HAVE FULL SIZE EQUIPMENT GROUND WIRE
4. SERVICE CONDUITS SHALL HAVE NO MORE THAN (3) - 90° BENDS IN ANY SINGLE RUN. THE CONTRACTOR SHALL PROVIDE PULL BOXES AS NEEDED WHERE CONDUIT REQUIREMENTS EXCEED THESE CONDITIONS
5. ALL COAX, POWER AND TELEPHONE SYSTEM CONDUITS SHALL HAVE A MINIMUM 2-1/2" RADIUS SWEEPS TO EQUIPMENT, PULL BOXES, ETC., UNLESS OTHERWISE NOTED, OR AS REQUIRED BY UTILITY COMPANIES

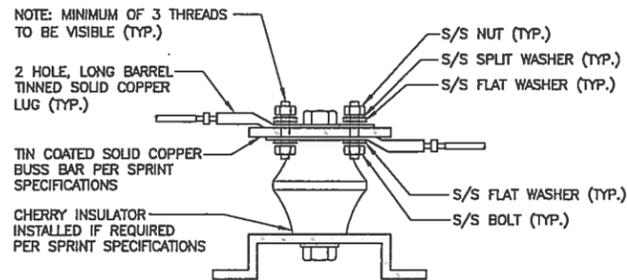
NEW COAX CABLE GROUNDING NOTES:

1. CONTRACTOR SHALL CONNECT GROUND KITS TO THE EXISTING GROUND BARS AT THE TOP AND BASE OF TOWER
2. CONTRACTOR SHALL CONNECT GROUND KITS TO THE NEW GROUND BAR BEFORE ENTRY TO CABINET
3. NO BACK TO BACK LUGGING OF SPRINT GROUNDS

GENERAL GROUNDING NOTES:

1. VERTICAL DROPS SHALL BE 20'-0" OF #2 AWG SOLID TINNED COPPER WIRE. CADWELDED TO GROUND BAR.
2. ALL BENDS MINIMUM 8" RADIUS.
3. APPLY ANTI-OXIDATION COMPOUND TO ALL CONNECTIONS.
4. BARE COPPER CONDUCTORS SHALL NOT BE IN CONTACT WITH ANY DISSIMILIAR MATERIAL. PLACE ON STANDOFFS, IF NECESSARY TO ALLOW FOR PROPER INSTALLATION.
5. SHARP BENDS IN GROUNDING CONDUCTORS SHALL BE AVOIDED. 90° BENDS SHALL NOT BE USED.
6. ALL GROUNDING CONDUCTORS SHALL BE KEPT AS SHORT AS POSSIBLE. THE SHORTEST PRACTICAL ROUTE SHALL BE CHOSEN WITH THE LEAST AMOUNT OF BENDS AND SPLICES. USE THIS RULE AT ALL TIMES.
7. ALL CONNECTIONS TO GROUND BARS SHALL BE WITH A 2-HOLE LUG UNLESS OTHERWISE SPECIFIED.
8. ALL SOLID WIRE SHALL USE A 2-HOLE LONG BARREL LUG.
9. WHEN GROUNDING MORE THAN ONE PIECE OF EQUIPMENT, DO NOT USE THE EQUIPMENT AS A GROUNDING CONDUCTOR. DOUBLE-STACKING OF LUGS SHALL BE USED TO GET FROM EQUIPMENT TO EQUIPMENT.
10. REMOVE ALL PAINT BENEATH THE SURFACE OF GROUND LUGS.

1 NOTES
SCALE: N.T.S.

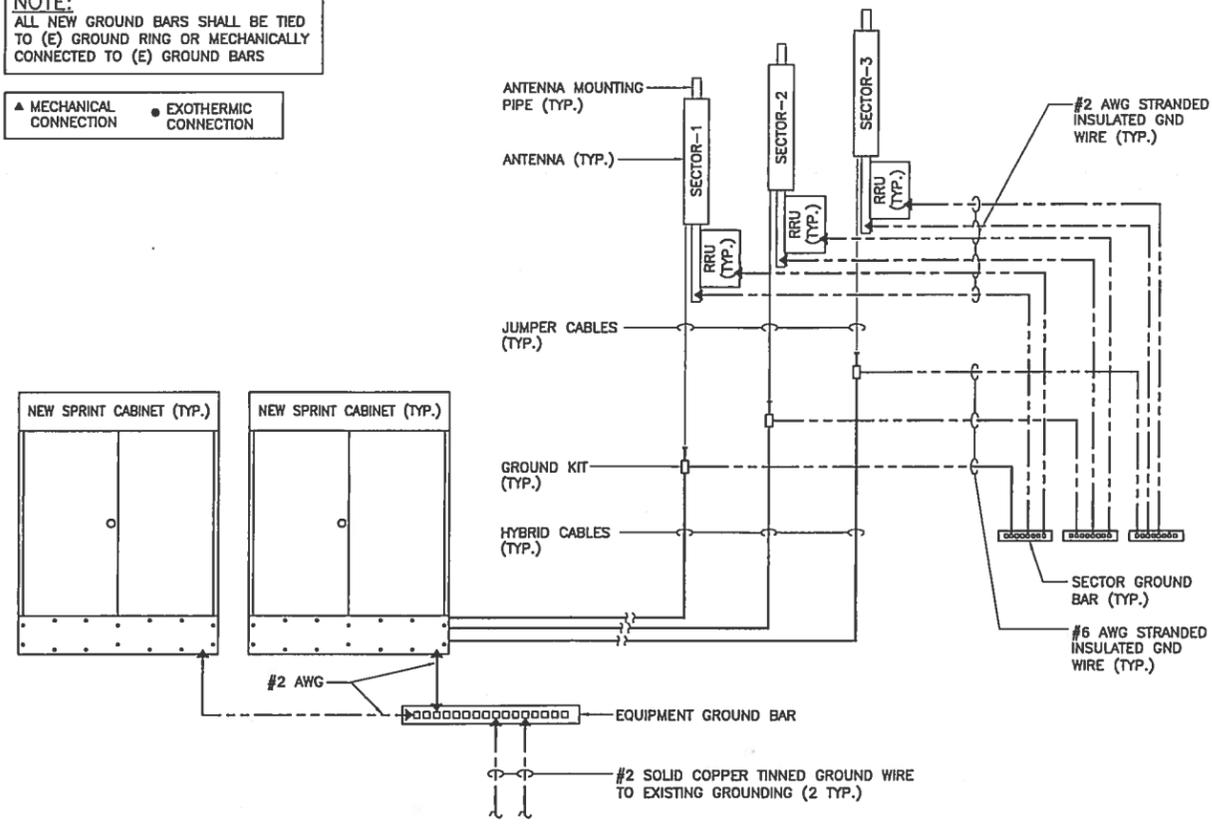


- NOTES:**
1. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING SPLIT WASHERS.
 2. COAT WIRE END WITH ANTI-OXIDATION COMPOUND PRIOR TO INSERTION INTO LUG BARREL AND CRIMPING.
 3. APPLY ANTI-OXIDATION COMPOUND BETWEEN ALL LUGS AND BUSS BARS PRIOR TO MATING AND BOLTING.

2 GROUND LUG DETAIL
SCALE: N.T.S.

NOTE:
ALL NEW GROUND BARS SHALL BE TIED TO (E) GROUND RING OR MECHANICALLY CONNECTED TO (E) GROUND BARS

▲ MECHANICAL CONNECTION ● EXOTHERMIC CONNECTION



3 TYPICAL GROUNDING RISER DIAGRAM
SCALE: N.T.S.



6100 SPRINT PARKWAY
OVERLAND PARK, KS 66251



11320 LACKLAND RD.
ST. LOUIS, MO 63146

FEC
Fullerton Engineering Consultants
9600 W. BRYN MAWR AVE.
SUITE 200
ROSEMONT, ILLINOIS 60018
TEL: 847-292-0200
FAX: 847-292-0206
COA# E-1939
www.FullertonEngineering.com

DRAWN BY: AA	CHECKED BY: RI	APPROVED BY: MB
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NO	DESCRIPTION	BY	DATE
	REV. ZONING	AA	10/7/11
	90% REVIEW	AA	11/4/11
	FINAL	AA	11/8/11
▲	CONSTRUCTION REV.-1	LA	01/16/13

DATE SIGNED: 01/16/13

SITE NAME
**PRAIRIE VILLAGE
FIRE STATION**

SITE NO.
KC03XC183

SITE ADDRESS
**9011 ROE AVENUE
PRAIRIE VILLAGE, KS 66207**

SHEET NAME
**GROUNDING DIAGRAM
AND NOTES**

SHEET NUMBER
E2

THIS DRAWING IS THE PROPERTY OF FULLERTON ENGINEERING CONSULTANTS, INC. IT IS FOR THE EXCLUSIVE USE OF THIS PROJECT. ANY RE-USE OF THIS DRAWING WITHOUT THE EXPRESSED WRITTEN CONSENT OF FULLERTON ENGINEERING CONSULTANTS, INC. IS PROHIBITED.

STAFF REPORT

TO: Prairie Village Planning Commission
FROM: Ron Williamson, Lochner, Planning Consultant
DATE: April 2, 2013 Planning Commission Meeting

Project # 000005977

Application: PC 2013-111

Request: Preliminary and Final Plat Approval for Prairie Village Shopping Center

Property Address: 71st Street and Mission Road

Applicant: Polsinelli Shughart PC

Current Zoning and Land Use: C-2 General Commercial District – Shopping Center

Surrounding Zoning and Land Use: **North:** R-1B – Single-family Dwelling District – Single family Dwellings
East: C-0 Office Building District – Church
C-2 General Commercial District – Shopping Center
South: R-1B – Single-family Dwelling District – Single family Dwellings
West: R-1B – Single-family Dwelling District – Single family Dwellings

Legal Description: Metes and Bounds

Property Area: 17.4 Acres

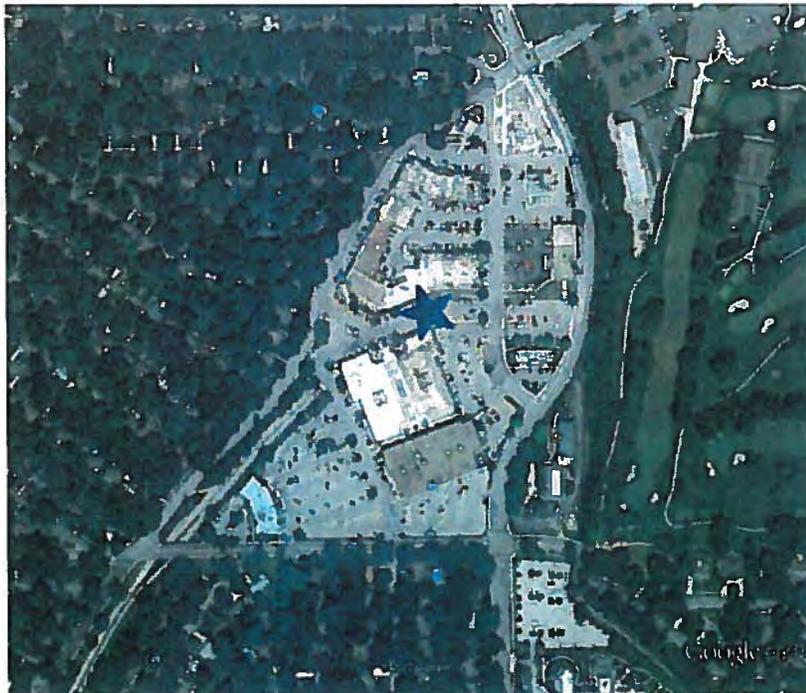
Related Case Files: PC 2012-114: Preliminary and Final Plat Approval (withdrawn)
PC 2012-113: Prairie Village Shopping Center Site Plan
PC 2012-08: CUP for Drive-Thru
PC 2011-115: Site Plan Approval Story Restaurant
PC 2007-112: Site Plan Approval Cactus Grill
PC 2006-108: Amendment to Sign Standards for Macy's
PC 2000-107: Approval of Revised Sign Standards
PC 1999-105: Site Plan Approval for Bank and Restaurant

Attachments: Application, Excerpts from CID Agreement, Trail Plan

General Location Map



Aerial Map



COMMENTS:

The Planning Commission considered the Preliminary and Final Plats last October and approved them. At that time it was a four lot Plat which included the UMB Bank and the Texaco Station. Apparently there were some misunderstandings and the Owners of the Texaco and UMB lots withdrew from the plat. At that time it was proposed to vacate Prairie Lane between Tomahawk and Mission Lane and Mission Lane between Tomahawk and Mission Road. With the withdrawal of the two property owners, the vacation will only be for Mission Lane between Prairie Lane and Mission Road. Prairie Lane and a portion of Mission Lane will remain public streets. The owner of Prairie Village Center, through a separate agreement with the City, will maintain the public right-of-way for Prairie Lane and the small portion of Mission Lane.

Preliminary Plat

The Preliminary Plat has been revised to include the information requested on the previous application. The only unresolved issue at this time are the trail easements.

Staff recommends approval of the Preliminary Plat subject to the applicant adding the trail easements along the east side of Mission Lane and on Tomahawk Road and resubmitting three copies of the revised document.

Final Plat

The Final Plat essentially has all the information on it that is required. The trail easements still need to be resolved.

The trail easements need to be shown on the plat for both Tomahawk Road and Mission Lane and in the dedication text.

As depicted in the master trail plan and as required in the CID agreement, the applicant has indicated they would prefer only language referencing to the possible dedication of the trails along Tomahawk and dedicate the easement on Mission Lane by separate instrument. The proposed trail would vary in width from six feet to eight feet.

The Tomahawk Trail is a City Project funded by the CID and the CID agreement contains clear language regarding the general location and design of the proposed trail. Therefore Staff is comfortable referencing the CID agreement on the face of the plat related to the Tomahawk Trail. This was included on the previous Final Plat, but left off of this submission.

Based on the proposed site plan, the applicant has not adequately addressed how the City would construct a trail on the east side of Mission Lane. Originally, the CID called for buildings to front along Mission Lane to accommodate a trail on Mission Road (i.e. the US Bank building would be replaced). With the proposed site plan, the overall concept of buildings fronting along Mission Lane has been revised to accommodate the Hen House expansion. Based on the site plan, it would be impossible for a trail to be constructed along Mission Road. Staff has proposed an alternative, that an eight foot wide trail be constructed along the east side of Mission Lane at the time it is redeveloped. With the redevelopment of the UMB Bank site, a 10 foot section of sidewalk was constructed along Mission Lane and Mission Road to accommodate a trail as per the Master Parks Trail Plan. There has been considerable discussion about the trail easement on the east side of Mission Lane. Staff has reviewed the Site Plan in the field and an eight foot wide trail could easily be accomplished. Therefore, an eight foot wide trail easement on the east side of Mission Lane needs to be shown on the Plat and in the dedication text. There is no need for a separate instrument.

The City Council has indicated they believe an 8' wide trail is appropriate and should be provided.

The existing KCP&L line crossing Lot 2 needs to be installed underground. Tract A needs to be dedicated as a utility and access easement in the text.

The text on Lot 1 UMB needs to be removed because it is not a part of this Plat.

RECOMMENDATION:

It is the recommendation of Staff that the Planning Commission approve the Final Plat of Prairie Village Shopping Center and forward it to the Governing Body subject to the following conditions:

1. That the trail easement for Tomahawk Road be noted as Section 7.04 of the CID Agreement be shown on the plat as it was on the previous Final Plat.
2. That an eight foot Trail Easement be shown on the east side of Mission Lane.
3. That the KCP&L line running across Lot 2 be installed underground.
4. That Tract A be dedicated as a utility and cross access easement in the text of the plat.
5. That the text on the UMB lot be removed.
6. That the applicant submit the Final Plat to the Johnson County surveyor for a review.
7. That the Final Plat as approved be revised and three copies submitted to the City for their records.

A. In General. Costs of the Trail Project shall be paid by the City, and actual costs incurred by the City, including Reimbursable Interest, but excluding any third party grant or other funding addressed in Subsection B of this Section, shall be reimbursed to the City, solely from revenues in the Village CID Trail Project Fund, as a CID Cost as provided in Section 4.03(C). It is anticipated that the City will design and construct the Trail Project along the east side of Tomahawk Road from 71st Street to Prairie Lane, as conceptually depicted on Exhibit H, and consistent with the easements described in Subsection E of this Section. To the extent that anything in this Agreement conflicts with the contents of Exhibit H, the language in this Agreement shall control.

B. Grant Funding. If the City receives any grant or other funding from third party sources, including, but not limited to, Mid-America Regional Council, the Kansas Department of Transportation, an agency of the federal government, or any other third party, that may be used to pay for Trail Project costs, the City may first use such funding to offset up to one hundred percent (100%) of the costs of extending the Trail Project along Tomahawk Road from Prairie Lane to Mission Road in a manner consistent with the design, scope, and construction of the Trail Project. Any remaining grant or other funding shall then be proportionately applied to offset costs of the Trail Project and other City projects for which the funding was awarded. CID Sales Tax revenues may only be used to reimburse the City for Trail Project costs after such costs are reduced by any grant or other funding amounts addressed in this Subsection.

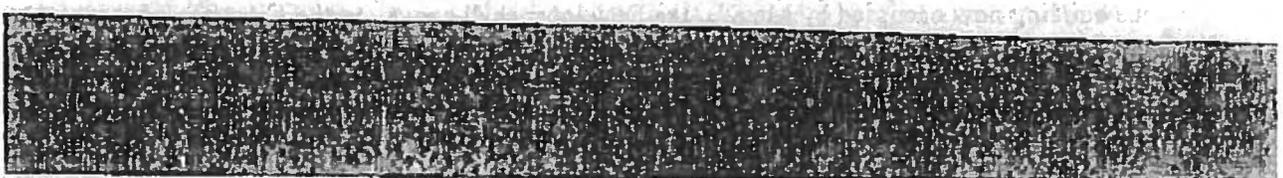
C. Maximum CID Reimbursable Cost. Notwithstanding anything to the contrary in this Agreement, reimbursement of Trail Project costs, excluding any associated Reimbursable Interest, with CID Sales Tax revenues shall not exceed \$350,000.00

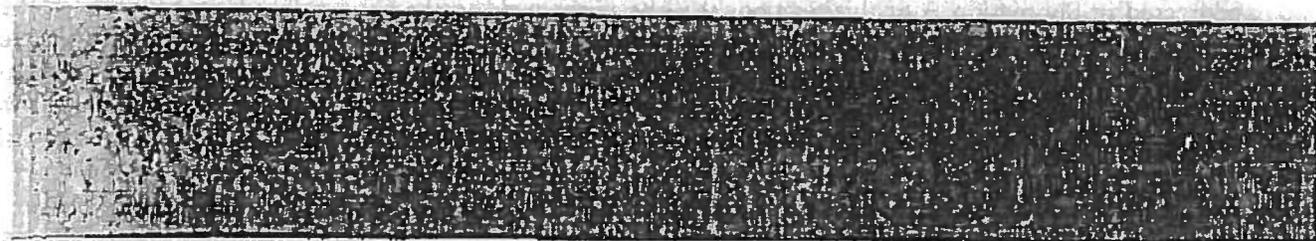
D. No Liability for Developer. In no event shall the Developer have any financial liability for the Trail Project, including but not limited to any financial liability or any other obligation with respect to any associated utility relocations.

E. Easements.

1. Phase A. For the portion of the Trail Project between 71st Street and the existing southern-most entrance to the west side of the Property, which is identified as "Phase A" on Exhibit H, the Developer shall convey to the City, free of charge, any necessary easement for the Trail Project, such easement not to exceed fifteen (15) feet in width from the outside edge of the existing curb on Tomahawk Road toward the interior of the Property.

2. Phase B. For the portion of the Trail Project between the existing southern-most entrance to the west side of the Property and the area with head-in parking stalls, which is identified as "Phase B" on Exhibit H, the Developer shall convey to the City, free of charge, any necessary easement for the Trail Project, such easement not to exceed three (3) feet from the





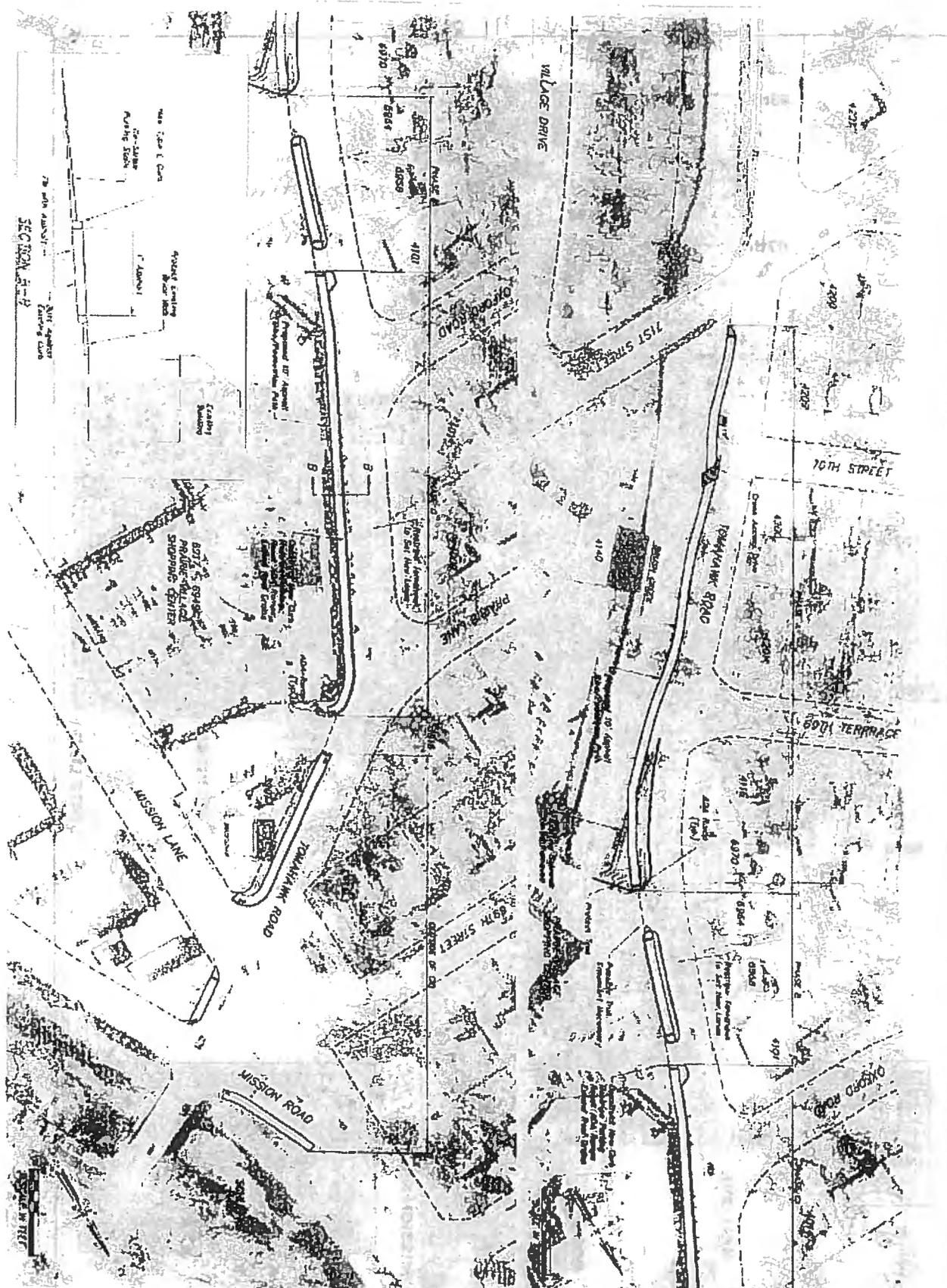
eastern edge of the existing sidewalk along Tomahawk Road (and from the prolongation of the existing sidewalk across the existing access drives) toward the interior of the Property. The City shall use reasonable, good faith efforts to coordinate and cooperate with the Developer in designing and constructing Phase B of the Trail Project to minimize loss of parking stalls, trees, and other fixtures, as well as in complimenting the timing of any plans by Developer to reconfigure the existing vehicular access points within the Phase B area. Notwithstanding anything in this Paragraph 2 to the contrary, such easement shall prohibit the City from disturbing any existing mature trees located within or without the easement area (other than trees located within City right of way, over which the City retains exclusive control), and the current ingress and egress to the Property from Tomahawk Road shall not be changed until the Developer determines to reconfigure such ingress and egress in its sole discretion, except that the City shall be permitted to make the modifications to such ingress and egress that are specifically depicted on **Exhibit H** without obtaining additional Developer consent.

3. **Phase C.** For the portion of the Trail Project between the area with head-in parking stalls and Prairie Lane, which is identified as "Phase C" on **Exhibit H**, the Developer shall convey to the City, free of charge, any necessary easement for the Trail Project from the outside edge of the existing curb located at the front of the parking stalls toward Tomahawk Road to the boundary of the Property. In no event shall the Trail Project, including any green space or other buffer, extend out more than eight (8) feet from the outside of the existing curb toward Tomahawk Road, unless Developer provides written consent in its sole discretion.

As a precondition of such easement conveyance by Developer, the City shall convey to the Developer, free of charge, any necessary easement to ensure that all of the existing head-in parking stalls within Phase C, once shifted back from the shopping center toward Tomahawk Road to accommodate the Trail located between the head-in parking stalls and the existing sidewalk, shall be located within a permanent easement provided by the City for use as a parking area.

4. **Mission Road.** At such time as Developer receives the City's final approval for a Site Plan that is acceptable to Developer and that anticipates the demolition and replacement of the building now occupied by Macy's, the Developer shall convey to the City, free of charge, any necessary easement for a bicycle and/or pedestrian trail, such easement not to exceed fifteen (15) feet in width from the outside edge of the existing curb on the west side of Mission Road between 71st Street and Mission Lane.

If Developer uses Bond Proceeds, or is reimbursed with revenues from the Village CID Developer Projects Fund, to renovate the existing Macy's building rather than replace such building, Developer shall convey to the City, free of charge, any necessary easement for a bicycle and/or pedestrian trail, such easement not to exceed eight (8) feet in width from the outside edge of the existing curb on the west side of Mission Road between 71st Street and Mission Lane. Additionally, under such circumstances, Developer will also work in good faith with the City to try to accommodate the City's desire for such easement to be as wide as ten (10) feet in width from the outside edge of the existing curb on the west side of Mission Road between 71st Street and Mission Lane.

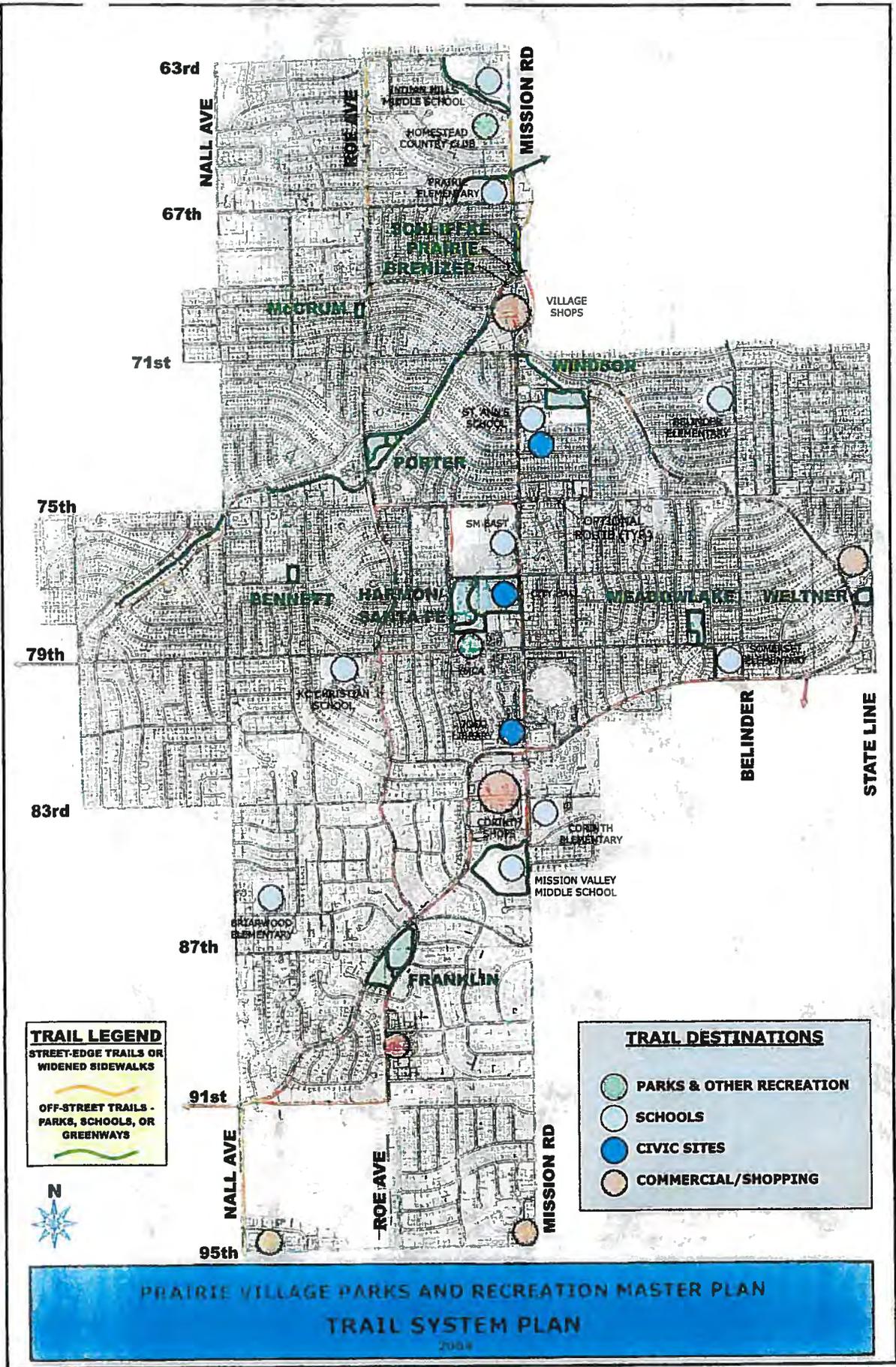


SECTION A-B

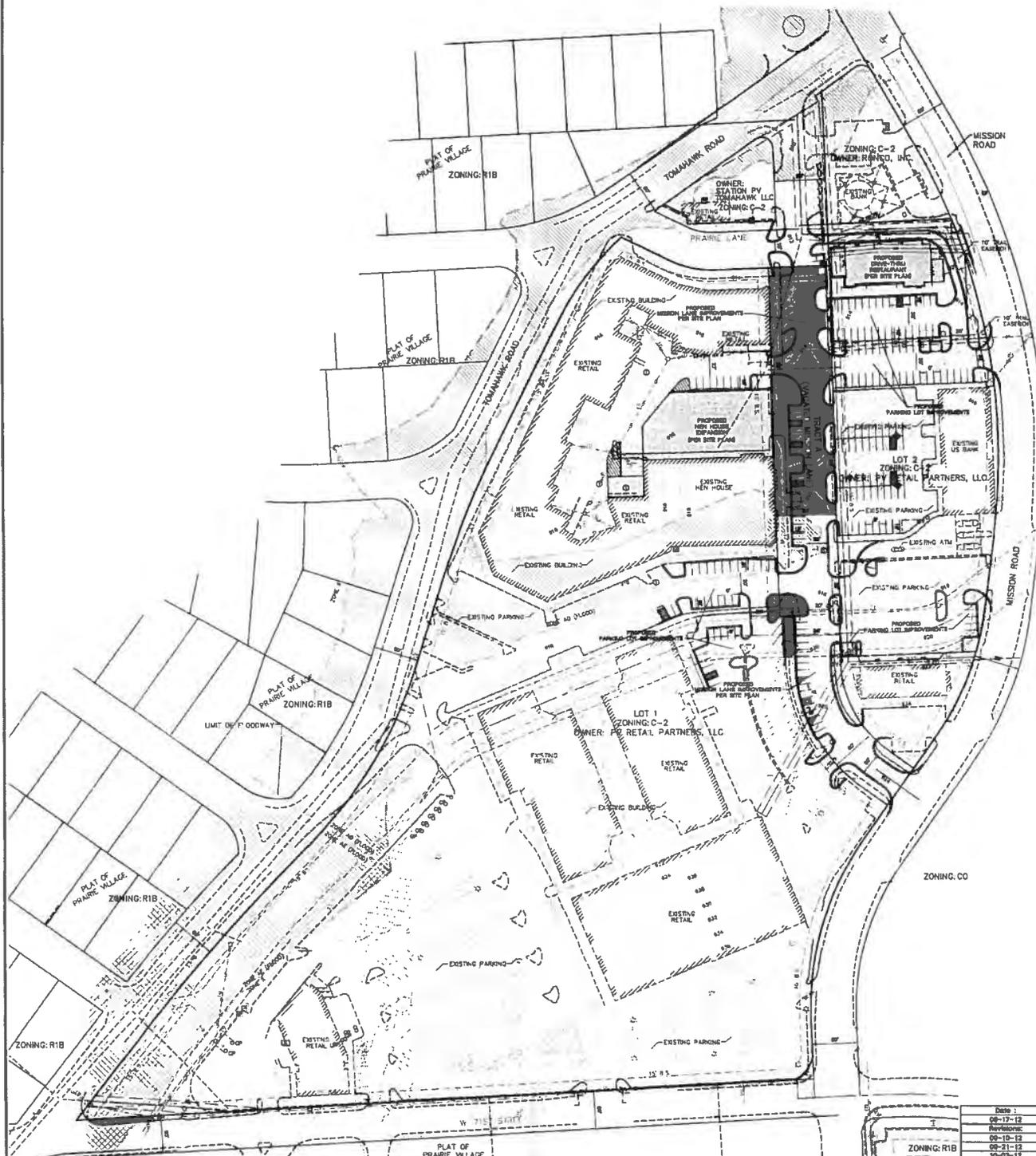
BRUSH CREEK TRAIL
 TOMAHAWK ROAD
 71ST STREET TO MISSION ROAD
 PRAIRIE VILLAGE, KANSAS

CONCEPT PLAN



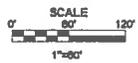
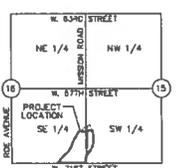


**PRELIMINARY PLAT OF
PRAIRIE VILLAGE SHOPPING CENTER**
SW 1/4, SEC. 15 & SE 1/4, SEC. 16 - Twp. 12 S. - Rge. 25 E.
PRAIRIE VILLAGE, JOHNSON COUNTY, KANSAS



- LEGEND:**
- OMP - OVERHEAD POWER
 - OHT - OVERHEAD TELEPHONE
 - LP - LIGHT POLE
 - TMH - TELEPHONE MANHOLE
 - EM - ELECTRIC METER
 - SM - SEWER MANHOLE
 - EB - ELECTRIC BOX
 - TS - TRAFFIC SIGNAL
 - TSSB - TRAFFIC SIGNAL BOX
 - TSM - TRAFFIC SIGNAL MANHOLE
 - KMH - KOPF MANHOLE
 - TP - TELEPHONE PEDESTAL
 - TB - TELEPHONE BOX
 - PP - POWER POLE
 - WV - WATER VALVE
 - FH - FIRE HYDRANT
 - WM - WATER METER
 - FP - FENCE POST
 - BH - BORE HOLE
 - GM - GAS METER
 - CT - CABLE TV
 - MB - MARLBOR
 - CI - CURB INLET
 - DI - DROP INLET
 - FI - FIELD INLET
 - GP - GUARD POST
 - LS - LANDSCAPING
 - TR - TREE
- UTILITY LINES
 - EXISTING OVERHEAD POWER
 - EXISTING GAS
 - EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - EXISTING WATER LINE
- CONTOURS
 - EXISTING INDEX CONTOURS
 - EXISTING INTERMEDIATE CONTOURS
- EASEMENTS
 - STORM DRAINAGE EASEMENT
 - WATER EASEMENT
 - SANITARY SEWER EASEMENT
 - UTILITY EASEMENT
 - WATER EASEMENT

AREA TABLE		
LOT NUMBER	SQUARE FEET	ACRES ±
LOT 1	824,811	14.34
LOT 2	133,628	3.07
TRACT A	33,198	1.22
TOTAL	811,637	18.63



Date: 09-17-12
 Revisions: 09-10-12
 09-21-12
 10-03-12
 10-10-12
 03-19-13

Surveyed By: N/A
 Reviewed By: JFB
 Drafted By: JFB
 Luten Project No.: 12078

LUTJEN

1311 S. Highway #10
 Shawnee, MO 64158
 P: 913.241.1333
 F: 913.241.1334
 www.luten.com

Sheet No.:
 2 of 2

Location: L:\Projects\12078 - Prairie Village Shopping Center Prelim Plat-2.dwg

**FINAL PLAT OF
PRAIRIE VILLAGE SHOPPING CENTER
SW 1/4, SEC. 16 & SE 1/4, SEC. 16 - Twp. 12 S. - Rge. 25 E.
PRAIRIE VILLAGE, JOHNSON COUNTY, KANSAS**

DEDICATION:
The undersigned of the above described tract of land has caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision and plat shall hereinafter be known as:

"PRAIRIE VILLAGE SHOPPING CENTER"

The undersigned, the owner of property described on the plat, and its successors and assigns, hereby dedicates all easements as shown on the accompanying plat.

MAINTENANCE OF TRACTS:
Tract "A" (1.22 Acres) shall be maintained in good repair and condition by the Owners of Lots 1 and 2 for vehicular and pedestrian access and utility easements.

CROSS ACCESS:
A non-exclusive, appurtenant cross access easement over TRACT A is hereby granted to the general public for the benefit of Lots 1 and 2 to allow pedestrian and vehicular ingress and egress from such lots to public streets.

STORM DRAINAGE EASEMENT (OPEN CHANNEL):
A storm water drainage easement, as depicted on page 2 of this plat, which consists of a portion of open channel, is hereby granted to the City of Prairie Village for the purpose of storm water drainage, provided that the City of Prairie Village shall be obligated to maintain and repair the open channel portion of the easement area. This storm water drainage easement is subject to the same terms and conditions as those described in the Drainage Easement recorded on Document No. 2422833 as depicted on page 2 of this plat.

PROPERTY OWNER MAINTAINED DRAINAGE AREA:
A 60-foot wide storm water drainage area (the "Property Owner Maintained Drainage Area"), as depicted on page 2 of this plat, which consists of a portion of enclosed storm water culvert is hereby granted to the City of Prairie Village for the purpose of storm water drainage provided that the owners of Lots 1 and 2 and Tract A shall maintain the Property Owner Maintained Drainage Area in good repair and in a fully functional condition. On or before May 1 on a biennial basis, each owner shall submit a certification from a professional engineer licensed in the State of Kansas to the Director of Public Works indicating that the Property Owner Maintained Drainage Area is in good repair and fully functional.

If the City reasonably determines that the Property Owner Maintained Drainage Area requires repair or maintenance, including removal of debris, the City shall provide written notice to such owners indicating the necessary repair or maintenance. If such owners do not repair or perform such maintenance within a reasonable period of time, the City may perform the required maintenance or repair and such owners shall reimburse the City for the reasonable cost of such work in undertaking any such repairs or maintenance. The City shall have no liability associated with the Property Owner Maintained Drainage Area.

VACATION OF RIGHT-OF-WAY:
The public road right-of-way of Mission Lane, as now known as Tract A, is hereby vacated with this plat, and all interest and rights therein of the City of Prairie Village, Kansas, are hereby released.

SANITARY SEWER EASEMENT:
An easement or license to lay, construct, alter, repair, replace and operate one or more sewer lines and all appurtenances connected to the collection of sanitary sewage, together with the right of ingress and egress, over and through those areas designated as "Sanitary Sewer Easement" on "S" on this plat is hereby dedicated to the Johnson County Unified Wastewater District or its assigns.

PLAT DESCRIPTION:

A tract of land in the Southwest Quarter of Section 16 and the Southeast Quarter of Section 16 Township 12 South, Range 25 East, in the City of Prairie Village, Johnson County, Kansas being shown and described as follows:
Commencing at the Southwest Corner of said Southwest Quarter; thence South 89°26'33" West, along the South line of said Southwest Quarter, 31.82 feet; thence North 0°02'30" East, 26.00 feet to a point on the North right-of-way line of 71st Street, as now established; said point being the Point of Beginning of the tract of land to be hereinafter described; thence South 86°56'25" West, along said North right-of-way line, 253.29 feet to a point on the Eastern right-of-way line of "Mission Lane" as now established; thence Northwesterly, along said Eastern right-of-way line, along a curve to the right having an initial tangent bearing of North 37°53'15" East with a radius of 2,317.00 feet, a central angle of 0°17'50" and an arc distance of 12.28 feet; thence North 37°53'15" East, continuing along said Eastern right-of-way line, 133.89 feet; thence Northwesterly, continuing along said Eastern right-of-way line, along a curve to the right being tangent to the last described course with a radius of 2,513.00 feet, a central angle of 0°33'00" and an arc distance of 246.78 feet; thence North 41°29'00" East, continuing along said Eastern right-of-way line, 161.27 feet; thence Northwesterly, continuing along said Eastern right-of-way line, along a curve to the left being tangent to the last described course with a radius of 588.00 feet, a central angle of 28°03'00" and an arc distance of 259.24 feet; thence North 17°20'27" East, continuing along said Eastern right-of-way line, 125.58 feet; thence Northwesterly, continuing along said Eastern right-of-way line, along a curve to the right being tangent to the last described course with a radius of 1,180.00 feet, a central angle of 0°02'30" and an arc distance of 194.56 feet; thence North 20°43'27" East, continuing along said Eastern right-of-way line, 185.33 feet; thence Northwesterly, continuing along said Eastern right-of-way line, along a curve to the right being tangent to the last described course with a radius of 280.00 feet, a central angle of 22°36'46" and an arc distance of 136.71 feet to a point on the Southern right-of-way line of "Mission Lane", as now established; thence South 63°53'31" East, along said Southern right-of-way line, 71.03 feet; thence Easterly, continuing along said Southern right-of-way line, along a curve to the left being tangent to the last described course with a radius of 122.00 feet, a central angle of 28°12'24" and an arc distance of 61.92 feet; thence North 87°43'54" East, continuing along said Southern right-of-way line, 149.40 feet to a point on the East right-of-way line of Mission Lane, as now established; thence North 02°16'50" West, along said East right-of-way line, 34.50 feet to the Southwest Corner of Lot 1, DUB PRAIRIE VILLAGE BRANCH BANK, a subdivision of said said Prairie Village, Johnson County, Kansas, thence North 37°14'08" East, along the South line of said Lot 1, 164.27 feet to the Southeast corner of said Lot 1, and point being on the Western right-of-way line of Mission Lane, as now established; thence Southerly, along said Western right-of-way line, along a curve to the right having an initial tangent bearing of South 27°12'37" East with a radius of 833.80 feet, a central angle of 0°02'30" and an arc distance of 424.80 feet; thence South 07°05'50" West, continuing along said Western right-of-way line, 101.51 feet; thence Southerly, continuing along said Western right-of-way line, along a curve to the right being tangent to the last described course with a radius of 380.00 feet, a central angle of 28°03'00" and an arc distance of 188.70 feet; thence South 35°15'30" West, continuing along said Western right-of-way line, 162.03 feet; thence Southerly, continuing along said Western right-of-way line, along a curve to the left having an initial tangent bearing of South 35°15'31" West with a radius of 293.00 feet, a central angle of 37°13'27" and an arc distance of 258.75 feet; thence South 02°16'08" East, continuing along said Western right-of-way line, 48.78 feet; thence South 24°28'33" West, continuing along said Western right-of-way line, 19.20 feet; thence South 47°11'15" West, continuing along said Western right-of-way line, 17.27 feet to the Point of Beginning. Containing 811,837 square feet or 18.63 acres, more or less.

SURVEYORS NOTES:

- The plat and Easement information furnished by Chicago Title Insurance Company, Commitment Number 20121953, with an effective date of July 9, 2012 at 8:00 a.m.
- All easements referenced in the above referenced plat commitment that affect the Subject Property have been shown and noted herein.
- Readings used herein are based on the Kansas State Plane Coordinate System, North Zone (NAD 83 Datum).
- The Subject Property has partially within Zone AD (Floor depths of 1 to 3 feet, average depths determined. For areas of shallow foundation, velocities are determined), Zone AC (Base rock elevations determined), and Zone AB (Average elevations determined to be outside of the 0.2% annual chance floodplain), as determined by Flood Insurance Rate Map number 20001C00240 with an effective date of August 3, 2009.
- Area of Subject Property is 811,837 square feet or 18.63 acres, more or less.

6. Tract "A" is hereby granted as a General Utility Easement for utilities franchised in the City of Prairie Village, Johnson County, Kansas, to enter, upon, construct, maintain, use, and authorize the location of conduits for providing gas, water, sewer, electric, sewer, and other utility services, including related facilities and appurtenances, subject to such easement holders obligation to restore the surface of the easement property and return property to a condition in which it was found before such work was undertaken.

BOUNDARY CLOSURE REPORT:	BOUNDARY CLOSURE REPORT (CONTINUED):
North: 261564.4835' East: 2769942.5984'	End North: 261383.7731' East: 226676.9218'
Course: 52°07'06" S 50.00' W Length: 101.5081'	Course: N17°20'07" E 125.58' W Length: 125.5800'
North: 261483.7609' East: 226930.0277'	North: 261503.6490' East: 2269214.3329'
Length: 188.700' Radius: 380.000'	Length: 184.550' Radius: 1686.000'
Bearing: 02°19'01" W Tangent: 93.2784'	Bearing: 00°32'30" W Tangent: 07.4927'
Chord: 184.341' Course: S21°11'20.50" W	Course: N22°01'37.00" E
Course In: N62°13'10.00" W Course Out: S54°44'09.00" E	Course In: S72°39'53.00" E Course Out: N83°16'53.00" W
RP North: 261510.6209' East: 226955.9530'	RP North: 261148.6933' East: 2270348.3780'
End North: 261291.4293' East: 226986.2225'	End North: 261883.8050' East: 2269287.2263'
Course: S35°15'58.15" W Length: 162.030'	Course: N08°43'07.00" E Length: 183.331'
North: 261159.1349' East: 2269798.6706'	North: 261848.2474' East: 2268376.5218'
Length: 258.751' Radius: 355.000'	Length: 136.710' Radius: 300.000'
Bearing: 02°17'51" W Tangent: 134.209'	Bearing: 02°02'56" W Tangent: 59.102'
Course In: S24°44'09.00" E Course Out: S87°43'34.00" W	Course In: S83°16'53.00" E Course Out: N42°10'08.52" W
RP North: 260831.8228' East: 2270033.1875'	RP North: 261678.4936' East: 2269729.8784'
End North: 260785.1499' East: 2269697.4970'	End North: 261897.3052' East: 2269452.4314'
Course: S27°16'09.28" E Length: 49.783'	Course: S63°33'03.00" E Length: 71.030'
North: 260865.8987' East: 2269619.5125'	North: 261826.5387' East: 2269516.2097'
Length: 10.200'	Length: 61.925' Radius: 125.000'
North: 262848.2245' East: 2269591.5125'	Bearing: 02°16'50" W Tangent: 31.611'
Course: S49°11'15.28" W Length: 17.270'	Course: S78°20'34.50" E
North: 260836.9377' East: 2269878.4424'	RP North: N28°06'57.00" E Course Out: S02°18'06.00" W
Course: S60°56'35.00" W Length: 953.000'	RP North: 261867.2741' East: 2269571.2331'
North: 260790.1109' East: 2269728.7086'	End North: 261913.9146' East: 2269692.8008'
Length: 12.284' Radius: 2370.000'	Course: N87°43'54.00" E Length: 149.403'
Bearing: 02°07'50" W Tangent: 8.147'	North: 261918.9982' East: 2269728.4665'
Chord: 12.294' Course: N37°42'13.00" E	Course: N02°16'53.24" W Length: 54.547'
Course In: S52°26'42.00" E Course Out: N52°08'52.00" W	North: 261974.3908' East: 2269273.2827'
RP North: 229241.2421' East: 2270653.3702'	Course: N87°41'08.00" E Length: 184.273'
End North: 260785.8320' East: 2269732.9278'	North: 261881.6282' East: 2269483.4918'
Course: N37°51'08.00" W Length: 133.890'	Length: 424.804' Radius: 833.000'
North: 260901.3539' East: 2268816.3837'	Bearing: 02°19'29" W Tangent: 217.163'
Length: 246.781' Radius: 2910.000'	Course: S20°12'34.56" E
Bearing: 02°03'00" W Tangent: 123.491'	Course In: S87°47'21.26" W Course Out: S87°53'10.00" E
Course: S24°864' Course: N46°40'08.00" W	RP North: 262038.8789' East: 2269571.2331'
Course In: S52°08'52.00" E Course Out: N46°33'52.00" W	End North: 261864.2682' East: 2269692.8008'
RP North: 259361.3502' East: 2270798.2897'	RP North: N28°06'57.00" E Course Out: S02°18'06.00" W
End North: 261088.6611' East: 2268677.1445'	End North: 261867.2741' East: 2269571.2331'
Course: N43°20'02.00" E Length: 101.5081'	Course: N02°16'53.24" W Length: 54.547'
North: 261162.1344' East: 2269048.8329'	Course: N87°43'54.00" E Length: 149.403'
Length: 259.240' Radius: 588.000'	North: 261918.9982' East: 2269728.4665'
Bearing: 02°02'30" W Tangent: 131.918'	Course: N02°16'53.24" W Length: 54.547'
Chord: 258.998' Course: N30°24'33.50" E	North: 261974.3908' East: 2269273.2827'
Course In: N46°33'52.00" W Course Out: S72°39'53.00" E	Course: N87°41'08.00" E Length: 184.273'
RP North: 261563.9150' East: 2268624.7217'	North: 261881.6282' East: 2269483.4918'
End North: 261383.7731' East: 226976.9218'	Length: 424.804' Radius: 833.000'

OWNERSHIP EXECUTION:
IN WITNESS WHEREOF: PV RETAIL PARTNERS, L.L.C. or Kansas Limited Liability Company, has caused the instrument to be executed this _____ day of _____, 2013.

PV RETAIL PARTNERS, L.L.C. - OWNERS OF LOTS 1 AND 2
BY: LANGUARA RETAIL PROPERTIES, L.L.C. a Kansas Limited Liability Company, its Sole Member

WILLIAM D. COSENTINO, MANAGER DAN W. COSENTINO, MANAGER

STATE OF _____ SS: COUNTY OF _____

Do I hereby certify that on this _____ day of _____, 2013, before me, the undersigned, a Notary Public in and for the County of _____, Kansas, WILLIAM D. COSENTINO and DAN W. COSENTINO, the persons whose names are set forth in the foregoing instrument, did appear before me as Managers of LANGUARA RETAIL PROPERTIES, L.L.C. a Kansas Limited Liability Company, and that said instrument was signed in behalf of said Limited Liability Company by said WILLIAM D. COSENTINO and DAN W. COSENTINO, who appeared and acknowledged to me to be the free and true and legal and validly acting Managers.

IN WITNESS WHEREOF: I have hereunto set my hand and affixed my Notarial Seal the day and year last above written.

Notary Public _____ My commission Expires _____
Print Name _____

APPROVALS:
APPROVED by the Planning Commission of the City of Prairie Village, Johnson County, Kansas, this _____ day of _____, 2013.

Ken Vaughn, Chairman Joyce Hogen Mundy, Secretary

The Governing Body of the City of Prairie Village, Kansas does hereby certify the public easements, way of land and approves the public street vacations contained herein, this _____ day of _____, 2013.

Ronda L. Shaffer, Mayor Joyce Hogen Mundy, City Clerk

Date of Survey:
07-31-12
Revised:
08-11-12
09-20-12
10-04-12
12-06-12
02-06-13

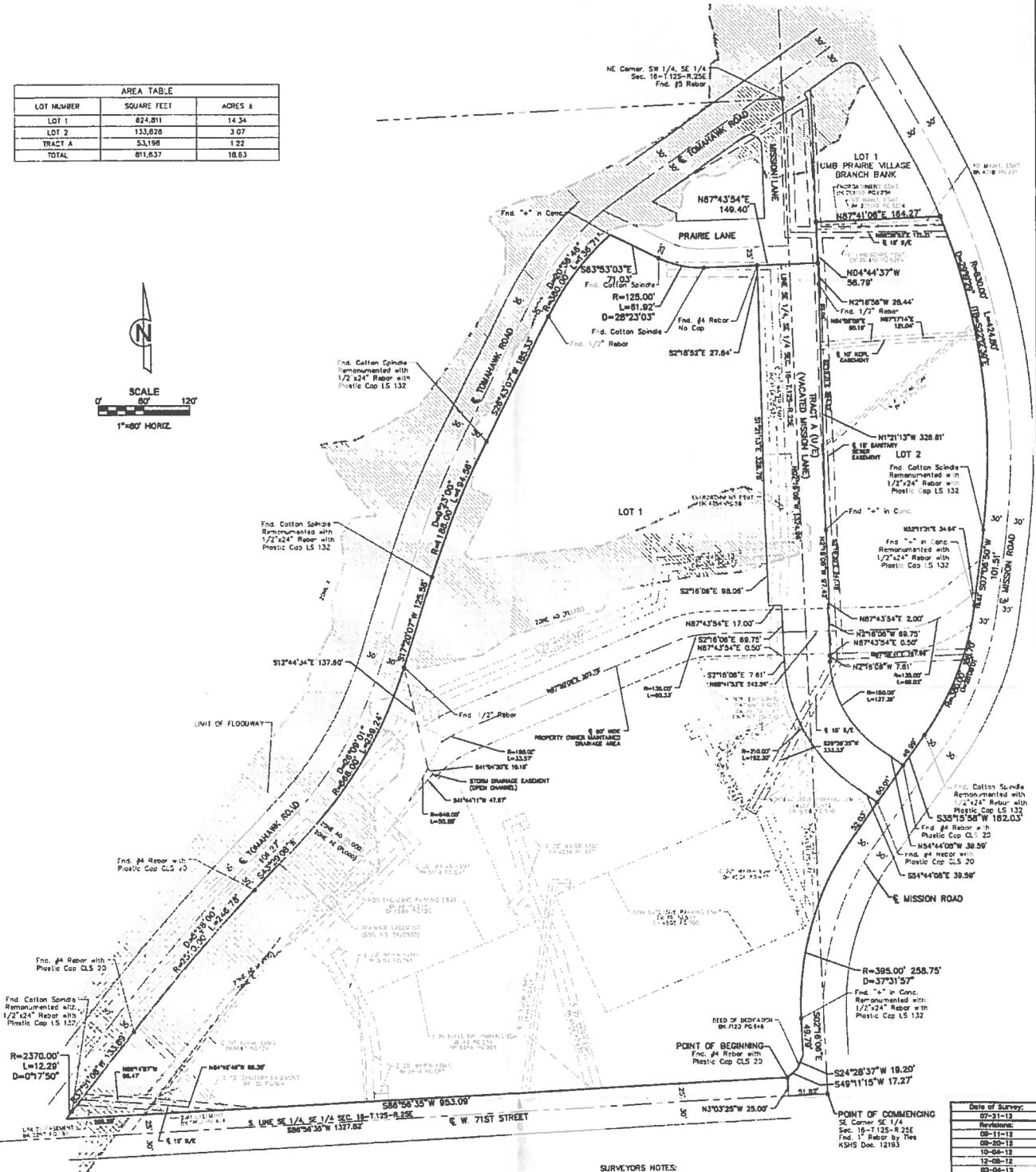
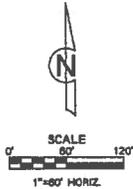
Surveyed By: JS
Reviewed By: JSM
Drafted By: JAMB
Lutjen Project No.: 12079

LUTJEN
181 Indiana, #100
Burlington, MO 64514
PH: 660.225.1000
FAX: 660.225.1001
www.lutjen.com

JASON S. ROUBENSHAW, PLS #113
Date: March 4, 2013
jason@lutjen.com

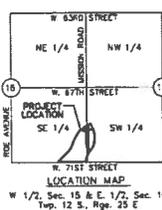
**FINAL PLAT OF
PRAIRIE VILLAGE SHOPPING CENTER**
SW 1/4, SEC. 15 & SE 1/4, SEC. 16 - Twp. 12 S. - Rge. 25 E.
PRAIRIE VILLAGE, JOHNSON COUNTY, KANSAS

AREA TABLE		
LOT NUMBER	SQUARE FEET	ACRES ±
LOT 1	274,811	14.34
LOT 2	133,628	3.07
TRACT A	53,198	1.22
TOTAL	811,637	18.63



PLAT LEGEND

EASEMENTS	SURVEY MARKERS
U.E. Utility Easement	□ Found Section Corner (Monumentation as noted)
S.E. Sanitary Sewer Easement	○ Found Property Corner (Monumentation as noted)
B.S. Building Setback	● Set #4 Rebar with plastic cap in concrete
S.W.C. Sidewalk Easement	



- SURVEYORS NOTES:**
- Title and Easement information furnished by Chicago Title Insurance Company, Government Number 20121953, with an effective date of July 9, 2012 at 8:00 a.m.
 - All easements referenced in the above referenced title commitment that affect the Subject Property have been shown and noted herein.
 - Bearings used herein are based on the Kansas State Plane Coordinate System, North Zone (NAD 83 Datum).
 - The Subject Property lies partially within Zone AD (Flood depths of 1 to 3 feet, average depths determined. For areas of elevated flood depths, see determination), Zone AC (Base flood elevations determined), and Zone X (Areas determined to be outside the 0.2% annual chance floodplain), as determined by Flood Insurance Rate Map number 22091C00240 with an effective date of August 3, 2009.
 - Area of Subject Property = 811,637 square feet or 18.63 acres, more or less.

CERTIFICATION:
This plat and survey of "PRAIRIE VILLAGE SHOPPING CENTER" was executed by Lutjen, Inc. 1301 Burlington, #100, North Kansas City, Missouri 64116.

I HEREBY CERTIFY that the Plat of "PRAIRIE VILLAGE SHOPPING CENTER" subdivision is based on an actual survey made by me or under my direct supervision on July 31, 2012.

JASON S. ROUDERUSH, KS PLS 1415
Date: March 4, 2013
j.rouderush@lutjen.com

Date of Survey:	07-31-12
Revisions:	08-11-12
	09-20-12
	10-04-12
	12-08-12
	03-04-13

Surveyed By: JS
Reviewed By: JSR

Drafted By: JAMS

Lutjen Project No.: 12076



LUTJEN

1301 Burlington #100
North Kansas City, MO 64116
Phone: 816.451.1200
Fax: 816.451.1201
www.lutjen.com

Surveying
Planning
Engineering
Multidisciplinary Solutions

Sheet No.:
2 of 2

Lutjen, Inc. Project No. 12076 - Prairie Village Shopping Center Plat (03/13/13)



VIA HAND DELIVERY AND EMAIL

March 28, 2013

Mr. Dennis Enslinger
The City of Prairie Village
7700 Mission Road
Prairie Village, KS 66208

RE: Standee's -- 3935 & 3939 W. 69th Terrace, Prairie Village, KS

Dear Mr. Enslinger:

PV Retail Partners, LLC is currently in the process of updating the sign criteria for The Village Shops. We have drafted the criteria and are in the process of finalizing drawings and examples to include with our submission. We have every intention of having the updated criteria submitted to the City prior to the deadline for the May 7th meeting of April 5, 2013. Standee's is anticipating an opening date of early May. If the sign criteria won't be approved until May 7th, at the earliest, Standee's will not have enough time to obtain their sign permit and install signage prior to their opening date. The ownership and Standee's would appreciate expediting the City's approval for the attached sign criteria. Thank you, in advance, for your help.

If you should have any questions, please do not hesitate to contact me.

Sincerely,



Kylie Stock

PROJECT DESCRIPTION

LOCATION: 3935 W. 69th Terrace, PV, KS
TENANT TYPE: Mid Size Anchor
TENANT SIZE: 14,000sf
ZONING: C-2
EFFECTIVE DATE: January 21, 2013
SIGN TYPES: Sign types are described below.
Signs shall comply with Prairie Village Zoning Ordinance.
TENANT: Dineplex International
Frank Rash; 816.268.7819; frash@dineplex.com
ARCHITECT: DeGasperi & Associates Architecture
Jeff DeGasperi; 913.647.5300; jeff@daikc.com

PROPOSED SIGN TYPES

'SPANDREL' SIGN **GENERAL:**
Spandrel Signs shall comply with development standard for tenant signout within the spandrels located throughout the center.

TYPE:
Current standard: 'die-cut' individual letters cut into the wood fascia. Internally lit, with white translucent front face.

NUMBER OF SIGNS:
Three wall signs, no more than one per façade.

SIZE:
Maximum sign area shall not be larger than 10% of the building façade area. Maximum height of letters in the body of the sign shall be 18.

LETTER STYLE:
No limitations.

LOGOS:
Logos are permitted.

TOWER SIGN **GENERAL:**
The primary sign planned for the tower is unique to Standees, and it's stature as a larger tenant in the development. The sign panel and logo sign is integral to the design. Sign is supplemental to standard wall/spandrel signs allowed.

Standees, Village Shopping Center**LOGO SIGN:**

Option 1: Halo lit individual "S" logo. Metal construction with deep side returns, pin mounted. Color complementary to façade materials.

Option 2: Metal Channel letter, internally lit, with translucent front face and solid sides. Colors shall be complementary to façade materials.

TENANT NAME:

Option 1: Tenant name in individual channel letters below the logo, as part of the overall sign composition. Letters shall be dimensional solid letters, pin mounted.

Option 2: Tenant name on metal can sign, with internally lit letters; die cut or mounted individually on the can. Colors shall be complementary to façade materials.

SIZE:

Logo is approx 4' high. Overall sign area is 35sf.

POSTER BOX**GENERAL:**

The framed poster box assemblies are unique to Standees, and it's operation as a theatre. The elements are used to enliven the pedestrian experience in the walkways around the building, and advertise the movies playing or coming soon.

TYPE:

Each poster box assembly is comprised of one (or two) prefabricated poster "light boxes", with a wide metal frame, projected 4" from the building face.

POSTER BOX:

4" deep metal box, with internally lit glass-face. Movie posters are inserted behind the glass for illuminated display. Standard sizes are used; average size is 35"w x 55"h, or up to 52"w x 76"h for 'bus stop' size.

METAL FRAME:

4" deep surround, width and height per drawings. Clad in clear anodized aluminum to match building standard window frames and doors.

LOCATIONS:

3 on west façade, 1 on north façade, 1 on east façade. Refer to elevations.

VINYL DOOR SIGN**GENERAL:**

Vinyl applications on main entry door glass; for identification of the tenant, and may include hours of operation or other pertinent information.

TYPE:

Individual vinyl letters and logos. One sign per entry door. No color limitations.

SIZE:

4sf maximum.

Standeeds, Village Shopping Center

BLADE SIGN

GENERAL:

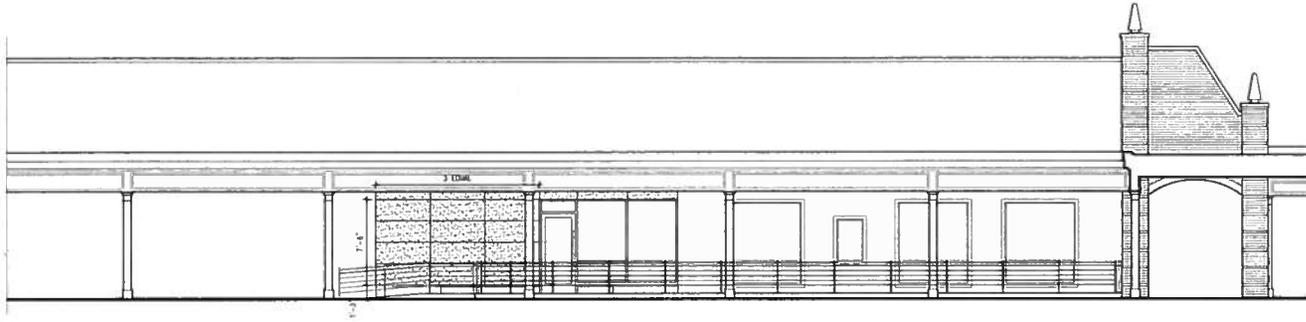
A blade sign is to provide wayfinding and tenant identification for pedestrians under the canopies. Signs shall be of standard and consistent design throughout the Development. They may be hung or mounted under permanent canopies, identifying each business with an exterior ground floor entry. Sign(s) shall be oriented toward pedestrians.

TYPE:

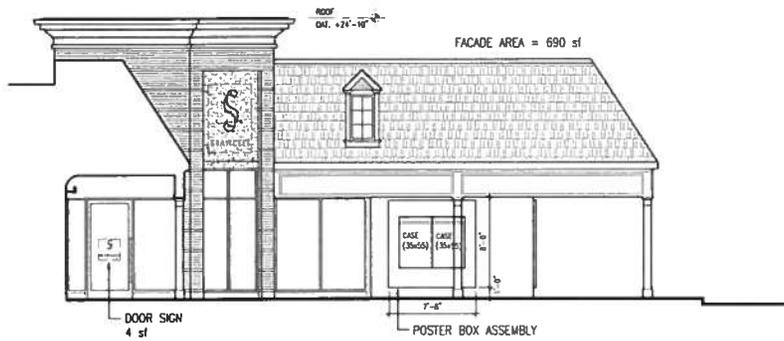
Solid panels, non-illuminated, with vinyl, plastic or metal individual letters or logos. Suspended or mounted below ceiling of the canopy.

SIZE:

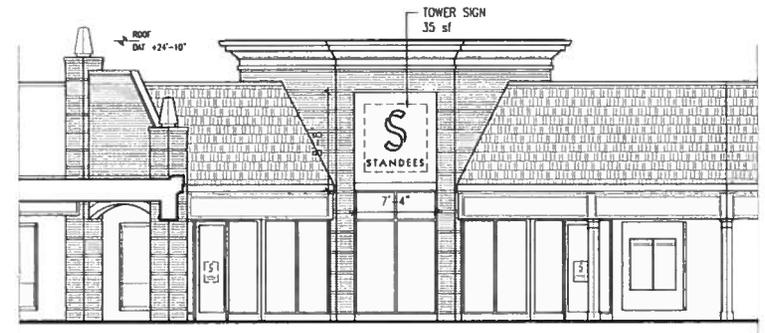
Not to exceed 3 sq ft in sign area per face; one per façade.



East Elevation at Mall



East Elevation at Plaza



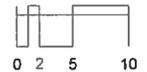
NorthEast Elevation at Plaza

STANDEES
THE ENTERTAINING EATERY

The Village Shopping Center, 3935 W. 69th Terrace, Prairie Village, Kansas

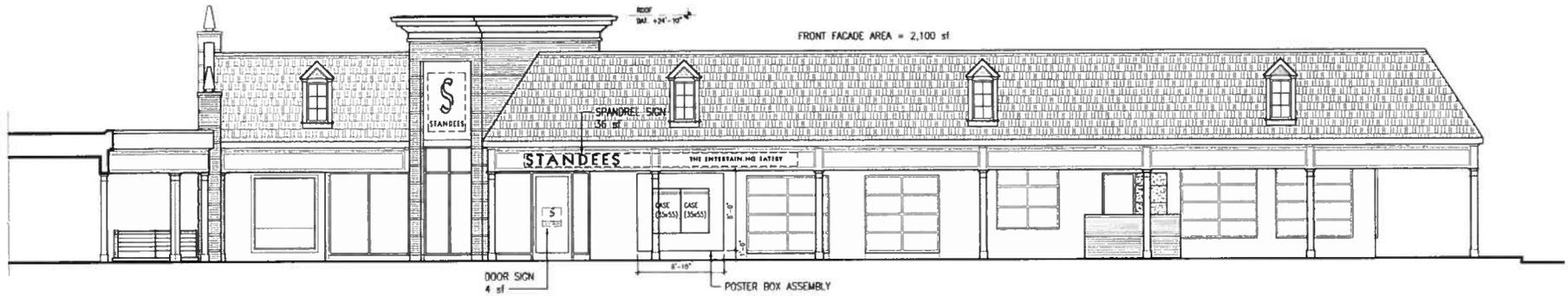
Building Elevations

January 21, 2013



INEPLEX

DeGasperi & Associates Architecture / Studio Neue / Cinegenisis



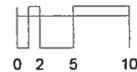
North Elevation



West Elevation

Building Elevations

January 21, 2013



STANDEES
THE ENTERTAINING EATERY

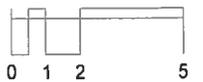
DINEPLEX

The Village Shopping Center, 3935 W. 69th Terrace, Prairie Village, Kansas

DeGasperi & Associates Architecture / Studio Neue / Cinegenesis



Tower Sign
January 21, 2013



STANDEES
THE ENTERTAINING EATERY

3935 W. 69th Terrace, Prairie Village, Kansas

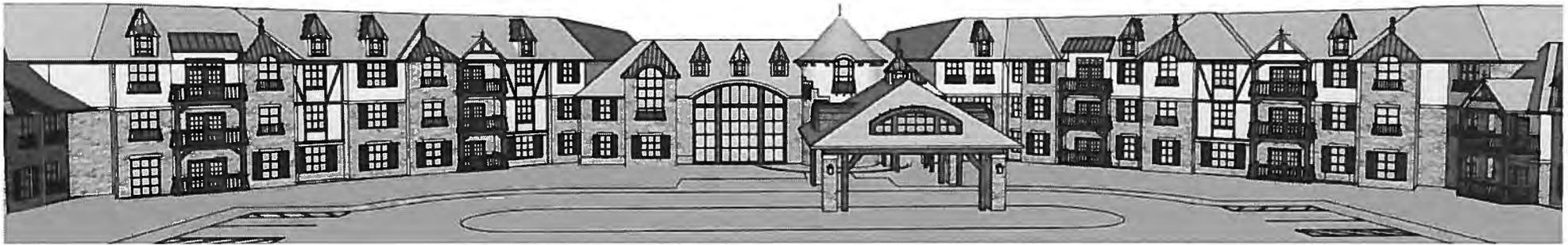
INEPLEX

DeGasperi & Associates Architecture

**PLANNING COMMISSION WORK SESSION AGENDA
CITY OF PRAIRIE VILLAGE
TUESDAY, APRIL 2, 2013
INDIAN HILLS MIDDLE SCHOOL
6400 MISSION ROAD**

**Immediately Following
Regular Commission Meeting**

**Presentation on proposed development of 8500 Mission Road -
"Mission Chateau Senior Center
Representatives of Tutera Family Communities &
Polsinelli Shughart**



Owner
 The Tutera Group
 7611 State Line Road
 Kansas City, MO 64111
 P: 816.444.0900
 F: 816.822.0081

Architect
 Hoefler Wysocki Architects
 11740 Tomahawk Creek Parkway
 Leawood, KS 66211
 P: 913.307.3700
 F: 913.307.3710

Civil/ Landscape
 Olsson Associates
 7301 West 133rd Street, Suite 200
 Overland Park, KS 66213
 P: 913.381.1170
 F: 913-381-1174



HOEFER WYSOCKI
Architecture

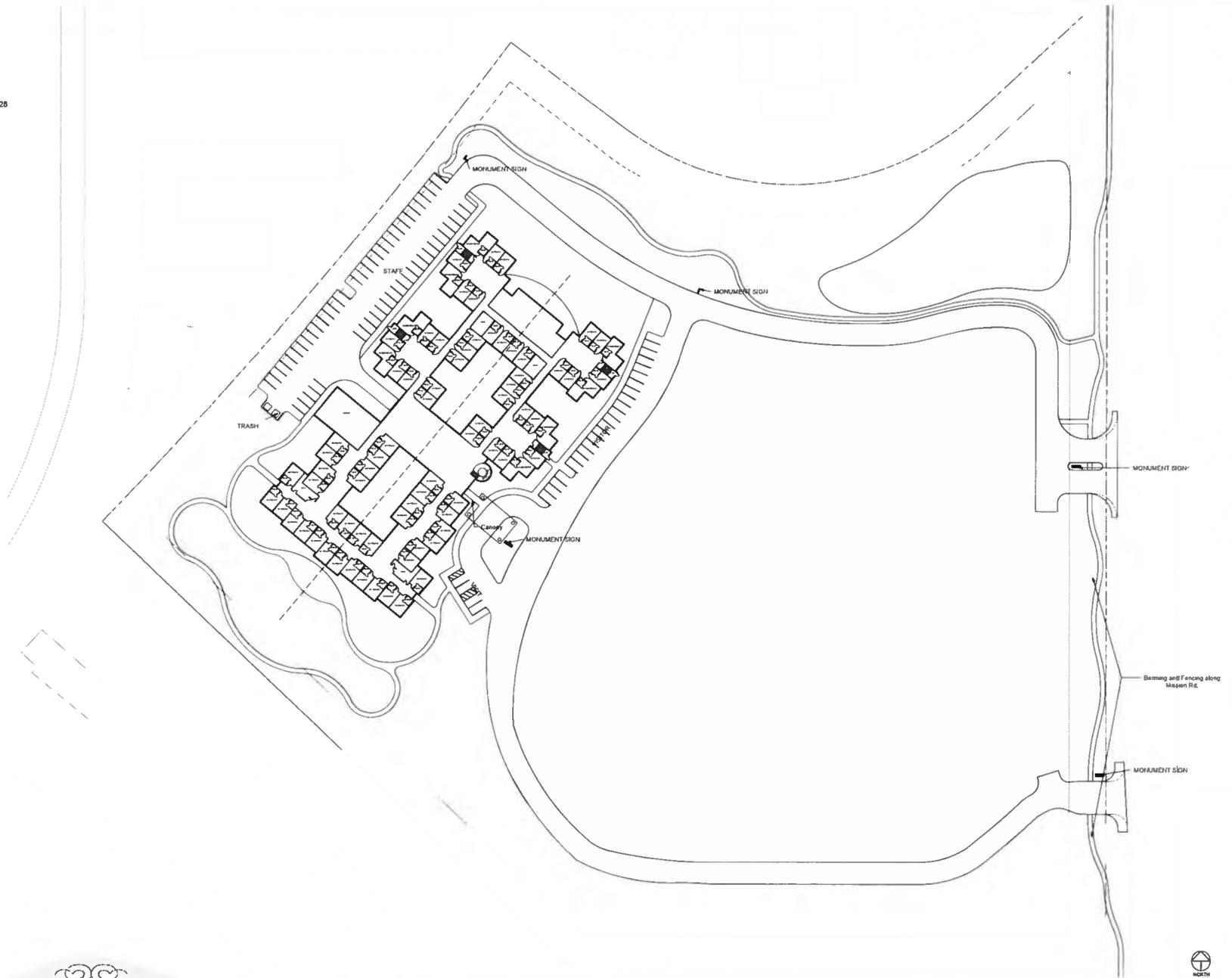
THE TUTERA
 GROUP

Mission Chateau Senior Living Community

Cover Sheet - CS

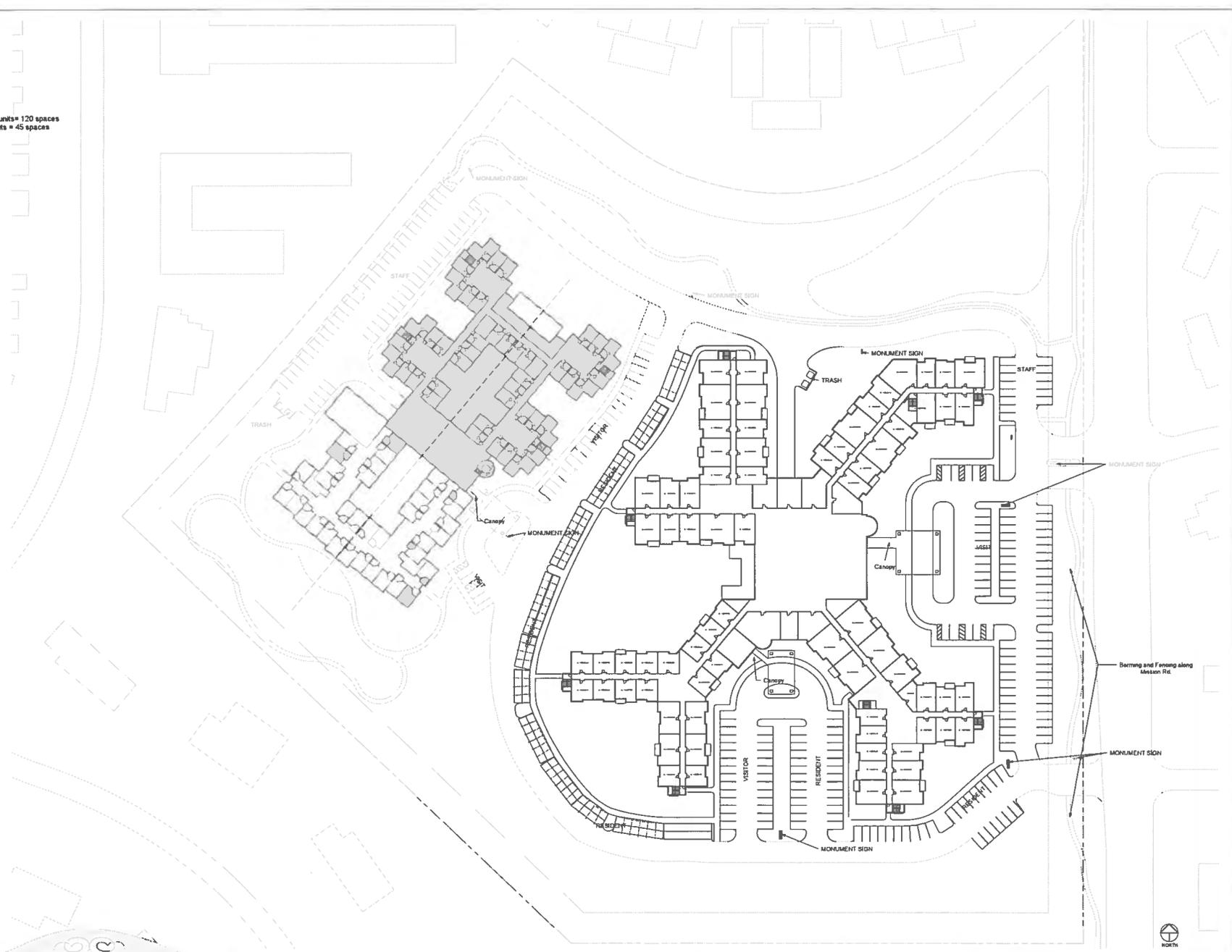
Skilled Nursing/Memory Care

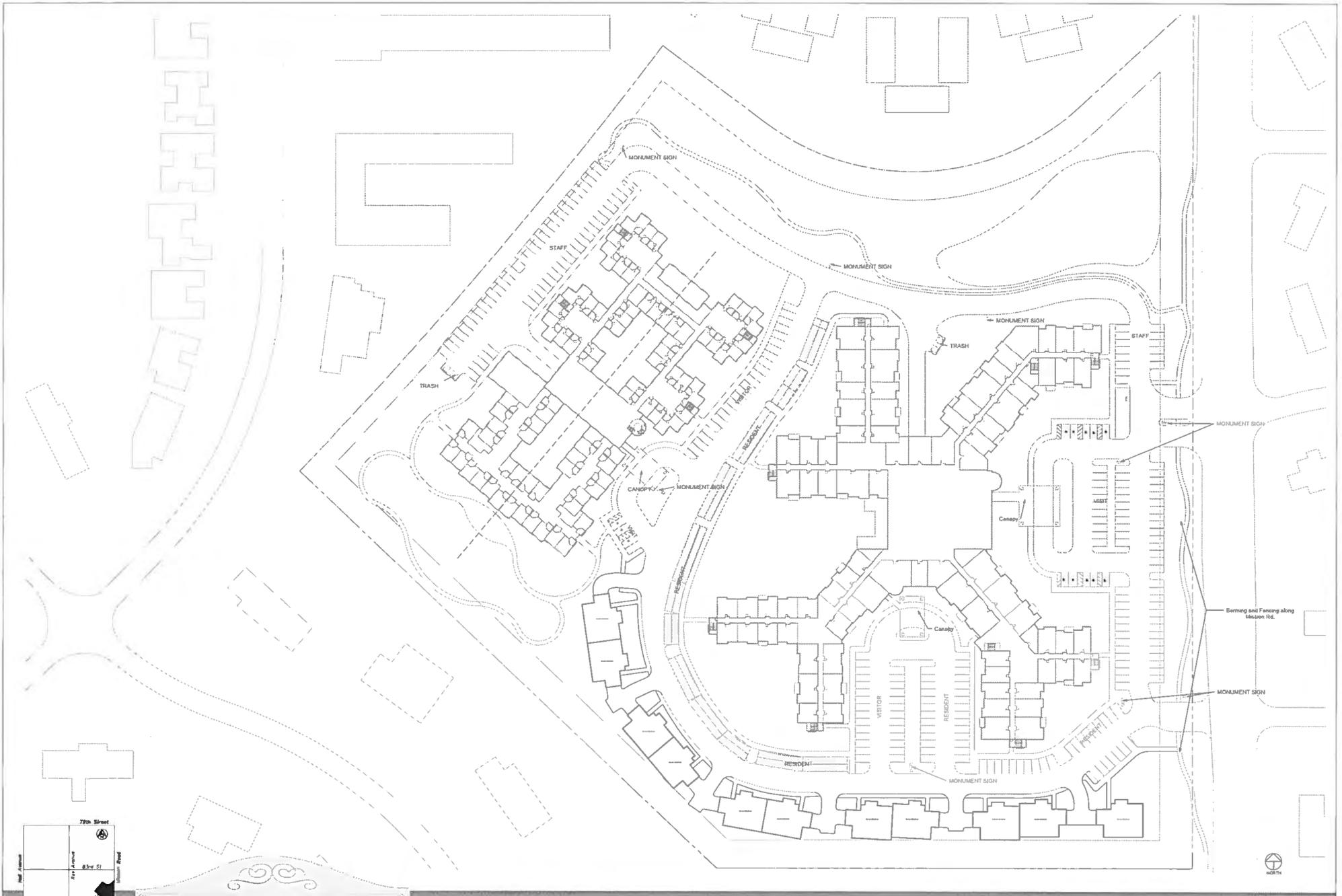
Gross Building: 91,169 sf
Ground Floor: 58,268 sf
Total Units: 119 Units (137 Beds)
Resident Parking = 1 space/5 beds = 26
Employee Parking = 57 spaces
HC spaces = 3
Phase 1 parking total = 85 total spaces



Assisted Living/Independent Living

Gross Building: 271,140 sf
 Ground Floor: 100,824 sf
 Total Units: 220 Units
 Independent Living Resident parking = 3 space/4 units = 120 spaces
 Assisted Living Resident parking = 3 spaces/ 4 units = 45 spaces
 Staff Parking = 76 spaces
 HC Parking = 10
 Total Phase 2 parking = 243 spaces





W HOEFER WYSOCKI
Architecture

THE
TUTERA
GROUP

Mission Chateau Senior Living Community
07/22/2013

Site Plan Phase 3 - 1" = 40'-0"

A3



Skilled Nursing/Memory Care

Gross Building: 91,169 sf
 Ground Floor: 58,288 sf
 Total Units: 119 Units (137 Beds)
 Private: 101 Units
 Semi-Private: 18 Units

Lot Coverage: 7%
 Building Height to One Story Peak: 26'-3"
 Building Height to Two Story Peak: 33'-6"
 Finish Floor Elevation: 952'-0"

SKILLED NURSING
 Ground Floor: 37,433 sf
 Units: 83 Units (101 Beds)

MEMORY CARE
 Ground Floor: 20,835 sf
 Units: 36 Units

Assisted Living/Independent Living

Gross Building: 271,140 sf
 Ground Floor: 100,824 sf
 Total Units: 220 Units
 Lot Coverage: 12.6%
 Building Height to Two Story Peak: 32'-4"
 Building Height to Three Story Peak: 40'-10"
 Finish Floor Elevation: 951'-0"

ASSISTED LIVING
 Ground Floor: 20,124 sf
 Units: 60 Units
 One Bedroom: 48 Units
 Two Bedroom: 12 Units

INDEPENDENT LIVING
 Ground Floor: 80,700 sf
 Units: 160 Units
 One Bedroom: 100 Units
 Two Bedroom: 60 Units

Villas

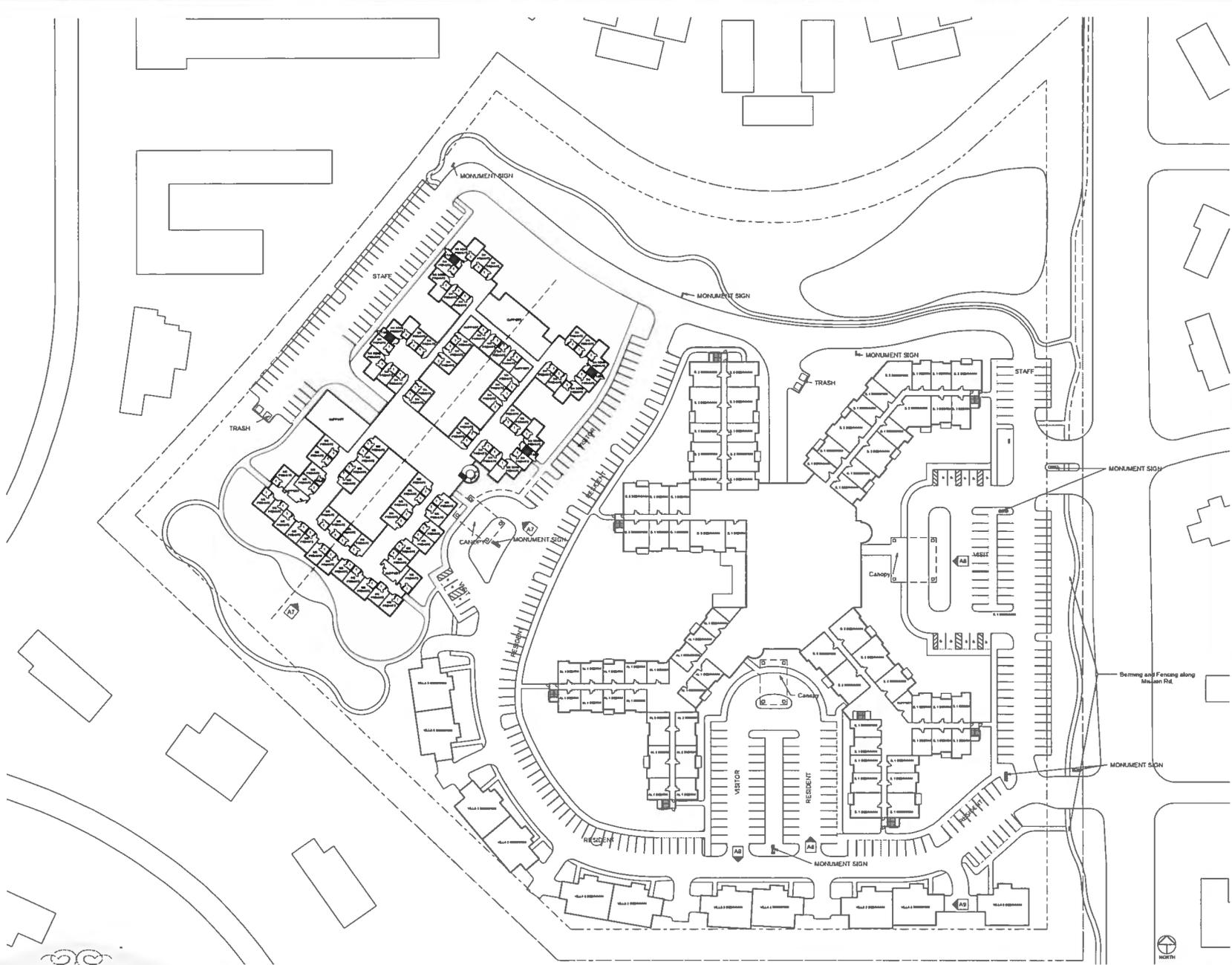
Gross Building: 24,915 sf
 Unit Size: 2,255 sf
 Total Units: 11 Units
 Lot Coverage: 3.1%
 Building Height to Peak: 21'-4"
 Finish Floor Elevation: 950'-5"

Villas
 One Bedroom: 0
 Two Bedroom: 11

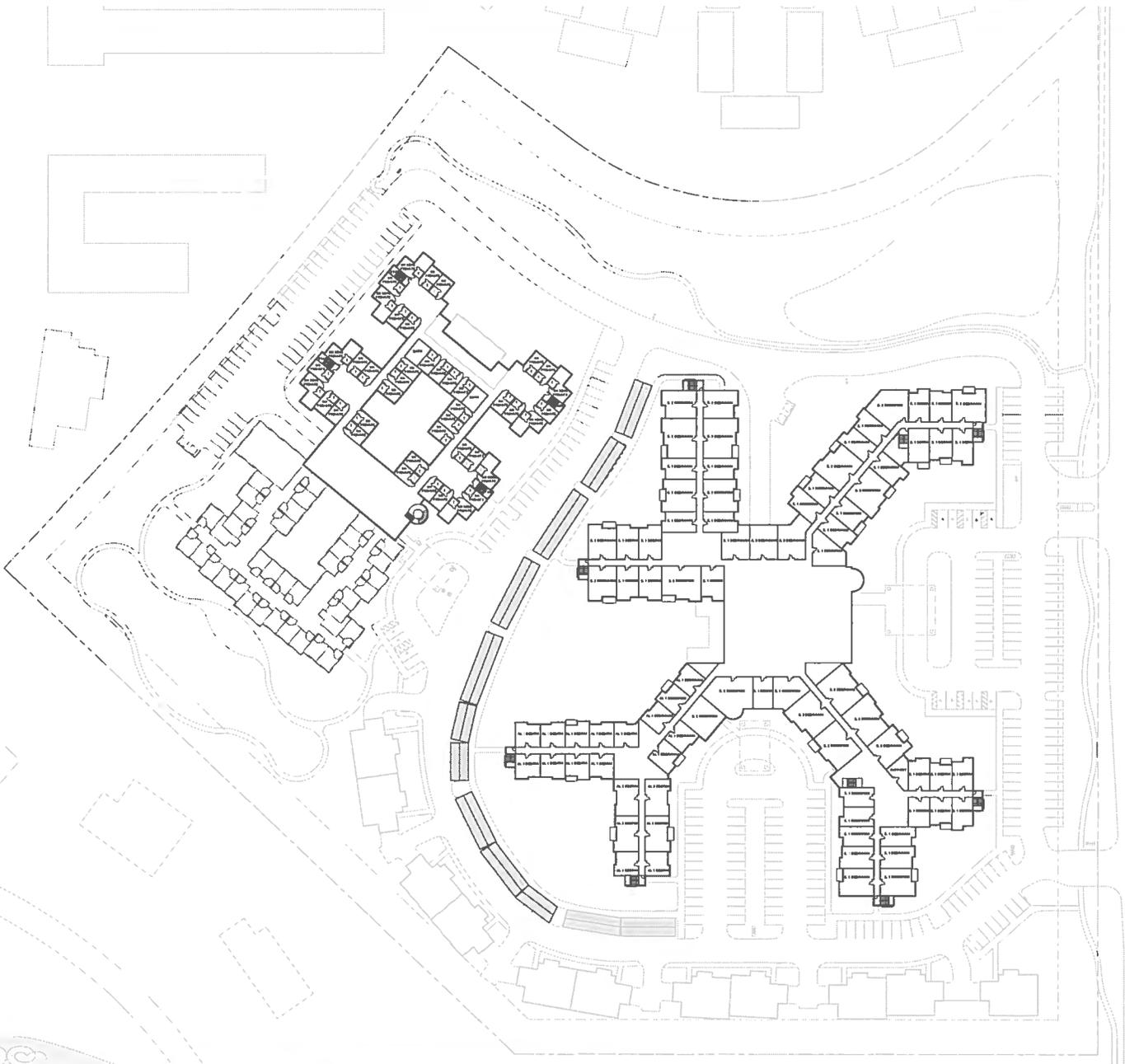
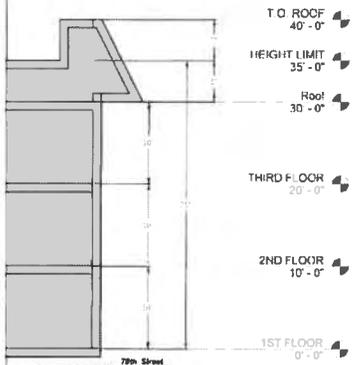
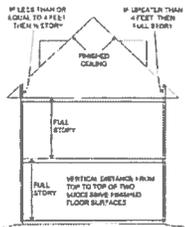
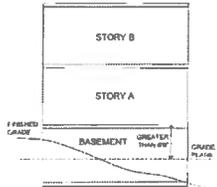
Totals

Property Size: 18.4 Acres/ 801,504 sf
 Total Building Square Footage: 388,520 sf
 Building Footprint on Site: 182,009 sf
 Lot Coverage: 22.7%

Parking Total		
Count	Description	Type
315	Standard Space	9' x 18'
6	ADA - Car Space	9' x 18' (5' Aisle)
4	ADA - Car Space	9' x 18' (8' Aisle)
1	ADA - Van Space	9' x 18' (8' Aisle)
1	ADA - Van Space	11' x 18' (5' Aisle)
1	ADA - Van Space	11' x 18' (7' Aisle)
328		



In this example the basement is a "story above grade plane" because the floor of "Story A" is more than 6' above grade plane.



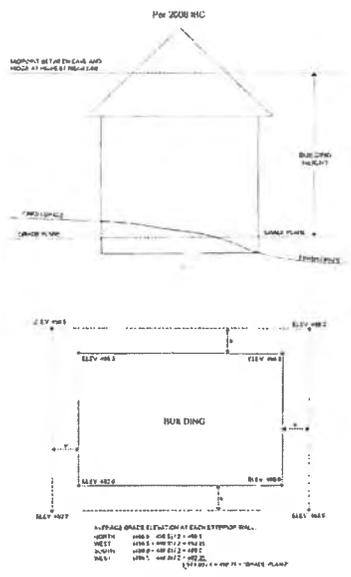
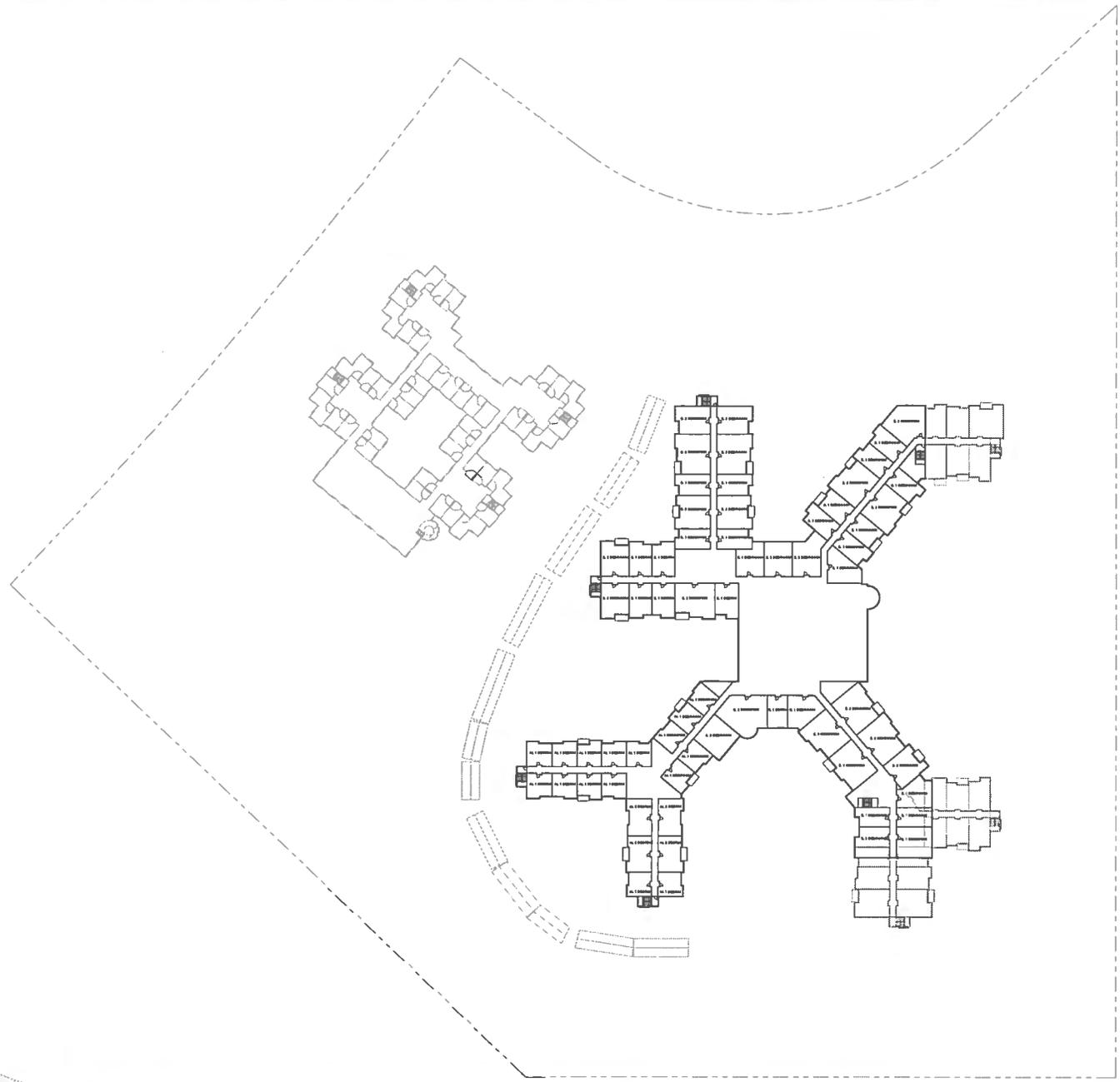
HOEFER WYSOCKI
Architecture

THE TUTERA GROUP

Mission Chateau Senior Living Community
08/22/2017

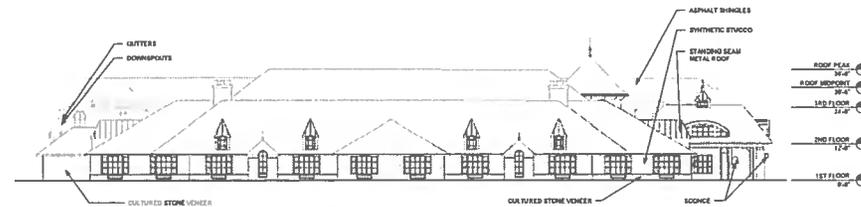
Second Floor Plan - 1" = 40'-0"

A5

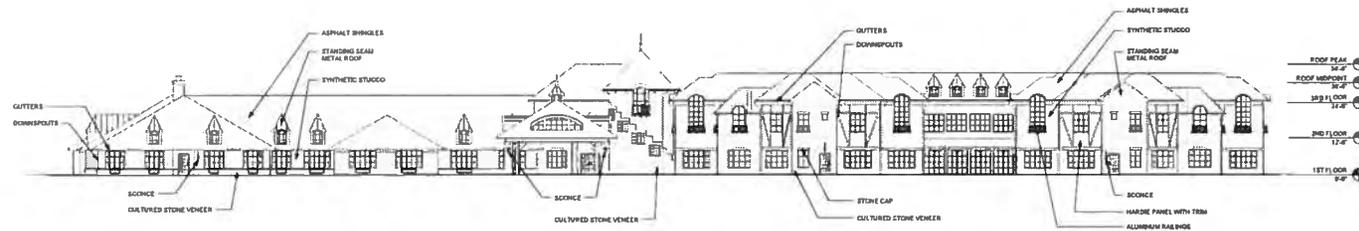


LEGEND

-  SYNTHETIC STUCCO
-  GLASS
-  HARDIE BOARD
-  STANDING SEAM METAL ROOF
-  ASPHALT SHINGLE
-  CULTURED STONE VENEER
-  WOOD



SOUTH ELEVATION

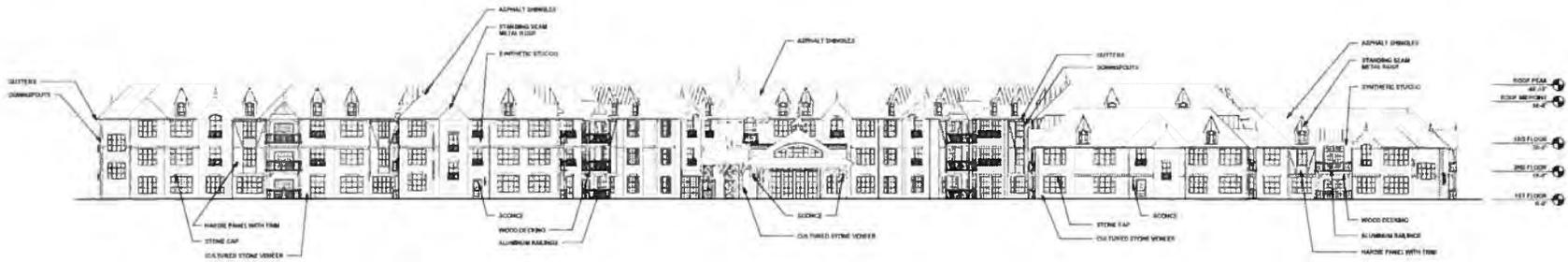


EAST ELEVATION

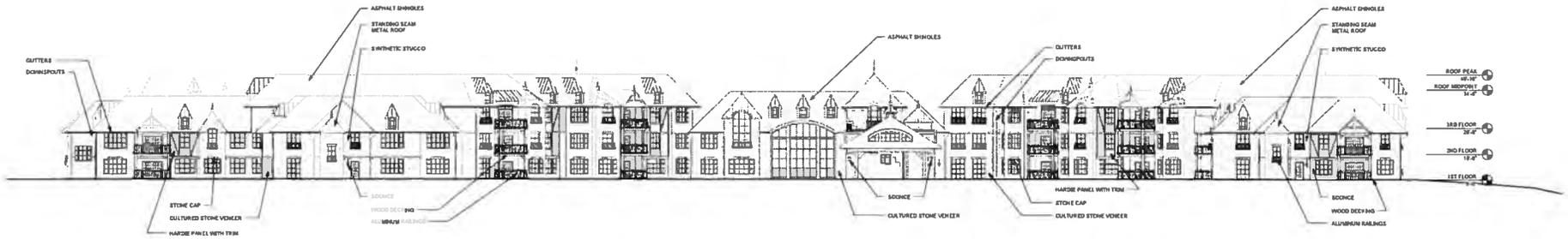


LEGEND

-  SYNTHETIC STUCCO
-  GLASS
-  HARDIE BOARD
-  STANDING BEAM METAL ROOF
-  ASPHALT SHINGLE
-  CULTURED STONE VENEER
-  WOOD



SOUTH ELEVATION

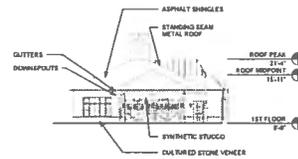


EAST ELEVATION

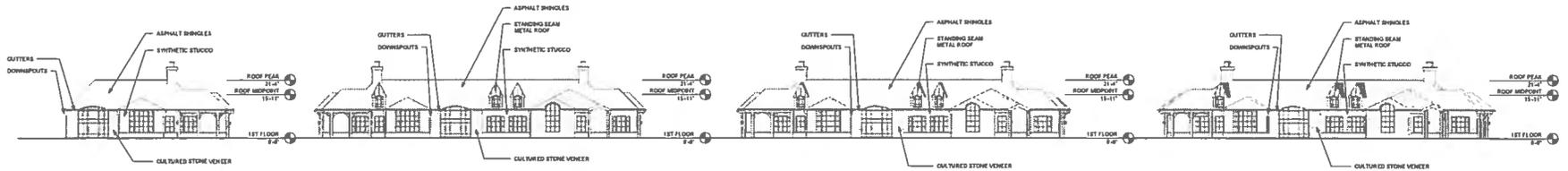


LEGEND

-  SYNTHETIC STUCCO
-  GLASS
-  HARDIE BOARD
-  STANDING SEAM METAL ROOF
-  ASPHALT SHINGLE
-  CULTURED STONE VENEER
-  WOOD



EAST ELEVATION

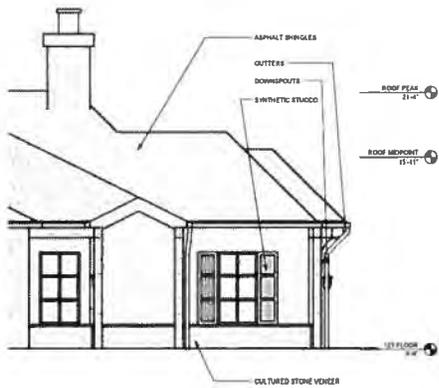


NORTH ELEVATION



LEGEND

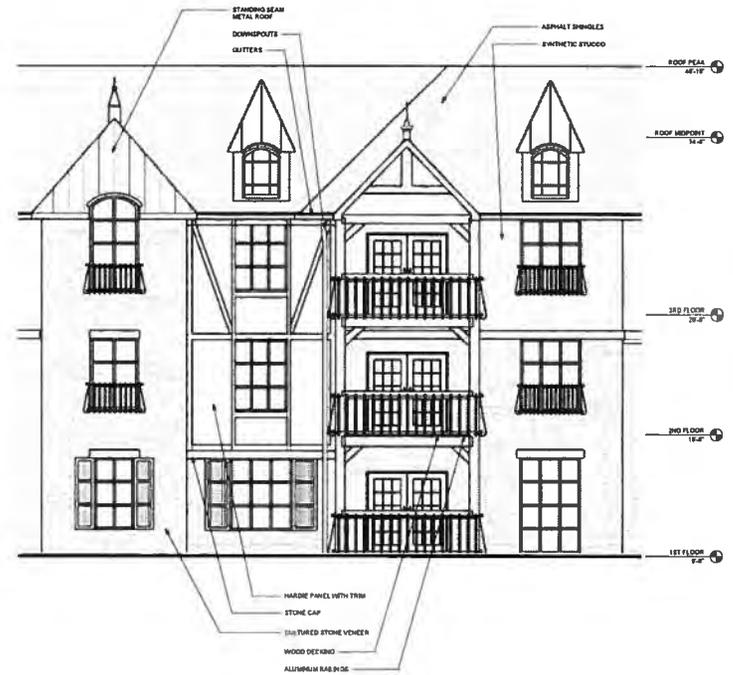
-  SYNTHETIC STUCCO
-  GLASS
-  HARDIE BOARD
-  STANDING SEAM METAL ROOF
-  ASPHALT SHINGLE
-  CULTURED STONE VENEER
-  WOOD



VILLA ELEVATION



SKILLED NURSING ELEVATION



INDEPENDENT LIVING ELEVATION



