

**PLANNING COMMISSION AGENDA
CITY OF PRAIRIE VILLAGE
TUESDAY, MARCH 5, 2013
INDIAN HILLS MIDDLE SCHOOL
6400 MISSION ROAD
7:00 P. M.**

- I. ROLL CALL
- II. APPROVAL OF PC MINUTES - February 5, 2013
- III. PUBLIC HEARINGS
 - PC2013-02 Ordinance Revisions to Section 19.25 "Overlay Zoning District" to adopt Design Guidelines for Countryside East Homes Assn
Applicant : City of Prairie Village
 - PC2013-03 Request for Special Use Permit for Private School
7235 Mission Road
Applicant: Arnie Tulloch with HTK Architects on behalf of St. Ann's Catholic School
- IV. NON-PUBLIC HEARINGS
 - PC2013-101 Site Plan Approval - Roe 89 Shops
8825 & 8839 roe Avenue
Zoning: CP-1
Applicant: Gastinger Walker Harden
 - PC2013-106 Site Plan Approval
7870 Howe Circle
Zoning: R-P-1b
Applicant: Hickok Dible Company
 - PC2013-107 Monument Sign Approval
8801 Nall Avenue
Zoning: R-1a
Applicant: SignCraft, Inc. for Hillcrest Covenant Church
 - PC2013-108 Site Plan Approval - Antennas
3921 West 63rd Street
Zoning: R-1a
Applicant: Black & Veatch for AT&T
- V. OTHER BUSINESS
- VI. ADJOURNMENT

Plans available at City Hall if applicable

If you can not be present, comments can be made by e-mail to
Cityclerk@Pvkansas.com

***Any Commission members having a conflict of interest, shall acknowledge that conflict prior to the hearing of an application, shall not participate in the hearing or discussion, shall not vote on the issue and shall vacate their position at the table until the conclusion of the hearing.**

**PLANNING COMMISSION MINUTES
FEBRUARY 5, 2013**

ROLL CALL

The Planning Commission of the City of Prairie Village met in regular session on Tuesday, February 5, 2013, in the Council Chambers, 7700 Mission Road. Chairman Ken Vaughn called the meeting to order at 7:00 p.m. with the following members present: Randy Kronblad, Dirk Schafer, Nancy Wallerstein, Gregory Wolf and Nancy Vennard.

The following persons were present in their advisory capacity to the Planning Commission: Ron Williamson, City Planning Consultant; Dennis Enslinger, Assistant City Administrator; Jim Brown, Building Official, Ted Odell, Council Liaison and Joyce Hagen Mundy, City Clerk/Planning Commission Secretary.

APPROVAL OF MINUTES

Nancy Vennard noted Mr. Kerr's address on page 3 should be 86th Street, not 83rd Street. Gregory Wolf moved the minutes of the January 8, 2013 be approved as corrected. The motion was seconded by Nancy Vennard and passed unanimously.

PUBLIC HEARINGS

PC2013-02 Ordinance Revisions to Section 19.25 "Overlay zoning District" to adopt Design Guidelines for Countryside East Homes Association

On January 8, 2013, the Planning Commission set the public hearing date for consideration of the Countryside East Neighborhood Overlay District for February 5, 2013. The notice of hearing was published; however, the mailing to the area residents was not sent within the required timeframe. Therefore, staff requests that the Planning Commission continue this item to their March 5, 2013 meeting to allow for proper notification.

Gregory Wolf questioned what would be on the agenda for the March 5th meeting and if it would be better to continue the application to the April Meeting. Dennis Enslinger responded the March agenda has a public hearing for a special use permit for St. Ann's School, a church monument sign, site plan approval for a lot in Mission Pines and the items requesting continuance from this evening's agenda followed by the Mission Valley work session. He noted that it is a full agenda; however, the April agenda will include the public hearing on the Mission Valley Project which is anticipated to include significant resident comments. There will not be any resident comment allowed at the work session.

Nancy Wallerstein moved the Planning Commission continue item PC2013-02 Ordinance Revisions to Section 19.25 "Overlay Zoning District" to adopt Design Guidelines for Countryside East Homes Association to March 5, 2013. The motion was seconded by Randy Kronblad and passed unanimously.

NON-PUBLIC HEARINGS

**PC2013-101 Site Plan Approval - Roe 89 Shops
8825 & 8839 Roe Avenue**

Dennis Enslinger stated the applicant has requested that this item be continue to the March 5th meeting of the Planning Commission.

Nancy Wallerstein moved that PC2013-101 be continued to the March 5, 2013 meeting of the Planning Commission. The motion was seconded by Randy Kronblad and passed unanimously.

**PC2013-104 Preliminary & Final Plat Approval - St. Ann's
7231 Mission Road**

Arnie Tulloch, with Shafer, Kline & Warren, stated St. Ann Catholic Church and School are proposing a number of changes to their campus which were approved by the Planning Commission on January 8th with the condition that the property be platted. The area is proposed to be platted in two lots. Lot 1 is approximately 6.1 acres; includes the developed portion of the property, and fronts on Mission Road. Lot 2 is approximately 4.6 acres, includes the recreation area and fronts on Windsor Street.

They have received the staff comments on their application and agree to the staff recommended conditions of approval.

PRELIMINARY PLAT

Ron Williamson noted the Preliminary Plat contains the information normally required. As can be seen there are several easements for sanitary sewer, power and drainage. There is a water line on the east side of the gym that does not show a connection to either the north or south. It is also noted that it is in a "possible easement." An easement needs to be shown on the Final Plat unless a release is granted by Johnson County WaterOne.

FINAL PLAT

Mr. Williamson noted the Final Plat contains essentially all the information required. There is one minor item. A dimension of 365.52' is shown on the north side of Lot 2. There does not appear to be any purpose for this number and it should be removed.

Also, the Governing Body does not approve plats but accepts easements and right-of-ways. A note should be added under dedications as follows: "All right-of-ways and easements as shown on the face of the plat are hereby dedicated to the public." The signature of the Governing Body should also be changed as follows: "The Governing Body of the City of Prairie Village, Kansas does hereby accept all public easements and right-of-ways contained herein, this _____ day of _____, 2013."

The sanitary sewer easement running north and south through Lot 2 is shown on the Preliminary Plat but is left off the Final Plat.

The water line easement on the east side of the gym needs to be shown on the Final Plat or released.

Nancy Vennard moved the Planning Commission approve the Preliminary and Final Plats of Saint Ann's Catholic Church subject to the following conditions:

1. That the dimension of 365.52 feet on the north side of Lot 2 be removed.
2. That the following text be added to the Dedication section:
"All right-of-ways and easements as shown on the face of the plat are hereby dedicated to the public."
3. That the signature block for the Governing Body be revised as follows:
"The Governing Body of the City of Prairie Village, Kansas does hereby accept all public easements and right-of-ways contained herein, this _____ day of _____, 2013."
4. That the sanitary sewer easement be shown on Lot 2.
5. That the water line east of the gym be in an easement or the easement released by WaterOne.
6. That the Final Plat as approved be revised and three copies submitted to the City for their records.
7. That the applicant submit the Final Plat to the Johnson County surveyor for a review.

The motion was seconded by Dirk Schafer and passed by a vote of 6 to 0.

Dennis Enslinger noted the final plat will be forwarded to the City Council for acceptance of easements and rights-of-way.

PC2013-105 Amendment to Sign Standards

4601 - 4621 West 90th Street - Somerset Plaza

Jennifer Schellhase, 4617 West 90th Street, is locating her business in the Somerset Plaza Shops and is seeking signage that would allow for logos and lighted signs. Her proposed sign is a sign ban that is building into the façade, similar to that of the adjacent tenant. Shirley Nelkin, owner of the center, was also present and has approved the proposed revisions to the sign standards.

Ron Williamson stated the initial sign standard were approved by the Planning Commission in November, 1987. The proposed changes are minor. The old sign standards did not allow logos or lighted signs and the new standards do. The Somerset Plaza Shops were built in 1961 and the tenant that is probably most well-known is Tatsu's French Restaurant.

After reviewing the proposed Sign Standards there are three comments. First, the title of the Sign Standards should contain the addresses of the Plaza Shops, 4601 - 4621 West 90th Street, and the date of Approval, February 5, 2013.

Second, under Tenant Signs in the second line of the first paragraph the word "faced" should be "facade".

Third, a section should be added for the monument sign as follows:

Monument Sign: One monument sign shall be permitted for the Center. The sign face may be changed by approval of City Staff. If the sign is relocated or redesigned it shall be submitted to the Planning Commission for review and approval.

Nancy Wallerstein moved the Planning Commission approve the Amended Sign Standards for Somerset Plaza Shops subject to the following conditions:

1. That the applicant add the shop addresses and date of approval to the title of the Sign Standards.
2. That the word "face" be changed to "facade" in the Tenant Signs section.
3. That a Monument Sign Section be added as follows:
Monument Sign: One monument sign shall be permitted for the Center. The sign face may be changed by approval of City Staff. If the sign is relocated or redesigned it shall be submitted to the Planning Commission for review and approval.
4. That the applicant revise the Sign Standards and submit three copies to City Staff.

The motion was seconded by Gregory Wolf and passed by a 6 to 0 vote.

OTHER BUSINESS

PC2011-116 Consider requested sign change at Corinth Square Hen House

Dennis Enslinger stated on June 5, 2012, the Planning commission approved a site plan for the building façade changes to the Hen House building at Corinth Shopping Center. As part of that process the applicant provided proposed signage for the building that was approved.

The applicant has modified the proposed signage on the south elevation. Originally, the signage was contained within the sign band and was 20 square feet. The proposed signage has been moved to the wall and consists of 85.7 square feet.

Ron Williamson noted the current sign is located on the south wall in the same location as proposed for the new sign.

Jana Foster with Words & Pictures Signs was present representing the Ball Group to answer any questions of the Commission.

Nancy Wallerstein moved the Planning Commission approve the proposed sign modification as shown in the drawings dated 01-08-2013 to allow for a larger wall mounted sign on the south elevation. The motion was seconded by Dirk Schafer and passed by a 6 to 0 vote.

Mission Valley Project

Dennis Enslinger announced that Tutera has moved the timeline back one month. They will be submitting plans on March 1st and hold a work session with the Planning Commission after its March 5th meeting. The official public hearing and consideration of the applications will be at the April 2nd Planning Commission meeting with the item being considered by the Governing Body the month following the Commission action.

Mr. Enslinger announced that Tutera will be holding another community meeting on February 21nd at Shawnee Mission East from 6:30 to 8:30 p.m. Staff has not seen revised plans but will be meeting with the applicant on February 11th.

The commission members and staff discussed the process for review of the application and the protocol to be followed. The impact of a probable protest petition was reviewed. Staff reminded the Commission that they are not required to take action on the application on April 2nd if they feel they need more information or time to make a decision. Staff noted this is a very large multi-phase project and that they do not expect the applicant to have detailed information available particularly on the later phases of the project.

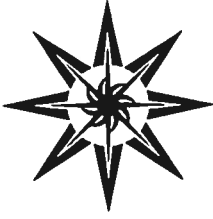
Next Meeting

The March 5th meeting of the Planning Commission will be held at the Indian Hills Middle School Gymnasium. The agenda items will include the public hearing for the Country East Neighborhood Overlay District and for a Special Use Permit for St. Ann's School, the continued application PC2013-101 for site plan approval at 8825 & 8839 Roe Avenue, site plan approval for a lot in Mission Pines and a monument sign request by Hillcrest Covenant Church. The meeting will be followed by a work session with the development team for the former Mission Valley School property. No public comment will be accepted at the work session.

ADJOURNMENT

With no further business to come before the Planning Commission, Chairman Ken Vaughn adjourned the meeting at 7:50 p.m.

Ken Vaughn
Chairman



CITY ADMINISTRATION

Planning Commission Meeting Date: March 5, 2013

PC2013-02 Ordinance Revisions to Section 19.25 "Overlay Zoning District" to adopt Design Guidelines for Countryside East Homes Assn
Applicant: City of Prairie Village

RECOMMENDATION:

Staff also recommends the Planning Commission recommend approval of the proposed Design Guidelines for the Countryside East Neighborhood Overlay District to the Governing Body.

MOTION:

I move the Planning Commission recommend approval of the proposed Design Guidelines for the Countryside East Neighborhood Overlay District to the Governing Body.

BACKGROUND:

The City of Prairie Village has been looking at ways to assist homes associations with potential issues that arise with the construction of additions and new homes within existing residential areas. The City has already implemented a process for notifying homes associations of projects which will significantly alter the exterior of the structure (porches, etc.) or add additional square footage.

Council members Michael Kelly, Laura Wassmer and Dale Warman have been also working with the City's Homes Association Committee to develop other methods to assist homes associations with these issues. An outgrowth of this work has been the idea of a conservation overlay district which would address design issues within a specific neighborhood.

In 2010, the City Council directed staff to work with the Countryside East Homes Association in the development of a neighborhood conservation overlay district and the creation of development/design standards. It was decided the Countryside East Homes Association would be the initial model for the development of this tool.

Under Chapter 19.25 Neighborhood Conservation Overlay District the Planning Commission, Governing Body, or at least 51% percent of the property owners within the proposed area can initiate the establishment of a district. The governing Body initiated the establishment of the Countryside East Neighborhood Overlay District and adoption of the associated Design Guidelines on December

12, 2012. The Governing Body also requested the Planning Commission set a public hearing date regarding this issue.

The Planning Commission set public hearing date for consideration of the Countryside East Neighborhood Overlay District and adoption of the associated Design Guidelines for February 5, 2013. The Planning Commission approved the continuation of the public hearing to March 5, 2013 because of notification issues related to the public hearing.

DISCUSSION

Chapter 19.25 establishes the overlay districts in the City of Prairie Village. Section 19.15.025 sets forth the purpose of the Neighborhood Conservation Overlay District:

The NC, Neighborhood Conservation Overlay District, is intended to:

- (1) encourage development that conforms to the size, orientation and setting of existing buildings in a neighborhood or area;*
- (2) reduce the need for zoning variances for development that conforms to the size, orientation and setting of existing buildings in a neighborhood or area;*
- (3) provide building setbacks, lot dimensions and related physical characteristics;*
and
- (4) foster development that is compatible with the scale and physical character of original buildings in a neighborhood or area through the use of Development/Design Standards and guidelines.*

Section 19.25.30 establishes the process for review of proposed Neighborhood Conservation Overlay Districts and indicates that the Planning Commission shall make a recommendation that the NC district zoning be approved, approved with conditions or denied to the Governing Body. The recommendation shall be accompanied by a report containing the following information:

- (i) an explanation of how the area meets or does not meet the selection criteria contained in Section 19.25.010;*
- (ii) in the case of an area found to meet the criteria in Section 19.25.010:*
 - a. a description of the general pattern of development, including Streets, Lots and Buildings in the area; and*
 - b. Development/Design Standards to guide development within the District;*
- (iii) a map showing the recommended boundaries of the NC District; and*
- (iv) a record of the proceedings before the Planning Commission;*

Section 19.25.20 sets out the three criteria that must be met in order to establish a Neighborhood Conservation Overlay District as follows:

(1) the general pattern of development, including streets, lots and buildings, shall have been established at least 25 years prior to the Effective Date;

The Countryside East (CSE) Overlay District area began developing in the late 1940s with the oldest structure built ca. 1948. The majority of structures in the CSE Overlay District were completed in the 1950s and 1960s. There were a few structures which were built in the mid-1970s. Based on this information, the CSE Overlay District meets the 25 year criteria.

(2) the area shall possess built environmental characteristics that create an identifiable setting, character and association;

While there are a variety of architectural form types and styles within the CSE Overlay District, the area consists of a built environment which creates an identifiable setting, character and association.

The CSE Overlay District is residential in land use and consists of only single-family dwelling units. The area is centered along the North-South collector street, Hodges Drive with the numbered streets intersecting Hodges Drive. One of the unique features of the area is Highland Cemetery. The area is also known for its tree lined streets which are planted with predominantly Ash trees.

The lots within the CSE Overlay District are predominately just under or just over a quarter of an acre. There are a few larger lots within the area which are just over one-half acre. With the exception of Hodges Drive and Ash Street, the dwellings are oriented towards the number streets.

The area also contains a very active homes association the Countryside East Homes Association. The proposed CSE Overlay District is consistent with the Countryside East Homes Association.

(3) the designated area shall be a contiguous area of at least five (5) acres in size. Areas of less than five (5) acres may be designated as an NC Overlay District only when they abut an existing five (5) acre or greater NC Overlay District.

The CSE Overlay District contains approximately 112 acres.

Based on the findings of fact listed above the proposed Countryside East Overlay District meets all of the criteria as required by ordinance.

Design Standards

The CSE Homes Association has spent the last two years working with staff to developed design standards for the CSE Overlay District. The Design Standards are attached and are focused on what could be described as the "big ticket" items such as overall height of structures, side yard setbacks, how additions relate to

neighboring properties, etc. There are fifteen key points listed in the Design Guidelines Documents.

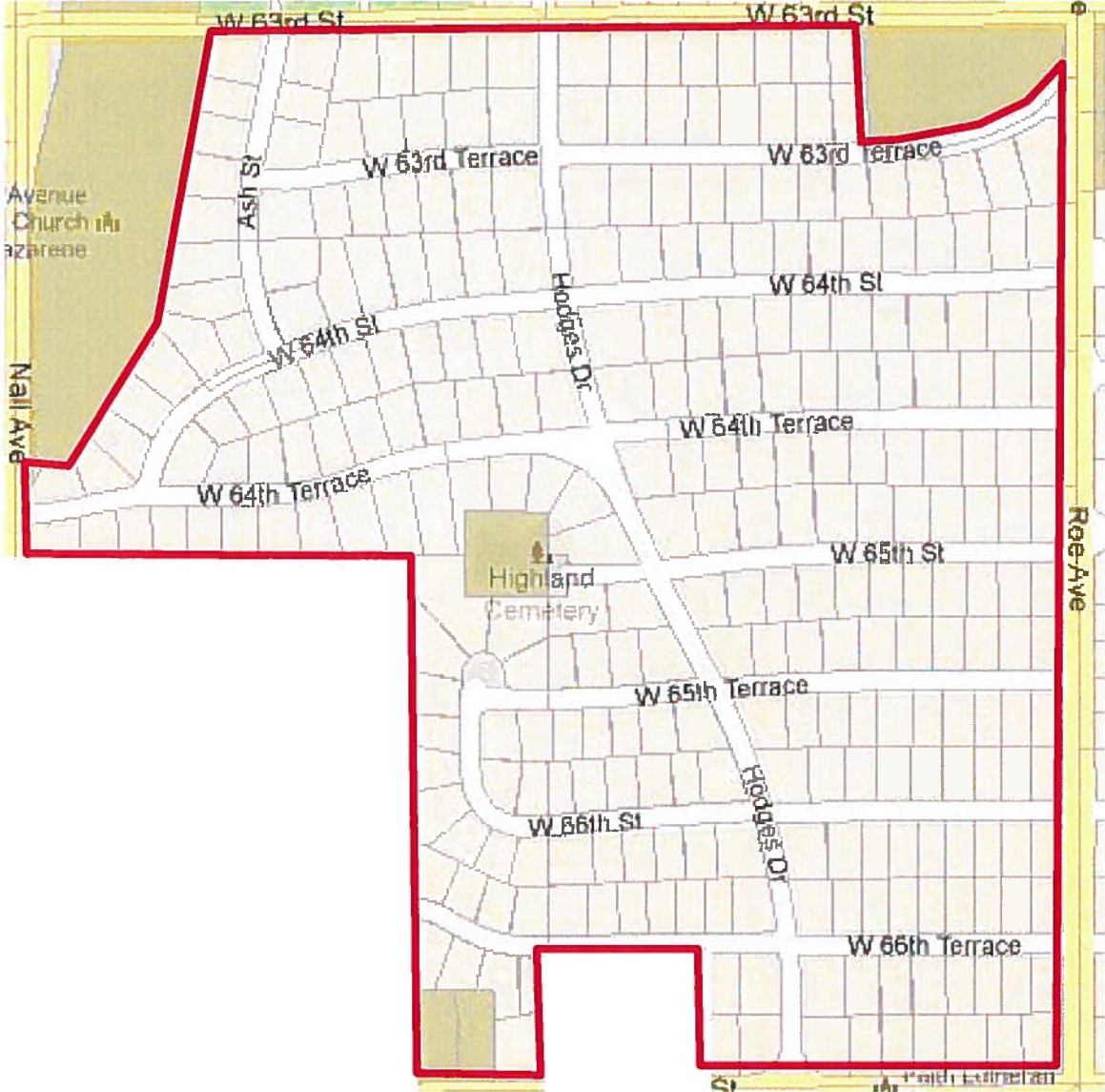
ATTACHMENTS:

Map of CSE Neighborhood Conservation Overlay District
Proposed Countryside East Neighborhood Conservation Overlay District Design Guidelines - Public Hearing Draft

PREPARED BY

Dennis J. Enslinger
Assistant City Administrator
Date: February 25, 2013

Map of Countryside East Neighborhood Conservation Overlay District





**DESIGN GUIDELINES
COUNTRYSIDE EAST HOMES ASSOCIATION
2012**

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Public Hearing Draft

INTRODUCTION FROM THE COUNTRYSIDE EAST HOMES ASSOCIATION

INTRODUCTION FROM THE COUNTRYSIDE EAST HOMES ASSOCIATION

The Countryside East Homes Association believes that the interests of current and future residents are served by the neighborhood's partnership with the City of Prairie Village to create and apply an Overlay District that will provide guidelines for future growth.

It is the goal of the CEHA board and the neighborhood to allow and encourage investment into our residential homes so they meet the needs of families for years to come. Encouraging that investment requires a flexible approach to regulating new construction and remodeling that allows expansion of the homes to satisfy space preferences, while not dictating a particular architectural style, but maintains the character of the neighborhood and protects the investment of current residents. To this end, CEHA believes that the Overlay Criteria provide clear guidance to homeowners regarding permissible home expansion and account for professional review of plans so that the criteria are evenly enforced. The appeals process allows a reasonable appeal from administrative decisions while including neighborhood input.

The Overlay District, as it addresses the major question of scale for new construction, has several advantages over review by the board through the deeded restrictions: The review of plans will be professionally and expertly administered by a constant and consistent presence of city staff; the guidelines themselves prevent construction that overwhelms the neighborhood and is inconsistent with its 60-year character; the amendment process allows greater flexibility in adapting to future development; the overlay criteria express the spirit and intent of the deeded restrictions in clear, modern language and illustration.

Specifically, the deeded restrictions primary clause limiting construction to 1.5 story was in jeopardy by recent court actions. The overlay guidelines provide a clear, enforceable alternative that maintains the spirit of the restriction.

The neighborhood's residents have enthusiastically supported this direction at each juncture.

PURPOSE OF THE DESIGN GUIDELINES

The purpose of the *Countryside East Homes Association Design Guidelines* is to provide guidance and information for property owners who propose to undertake renovation, rehabilitation, maintenance, new construction, or demolition projects within the boundaries of the Neighborhood Conservation Overlay District (see map, page 11).

In sum, the Countryside East Homes Association Design Guidelines were developed to satisfy three main purposes:

1. To ensure that development within the boundaries of the Countryside East Homes Association, including new construction, as well as, certain exterior alterations to existing buildings, takes place in such a way as to maintain and enhance Countryside East Neighborhood's unique character and scale.
2. To provide City staff, Neighborhood Overlay District Appeals Committee and the Board of Zoning Appeals with criteria upon which to base decisions when issuing Certificates of Appropriateness.
3. To provide design guidance to property owners, architects, or developers who plan to build, demolish, or make exterior changes to buildings within the Countryside East Homes Association area.

REVIEW PROCEDURE FUNDAMENTALS

A property owner whose property lies within the Countryside East Neighborhood Overlay District must submit building plans for new home construction or exterior modification, when requiring a building permit, to the city codes department for review to determine compliance with Overlay District guidelines.

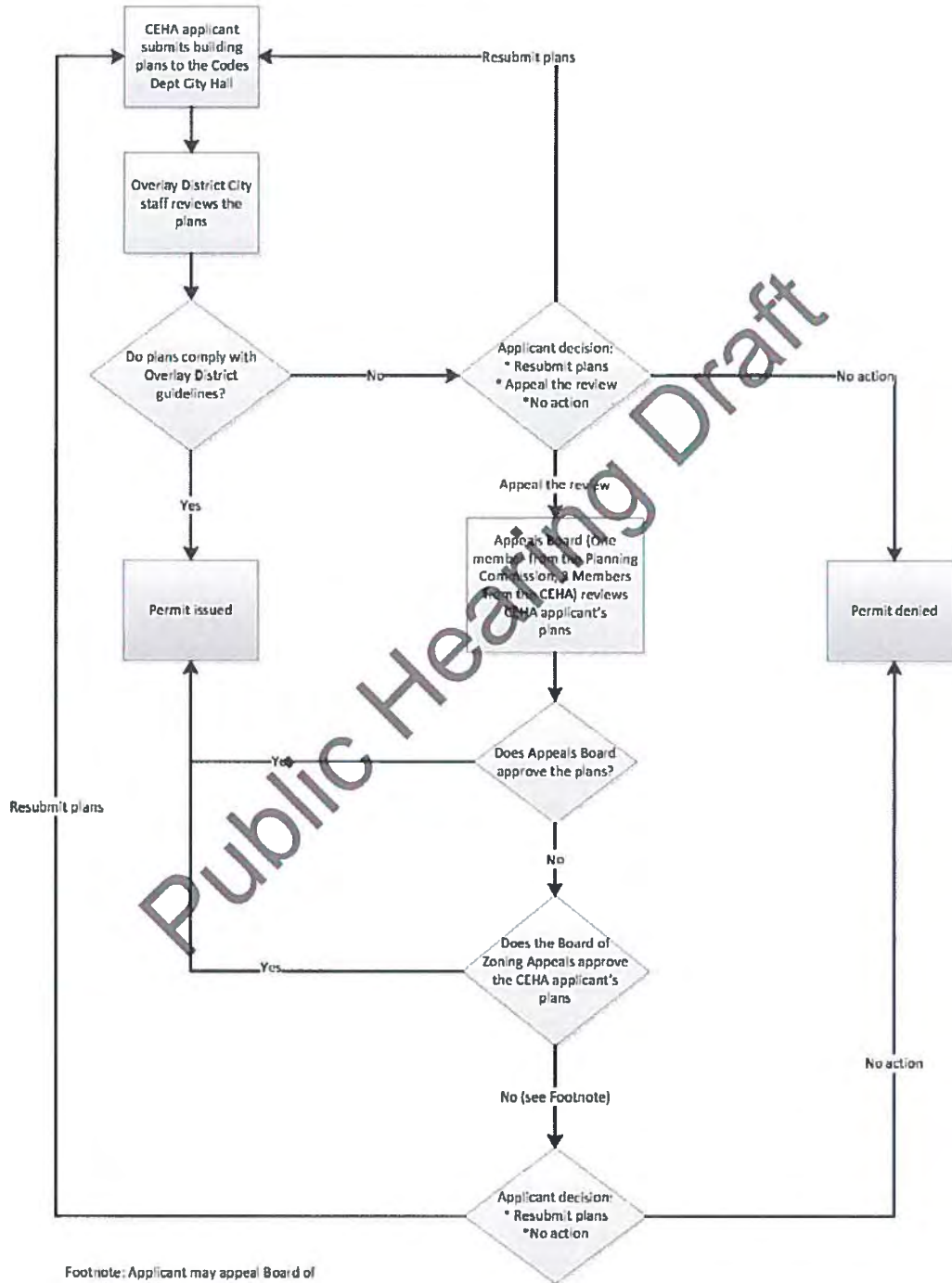
The city's Overlay District staff will review the plans to verify compliance with the Countryside East Overlay District criteria. Should the plans conform to the guidelines and other city requirements, the relevant permit will be issued, and work may begin.

In the event the proposed plans do not conform to the Countryside East Neighborhood Overlay District Guidelines, city staff will provide detailed feedback to the applicant and work constructively with them to modify plans to meet the established design guidelines

In the cases where, despite these efforts, plans are still not in compliance with the Overlay District's criteria, the applicant may appeal the city staff's determination that the proposed construction does not meet the established design guidelines. Appeals will be heard by an Overlay District appeals board, which shall consist of one member of the city's Planning Commission (appointed by the Chair) plus two members appointed by the board of directors of the Countryside East Homes Association. The appeals board may find that the proposed construction meets the established guidelines and grant the permit; determine that the proposed construction does not meet the established guidelines or request further modifications to the plans.

If the Overlay appeals board determines that the proposed construction does not meet the established guidelines, the applicant may file a further appeal to the city's Board of Zoning Appeals. If the Board of Zoning Appeals determines that the proposed construction does not meet the established guidelines the applicant may seek relief in the district court.

CEHA / OVERLAY DISTRICT BUILDING APPLICATION PROCESS FLOWCHART



DESIGN GUIDELINES

1. A maximum 5-foot knee wall height on upper story will be allowed on front of home. (fig 1.2 & 5.1)
2. Minimum 66% of original eave line must be maintained on front of home. (fig 1.1 & 1.2)
3. Minimum 10% of new home or renovated portion of front of home must contain windows.* (fig 2.3)
** The intent is for any new construction or renovated areas to contain an aesthetically appropriate amount of windows. It is not to force homeowners to alter the front of their home not changed by the renovation.*
4. Gabled roofs facing the street must match existing roof slopes on front of home, excluding dormers. (fig 2.3)
5. For a 3-car garage on home front, at least 1 bay must be in a different plane. (fig 3.1)
6. For a split-level home, an addition above existing upper level is not allowed. (fig 4.1)
7. In the case of a new home, predominate eave line on the front of the home must be within 2' of the highest neighboring eave line. (fig 2.2)
8. The plots in Countryside East shall be used for private dwellings only and each dwelling shall be designed only for occupancy by a single family.
9. No garage or outbuilding shall be used as a residence or living quarters.
10. No building structure shall be commenced or erected until acceptable plans are submitted for Overlay District approval with the City of Prairie Village.
11. No outbuilding shall exceed the dwelling in height or number of stories. The size of an outbuilding is limited to 50 percent of the width of the lot measured along the rear line. Any outbuilding, except a greenhouse, shall correspond in style and architecture to the dwelling and shall be of the same exterior materials.

12. No dwelling or any part thereof shall be erected nearer to the adjoining street than the building limit line shown on the recorded plat. Stoops, porches, balconies and terraces that are not enclosed, may extend no more than 6 feet beyond the limit line. Architectural appurtenances may extend no more than 4 feet beyond the limit line.

13. No part of any dwelling shall be erected nearer to the side property line than 12 ½ percent of the width of the property at the front property line.

14. No dwelling shall exceed 1½ stories. A house – new construction or remodel - that meets the restrictions numbered 1 through 7 above shall be deemed to meet the 1½ story restriction.

15. Houses must have a ground floor minimum square footage (excluding garages and porches) based on the frontage length of the property as follows:

<i>Frontage of:</i>	<i>1 story</i>	<i>1.5 story</i>
70-80 feet	900 sq ft	700 sq ft
80-90 feet	1000 sq ft	750 sq ft
90-100 feet	1100 sq ft	750 sq ft
100 feet or over	1200 sq ft	800 sq ft

Good neighbor considerations:

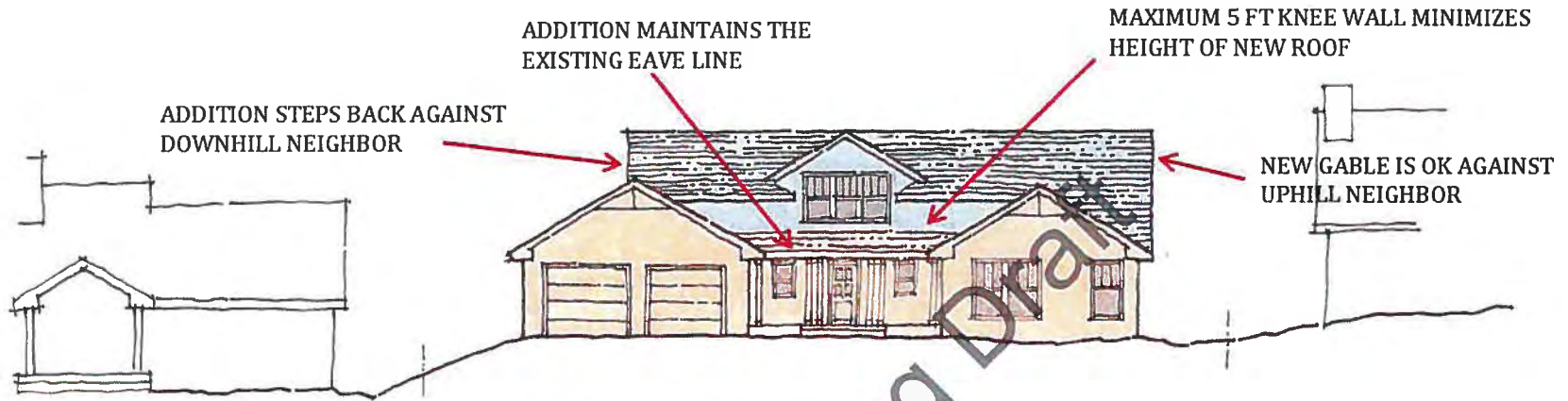
The mass and scale of the addition or new home should be respectful of neighboring eave and ridge lines and should not “tower” over the neighboring homes. Examples of both good neighbor designs and plans that do not fit well with the neighboring homes can be seen in figures 2.3, 3.1 and 4.1.



Figure 1.1

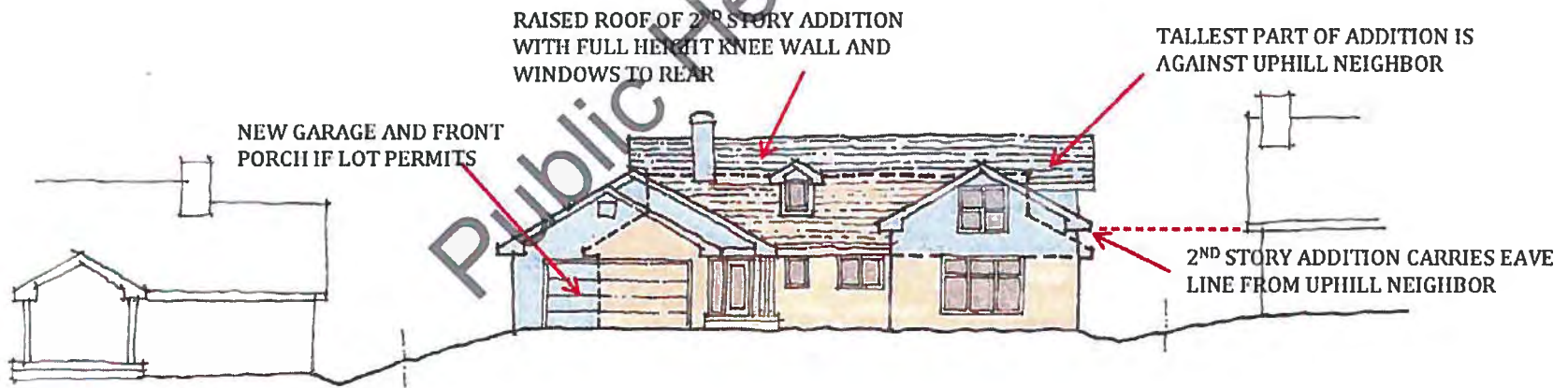


Figure 2.1



1/2 Story Addition to a Typical 3BR Ranch

Figure 1.2



1/2 Story & 2 Car Garage Addition to a Small Ranch

Figure 2.2

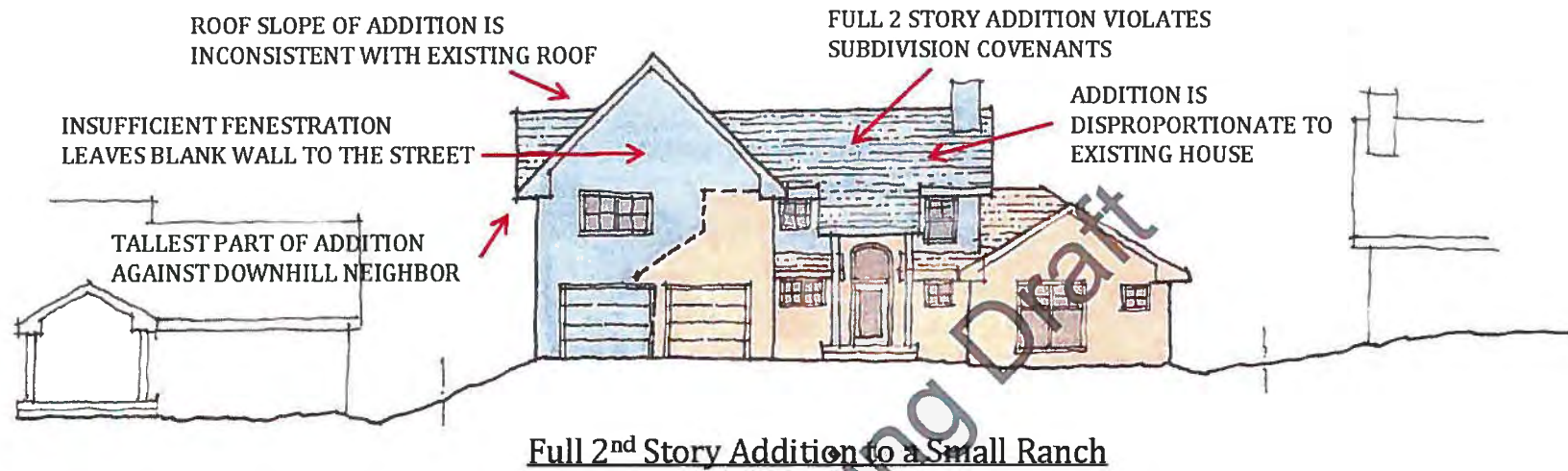


Figure 2.3

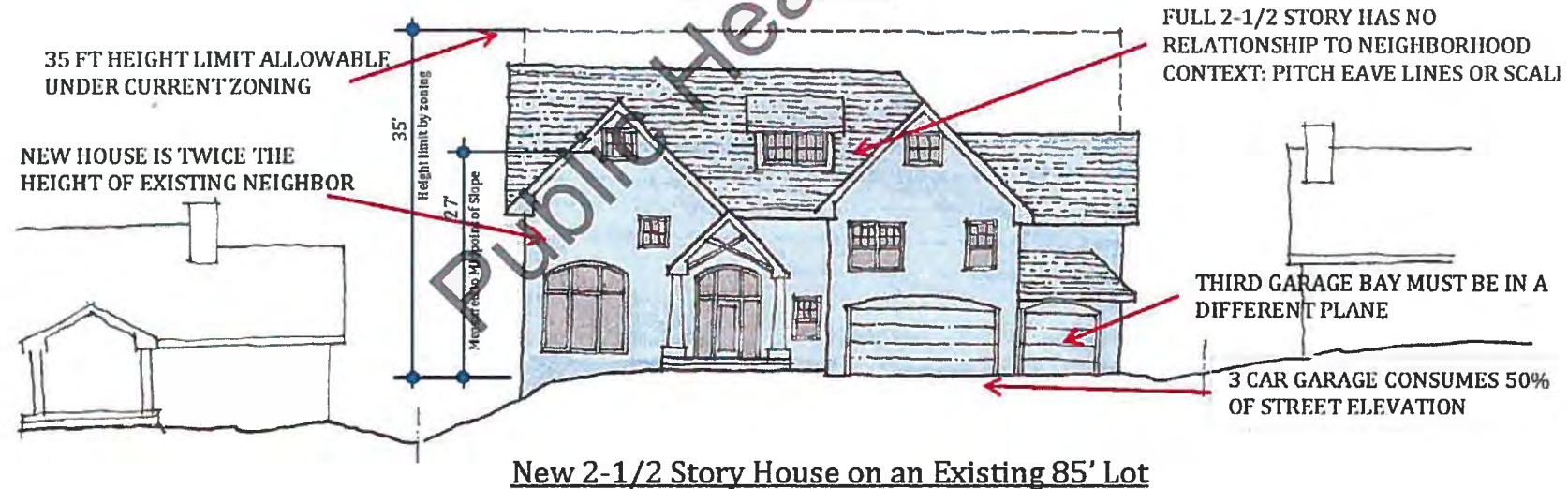


Figure 3.1

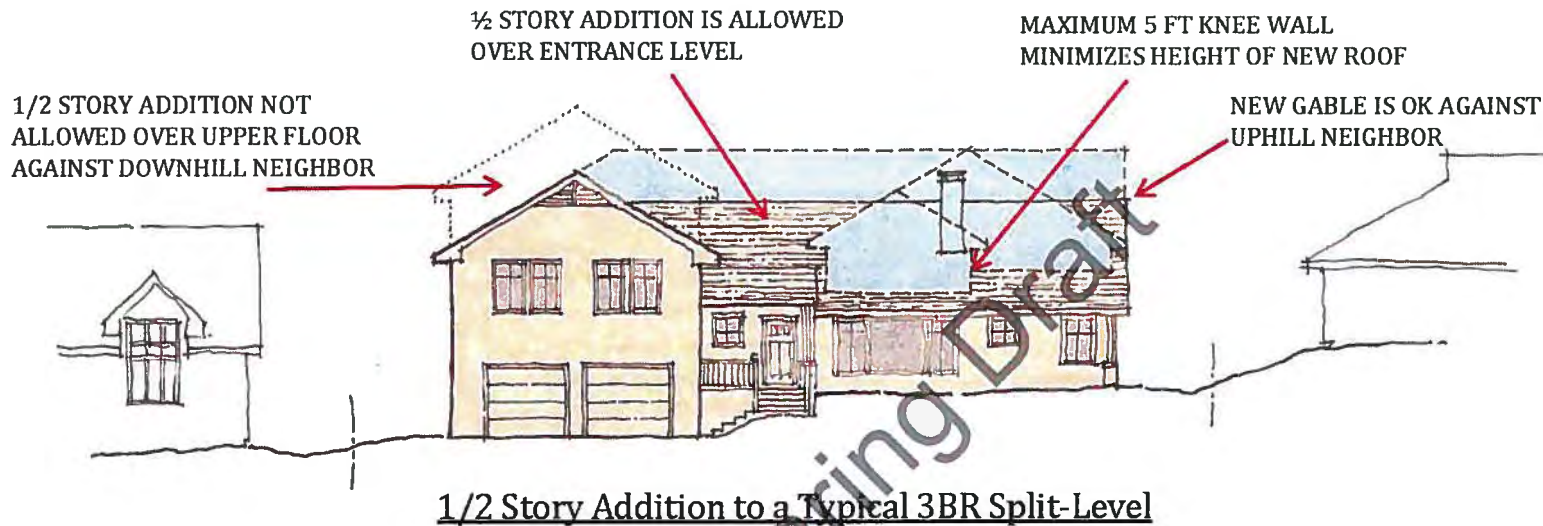
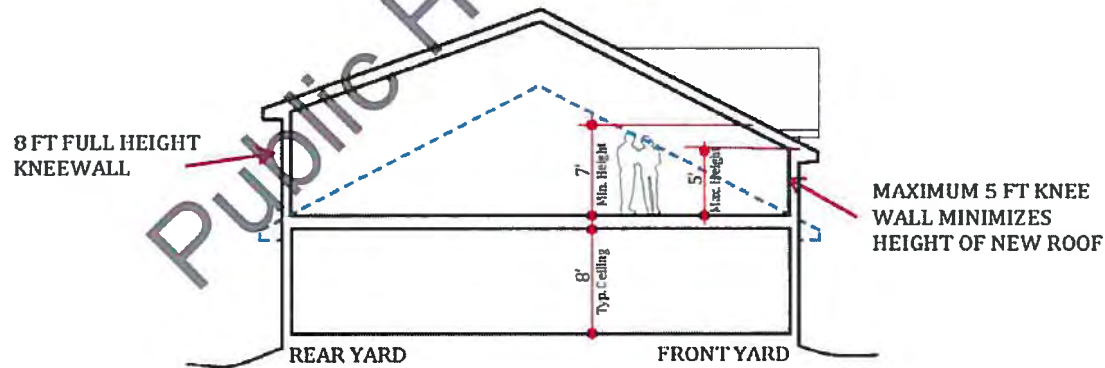


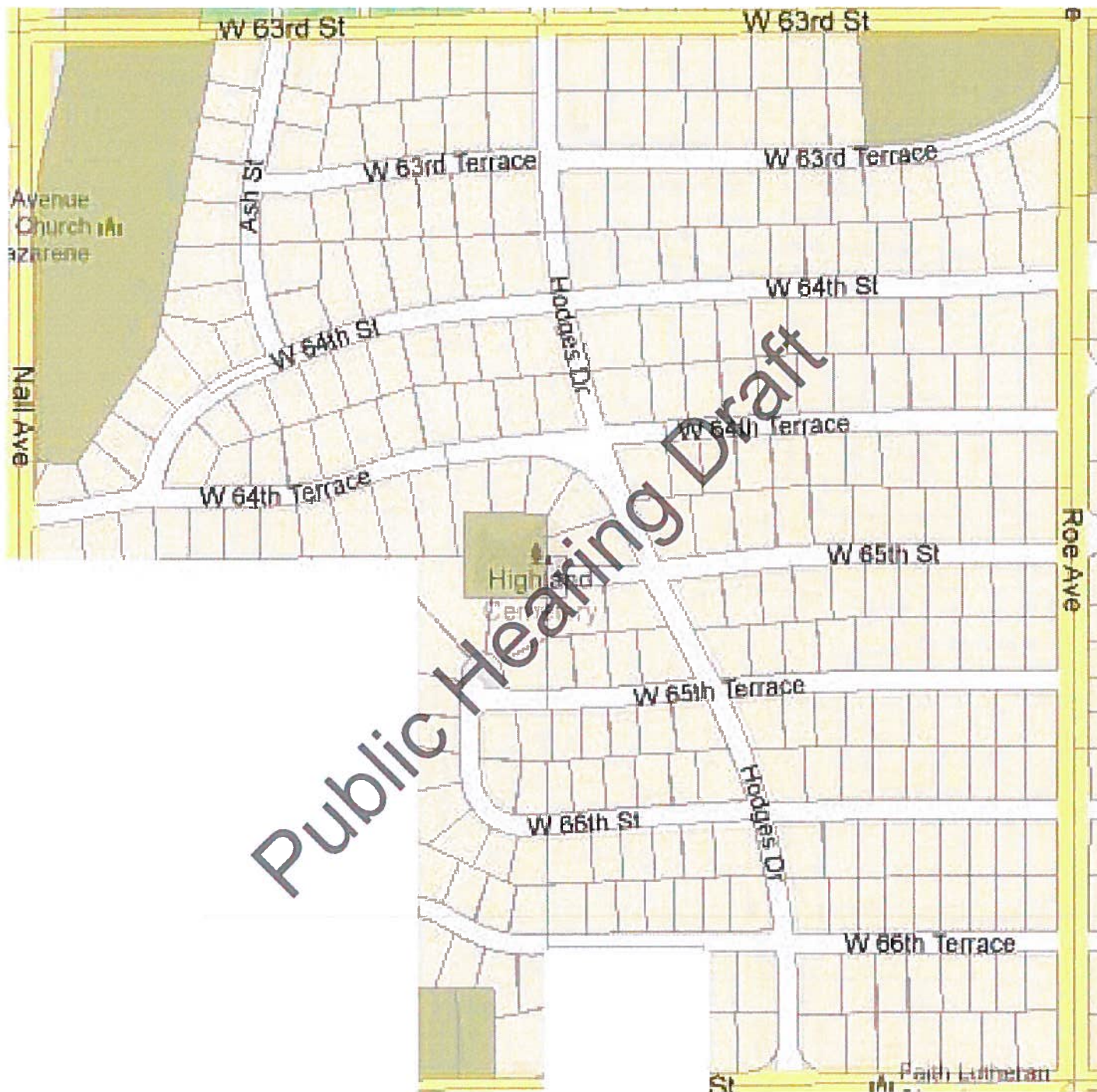
Figure 4.1



Section Through Allowable 1/2 Story Attic Addition

Figure 5.1

(Currently being developed)



APPENDIX A: BOUNDARY MAP AND LEGAL DESCRIPTION

West Hill LOT 1 PVC-0438 0001
West Hill LOT 9 PVC-0438 0009
West Hill LOT 20 PVC-0438 0020
West Hill LT 24 EX ELY 3' & EXWLY TRI TR 10.30' ON S PVC-0438 0024
West Hill LOT 2 PVC-0438 0002
West Hill LOT 10 PVC-0438 0010
West Hill LOT 21 & TRACT 10 FT X 130.9 FT SE 1/4 NW 1/4 16-12-25 ADJ LOT 21 ON E PVC-0438 0021
West Hill LOT 19 PVC-0438 0019
West Hill LOT 11 PVC-0438 0011
West Hill LOT 3 PVC-0438 0003
West Hill LOT 8 PVC-0438 0008
West Hill LOT 18 PVC-0438 0018
West Hill LOT 23 & TRI TRACT LOT 24 BEG NW COR S 135.46 FT E 10.3 FT & N TO BEG PVC-0438 0023
West Hill LOT 12 PVC-0438 0012
West Hill LOT 17 PVC-0438 0017
West Hill LOT 4 PVC-0438 0004
West Hill LOT 13 PVC-0438 0013
West Hill LOT 7 PVC-0438 0007
West Hill NLY 5' LT 15 & ALL LT 16 PVC 438 15A
West Hill LOT 22 PVC-0438 0022
West Hill LOT 5 PVC-0438 0005
West Hill LOT 14 PVC-0438 0014
West Hill LOT 15 EX NLY 5 FT PVC-0438 0015
West Hill LOT 6 PVC-0438 0006
COUNTRYSIDE-EAST LT 1 BLK 7 PVC 422C 13
COUNTRYSIDE-EAST LT 17 BLK 6 PVC 422C 12A
COUNTRYSIDE-EAST LT 14 BLK 5 PVC 422 2
COUNTRYSIDE-EAST LT 13 BLK 4 PVC 423 64
COUNTRYSIDE-EAST LT 11 BLK 3 PVC 423 44
COUNTRYSIDE-EAST LT 10 BLK 2 PVC 423 25
COUNTRYSIDE-EAST LT 9 BLK 1 PVC 423 9
COUNTRYSIDE-EAST LT 26 BLK 7 PVC 422B 13
COUNTRYSIDE-EAST LT 12 BLK 6 PVC 422C 12
COUNTRYSIDE-EAST LT 12 BLK 5 PVC 422C 11
COUNTRYSIDE-EAST LT 11 BLK 4 PVC 423 63
COUNTRYSIDE-EAST LT 10 BLK 3 PVC 423 43
COUNTRYSIDE-EAST LT 9 BLK 2 PVC 423 24
COUNTRYSIDE-EAST LT 8 BLK 1 PVC 423 8
COUNTRYSIDE-EAST LT 12 BLK 3 PVC 423 45
COUNTRYSIDE-EAST LT 18 BLK 6 PVC 422C 13
COUNTRYSIDE-EAST LT 15 BLK 5 PVC 422 3

APPENDIX A: BOUNDARY MAP AND LEGAL DESCRIPTION

COUNTRYSIDE-EAST LT 13 BLK 4 PVC 423 65
COUNTRYSIDE-EAST LT 11 BLK 2 PVC 423 26
COUNTRYSIDE-EAST LT 11 BLK 5 PVC 422C 10
COUNTRYSIDE-EAST LT 10 BLK 4 PVC 423 62
COUNTRYSIDE-EAST LT 9 BLK 3 PVC 423 42
COUNTRYSIDE-EAST LT 8 BLK 2 PVC 423 23
COUNTRYSIDE-EAST LT 7 BLK 1 PVC 423 7
COUNTRYSIDE-EAST LT 2 BLK 7 PVC 422C 14
COUNTRYSIDE-EAST LT 10 BLK 1 PVC 423 10
COUNTRYSIDE-EAST LT 25 BLK 7 PVC 422B 12
COUNTRYSIDE-EAST ELY 5 FT LT 10 & ALL LT 11 BLK 6 PVC 422C 10
COUNTRYSIDE-EAST LT 10 BLK 5 PVC 422C 9
COUNTRYSIDE-EAST LT 9 BLK 4 PVC 423 61
COUNTRYSIDE-EAST LT 8 BLK 3 PVC 423 41
COUNTRYSIDE-EAST LT 19 BLK 6 PVC 422C 14
COUNTRYSIDE-EAST LT 16 BLK 5 PVC 422 4
COUNTRYSIDE-EAST LT 14 BLK 4 PVC 423 66
COUNTRYSIDE-EAST LT 13 BLK 3 PVC 423 46
COUNTRYSIDE-EAST LT 12 BLK 2 PVC 423 27
COUNTRYSIDE-EAST LT 7 BLK 2 PVC 423 22
COUNTRYSIDE-EAST LT 6 BLK 1 PVC 423 6
COUNTRYSIDE-EAST LT 24 BLK 7 PVC 422B 11
COUNTRYSIDE-EAST LT 3 BLK 7 PVC 422C 15
COUNTRYSIDE-EAST LT 13 BLK 2 PVC 423 28
COUNTRYSIDE-EAST LT 11 BLK 1 PVC 423 11
COUNTRYSIDE-EAST ELY 5 FT LT 9 BLK 6 LT 10 EX ELY 5 FT BLK 6 PVC 422C 9 1
COUNTRYSIDE-EAST LT 9 BLK 5 PVC 422C 8
COUNTRYSIDE-EAST LT 7 BLK 3 PVC 423 40
COUNTRYSIDE-EAST LT 20 & ELY 10' LT 21 BLK 6 PVC 422C 15
COUNTRYSIDE-EAST LT 17 BLK 5 PVC 422 5
COUNTRYSIDE-EAST LT 15 BLK 4 PVC 423 67
COUNTRYSIDE-EAST LT 14 BLK 3 PVC 423 47
COUNTRYSIDE-EAST LT 8 BLK 4 PVC 423 60
COUNTRYSIDE-EAST LT 6 BLK 2 PVC 423 21
COUNTRYSIDE-EAST LT 5 BLK 1 PVC 423 5
COUNTRYSIDE-EAST LT 4 BLK 7 PVC 422C 16
COUNTRYSIDE-EAST ALL LT 21 EX ELY 10 FT BLK 6 PVC 422C 16
COUNTRYSIDE-EAST LT 18 BLK 5 PVC 422 6
COUNTRYSIDE-EAST LT 16 BLK 4 PVC 423 68
COUNTRYSIDE-EAST LT 15 BLK 3 PVC 423 48
COUNTRYSIDE-EAST LT 14 BLK 2 PVC 423 29
COUNTRYSIDE-EAST LT 12 BLK 1 PVC 423 12

APPENDIX A: BOUNDARY MAP AND LEGAL DESCRIPTION

COUNTRYSIDE-EAST LT 23 BLK 7 PVC 422B 10
COUNTRYSIDE-EAST LT 9 BLK 6 EX ELY 5 FT PVC 422C 9
COUNTRYSIDE-EAST LT 8 BLK 5 PVC 422C 7
COUNTRYSIDE-EAST LT 7 BLK 4 PVC 423 59
COUNTRYSIDE-EAST LT 6 BLK 3 PVC 423 39
COUNTRYSIDE-EAST LT 5 BLK 2 PVC 423 20
COUNTRYSIDE-EAST LT 4 BLK 1 PVC 423 4
COUNTRYSIDE-EAST LT 5 BLK 3 PVC 423 38
COUNTRYSIDE-EAST LT 4 BLK 2 PVC 423 19
COUNTRYSIDE-EAST LT 5 EX W 5 FT BLK 7 PVC 422C 17
COUNTRYSIDE-EAST LT 16 BLK 3 PVC 423 49
COUNTRYSIDE-EAST LT 15 BLK 2 PVC 423 30
COUNTRYSIDE-EAST LT 13 BLK 1 PVC 423 13
COUNTRYSIDE-EAST LT 8 BLK 6 PVC 422C 8
COUNTRYSIDE-EAST LT 7 EX W 10 FT BLK 5 PVC 422C 6 1
COUNTRYSIDE-EAST LT 6 BLK 4 PVC 423 58
COUNTRYSIDE-EAST LT 3 BLK 1 PVC 423 3
COUNTRYSIDE-EAST LT 22 BLK 6 PVC 422C 17
COUNTRYSIDE-EAST LT 19 BLK 5 PVC 422 7
COUNTRYSIDE-EAST LT 17 BLK 4 PVC 423 69
COUNTRYSIDE-EAST ELY 5' LT 21 & ALL LT 22 BLK 7 PVC 422B8 1
COUNTRYSIDE-EAST LT 14 BLK 1 PVC 423 14
COUNTRYSIDE-EAST LT 4 BLK 3 PVC 423 37
COUNTRYSIDE-EAST LT 3 BLK 2 PVC 423 18
COUNTRYSIDE-EAST W 5 FT LT 5 & ALL LT 6 BLK 7 PVC 422C 18
COUNTRYSIDE-EAST LT 17 BLK 3 PVC 423 50
COUNTRYSIDE-EAST LT 16 BLK 2 PVC 423 31
COUNTRYSIDE-EAST LT 21 BLK 7 EX ELY 5 FT PVC 422B 8
COUNTRYSIDE-EAST ELY 3.17 FT LT 6 & ALL LT 7 BLK 6 PVC 422C 7
COUNTRYSIDE-EAST LT 5 BLK 4 PVC 423 57
COUNTRYSIDE-EAST LT 2 BLK 1 PVC 423 2
COUNTRYSIDE-EAST LT 23 BLK 6 PVC 422C 18
COUNTRYSIDE-EAST ALL LT 20 & E 10 FT LT 21 BLK 5 PVC 422 8
COUNTRYSIDE-EAST LT 18 BLK 4 PVC 423 70
COUNTRYSIDE-EAST ALL LT 6 & W 10 FT LT 7 BLK 5 PVC 422C 5
COUNTRYSIDE-EAST LT 3 & E 5' LT 2 BLK 3 PVC 423 35A
COUNTRYSIDE-EAST LT 2 BLK 2 PVC 423 17
COUNTRYSIDE-EAST LT 2 BLK 8 PVC 422B 15
COUNTRYSIDE-EAST LT 7 EX WLY 2.33 FT BLK 7 PVC 422C 19
COUNTRYSIDE-EAST LT 18 BLK 3 PVC 423 51
COUNTRYSIDE-EAST LT 17 BLK 2 PVC 423 32
COUNTRYSIDE-EAST LT 15 BLK 8 PVC 422B 28

APPENDIX A: BOUNDARY MAP AND LEGAL DESCRIPTION

COUNTRYSIDE-EAST LT 20 BLK 7 PVC 422B 7
COUNTRYSIDE-EAST ELY 8 FT LT 5 & LT 6 EX ELY 3.17 FT BLK 6 PVC 422C 6
COUNTRYSIDE-EAST LT 4 BLK 4 PVC 423 56
COUNTRYSIDE-EAST LT 5 BLK 5 PVC 422C 4
COUNTRYSIDE-EAST LT 3 BLK 8 PVC 422B 16
COUNTRYSIDE-EAST WLY 2.33 FT LT 7 & LT 8 EX WLY 5 FT BLK 7 PVC 422C 20
COUNTRYSIDE-EAST LT 24 BLK 6 PVC 422C 19
COUNTRYSIDE-EAST LT 19 BLK 4 PVC 423 71
COUNTRYSIDE-EAST LT 14 BLK 8 PVC 422B 27
COUNTRYSIDE-EAST LT 19 BLK 7 PVC 422B 6
COUNTRYSIDE-EAST LT 5 EX E 8 FT BLK 6 PVC 422C 5
COUNTRYSIDE-EAST LT 3 BLK 4 PVC 423 55
COUNTRYSIDE-EAST LT 2 BLK 3 EX E 5 FT PVC 423 35
COUNTRYSIDE-EAST LT 21 EX E 10 FT BLK 5 PVC 422 9 1
COUNTRYSIDE-EAST LT 22 BLK 5 PVC 422 10
COUNTRYSIDE-EAST LT 20 BLK 4 PVC 423 72
COUNTRYSIDE-EAST LT 13 BLK 8 PVC 422B 26
COUNTRYSIDE-EAST LT 18 BLK 7 PVC 422B 5
COUNTRYSIDE-EAST LT 4 BLK 5 PVC 422C 3
COUNTRYSIDE-EAST ALL OF LT 4 & ELY 5 FT OF LT 5 BLK 8 PVC 422B 17
COUNTRYSIDE-EAST W 5 FT LT 8 ALL LT 9 & E 5 FT LT 10 BLK 7 PVC 422C 21
COUNTRYSIDE-EAST LT 25 BLK 6 PVC 422C 20
COUNTRYSIDE-EAST LT 8 BLK 10 PVC 423 85
COUNTRYSIDE-EAST LT 4 BLK 9 PVC 423 77
COUNTRYSIDE-EAST LT 1 BLK 9 PVC 423 74
COUNTRYSIDE-EAST LT 4 BLK 6 PVC 422C 4
COUNTRYSIDE-EAST LT 2 BLK 4 PVC 423 54
COUNTRYSIDE-EAST LT 5 BLK 10 PVC 423 82
COUNTRYSIDE-EAST LT 7 BLK 11 PVC 423 97
COUNTRYSIDE-EAST LT 9 BLK 10 PVC 423 86
COUNTRYSIDE-EAST LT 12 BLK 8 PVC 422B 25
COUNTRYSIDE-EAST LT 17 BLK 7 EX WLY 5 FT PVC 422B 4
COUNTRYSIDE-EAST LT 3 BLK 5 PVC 422C 2
COUNTRYSIDE-EAST LT 5 BLK 8 EX ELY 5 FT PVC 422B 18
COUNTRYSIDE-EAST LT 10 EX E 5 FT BLK 7 PVC 422C 22
COUNTRYSIDE-EAST LT 26 BLK 6 PVC 422C 21
COUNTRYSIDE-EAST LT 23 BLK 5 PVC 422 11
COUNTRYSIDE-EAST LT 3 BLK 6 PVC 422C 3
COUNTRYSIDE-EAST LT 2 BLK 5 PVC 422C 1
COUNTRYSIDE-EAST ALL LT 6 & ELY 5 FT LT 7 BLK 8 PVC 422B 19 BOTA 2350-9
COUNTRYSIDE-EAST LT 11 BLK 7 PVC 422C 23
COUNTRYSIDE-EAST LT 27 EX W 5 FT BLK 6 PVC 422C 22

APPENDIX A: BOUNDARY MAP AND LEGAL DESCRIPTION

COUNTRYSIDE-EAST ALL OF LT 8 & E 14 FT OF LT 9 BLK 11 PVC 423 98
COUNTRYSIDE-EAST LT 11 BLK 8 PVC 422B 24
COUNTRYSIDE-EAST LT 16 & WLY 5 FT LT 17 BLK 7 PVC 422B 3
COUNTRYSIDE-EAST LT 2 BLK 6 PVC 422C 2
COUNTRYSIDE-EAST ELY 9' LT 3 & ALL LT 4 BLK 11 PVC 423 93A
COUNTRYSIDE-EAST LT 4 BLK 10 PVC 423 81
COUNTRYSIDE-EAST LT 10 BLK 10 PVC 423 87
COUNTRYSIDE-EAST LT 3 BLK 10 PVC 423 80
COUNTRYSIDE-EAST LT 7 EX ELY 5 FT BLK 8 PVC 422B 20
COUNTRYSIDE-EAST ALL LT 12 & ELY 5 FT LT 13 BLK 7 PVC 422C 24
COUNTRYSIDE-EAST LT 4 & E 10 FT LT 5 BLK 12 PVC 423 105
COUNTRYSIDE-EAST LT 9 EX E 14 FT & E 24 FT LT 10 BLK 11 PVC 423 99
COUNTRYSIDE-EAST LT 10 EX WLY 5 FT BLK 8 PVC 422B 23
COUNTRYSIDE-EAST LT 15 BLK 7 PVC 422B 2
COUNTRYSIDE-EAST ELY 10' LT 2 & LT 3 EX ELY 9' BLK 11 PVC 423 93
COUNTRYSIDE-EAST LT 11 BLK 10 PVC 423 88
COUNTRYSIDE-EAST LT 1 & 25 FT VAC ST ON W & W 10 FT LT 2 BLK 12 PVC 423 102
COUNTRYSIDE-EAST LT 2 BLK 10 PVC 423 79
COUNTRYSIDE-EAST LT 5 BLK 12 EX E 10 FT & E 27 FT LT 6 PVC 423 106
COUNTRYSIDE-EAST W 46 FT LT 10 & E 36.5 FT LT 11 BLK 11 PVC 423 100A
COUNTRYSIDE-EAST ELY 11.27' LT 1 & LT 2 EX E 10' BLK 11 PVC 423 91A
COUNTRYSIDE-EAST LT 12 BLK 10 PVC 423 89
COUNTRYSIDE-EAST LT 1 BLK 10 & 25 FT VAC FOR ST ON W PVC 423 78
COUNTRYSIDE-EAST LT 6 EX ELY 27 FT & WLY 25 FT VAC ST BLK 12 PVC 423 107A
COUNTRYSIDE-EAST LT 11 EX E 36.5 FT BLK 11 & VAC FONTICELLO LANE ON W & E 3 FT LT 24 OF WEST HILL PVC 423 101
COUNTRYSIDE-EAST LT 13 BLK 10 & 25 FT VAC FOR ST ON W PVC 432 90
COUNTRYSIDE-EAST LT 1 BLK 11 & E 15 FT VAC FONTICELLO LN ADJ LT 1 EX ELY 11.27 FT PVC 423 91
COUNTRYSIDE-EAST LT 10 BLK 14 PVC 422 20
COUNTRYSIDE-EAST LT 10 BLK 13 PVC 422 16
COUNTRYSIDE-EAST LT 15 & TRI TR IN SE COR LT 14 5' AT BASE BLK 13 PVC 422 15
COUNTRYSIDE-EAST LT 11 BLK 14 PVC 422 21
COUNTRYSIDE-EAST LT 7 BLK 14 PVC 422E 5
COUNTRYSIDE-EAST LT 14 BLK 13 EX BG SE CR LT 14 W 5' NLY TO NE CR LT 14 S TO POB PVC 422 14
COUNTRYSIDE-EAST LT 2 BLK 15 PVC 422E 8
COUNTRYSIDE-EAST LT 2 BLK 17 PVC-
COUNTRYSIDE-EAST LT 12 BLK 14 PVC-
COUNTRYSIDE-EAST LT 15 BLK 15 PVC-
COUNTRYSIDE-EAST LT 3 BLK 15 PVC 422E 9
COUNTRYSIDE-EAST LT 12 BLK 17 PVC-
COUNTRYSIDE-EAST LT 6 BLK 14 PVC 422E 4
COUNTRYSIDE-EAST LT 13 BLK 13 PVC-

APPENDIX A: BOUNDARY MAP AND LEGAL DESCRIPTION

COUNTRYSIDE-EAST LT 3 EX W 7' BLK 17 PVC-
COUNTRYSIDE-EAST LT 11 BLK 17 PVC-
COUNTRYSIDE-EAST LT 14 BLK 15 PVC-
COUNTRYSIDE-EAST W 7' LT 3 & LT 4 EX W 7' BLK 17 PVC-
COUNTRYSIDE-EAST LT 4 BLK 15 PVC 422E 10
COUNTRYSIDE-EAST LT 13 BLK 15 PVC-
COUNTRYSIDE-EAST LT 5 BLK 14 PVC 422E 3
COUNTRYSIDE-EAST LT 13 EX WLY 4.66 FT BLK 14 PVC-
COUNTRYSIDE-EAST LT 12 BLK 13 PVC-
COUNTRYSIDE-EAST LT 10 BLK 17 PVC-
COUNTRYSIDE-EAST WLY 4.66 FT LT 13 & LT 14 BLK 14 PVC-
COUNTRYSIDE-EAST LT 5 BLK 15 PVC 422E 11
COUNTRYSIDE-EAST ELY 5 FT LT 10 & ALL LT 11 BLK 13 PVC-
COUNTRYSIDE-EAST W 7' LT 4 BLK 17 & ALL LT 5 BLK 17 PVC
COUNTRYSIDE-EAST LT 15 BLK 14 PVC-
COUNTRYSIDE-EAST LT 9 BLK 17 PVC-
COUNTRYSIDE-EAST LT 12 BLK 15 PVC-
COUNTRYSIDE-EAST ELY 4 FT LT 2 & ALL LT 3 EX ELY 3 FT BLK 14 PVC 422E 1
COUNTRYSIDE-EAST LT 10 BLK 13 EX ELY 5 FT PVC-
COUNTRYSIDE-EAST LT 6 BLK 15 PVC 422E 12
COUNTRYSIDE-EAST LT 2 BLK 14 EX ELY 4 FT PVC-
COUNTRYSIDE-EAST LT 16 BLK 14 & ELY TRI TR 3 FT ON N TO PT ON S OF LT 17 PVC-
COUNTRYSIDE-EAST LT 1 BLK 14 PVC-
COUNTRYSIDE-EAST LT 11 BLK 15 PVC-
COUNTRYSIDE-EAST LT 9 BLK 13 PVC-
COUNTRYSIDE-EAST LT 17 BLK 14 EX ELY TRI TR 3 FT ON N TO PT ON S PVC-
COUNTRYSIDE-EAST LT 21 BLK 14 PVC-
COUNTRYSIDE-EAST LT 8 BLK 13 PVC-
COUNTRYSIDE-EAST LT 18 BLK 14 PVC-
COUNTRYSIDE-EAST LT 20 BLK 14 PVC-
COUNTRYSIDE-EAST LT 7 BLK 13 PVC-
COUNTRYSIDE-EAST LT 6 BLK 16 PVC 422E 16
COUNTRYSIDE-EAST LT 5 BLK 16 PVC-
COUNTRYSIDE-EAST 5207 ELY 3 FT LT 3 & ALL LT 4 BLK 14 PVC 422E 2
COUNTRYSIDE-EAST LT 19 BLK 14 PVC-
COUNTRYSIDE-EAST LT 6 BLK 13 PVC-
COUNTRYSIDE-EAST LT 4 BLK 16 PVC-
COUNTRYSIDE-EAST LT 5 EX WLY 5 FT BLK 13 PVC-
COUNTRYSIDE-EAST LT 3 BLK 16 PVC-
COUNTRYSIDE-EAST LT 4 & WLY 5 FT LT 5 BLK 13 PVC-
COUNTRYSIDE-EAST LT 2 BLK 16 PVC-
COUNTRYSIDE-EAST LT 3 BLK 13 PVC-

APPENDIX A: BOUNDARY MAP AND LEGAL DESCRIPTION

COUNTRYSIDE-EAST LT 1 BLK 16 EX NWLY TRI TR 50 FT ON N & 75 FT ON W PVC-
COUNTRYSIDE-EAST LT 14 BLK 16 PVC-
COUNTRYSIDE-EAST LT 13 BLK 17 PVC-
COUNTRYSIDE-EAST LT 8 BLK 17 PVC-
COUNTRYSIDE-EAST LT 9 & WLY 5 FT LT 10 BLK 8 PVC 422B 22
COUNTRYSIDE-EAST LT 13 BLK 16 PVC-
COUNTRYSIDE-EAST LT 7 BLK 17 PVC-
COUNTRYSIDE-EAST LT 1 BLK 17 PVC-
COUNTRYSIDE-EAST LT 8 BLK 8 PVC 422B 21
COUNTRYSIDE-EAST LT 12 BLK 16 PVC-
COUNTRYSIDE-EAST LT 6 BLK 17 PVC-
COUNTRYSIDE-EAST LT 11 BLK 16 PVC-
COUNTRYSIDE-EAST LT 16 BLK 15 PVC-
COUNTRYSIDE-EAST LT 14 BLK 7 PVC 422B 1
COUNTRYSIDE-EAST LT 10 BLK 16 PVC-
COUNTRYSIDE-EAST LT 10 BLK 15 PVC-
COUNTRYSIDE-EAST LT 9 BLK 16 PVC 422E 19
COUNTRYSIDE-EAST NLY TR LT 8 46.32 FT ON W & 44.09 FT ON E & ALL LT 9 BLK 15 PVC 422E 15
COUNTRYSIDE-EAST LT 8 BLK 16 PVC 422E 18
COUNTRYSIDE-EAST LT 13 EX ELY 5 FT BLK 7 PVC 422C 25
COUNTRYSIDE-EAST LT 7 BLK 16 PVC 422E 17
COUNTRYSIDE-EAST LT 1 BLK 15 PVC 422E 7
COUNTRYSIDE-EAST LT 7 & LT 8 LESS NLY TR 46.32' ON W & 44.09' ON E BLK 15 PVC 4223 13
COUNTRYSIDE-EAST LT 8 BLK 14 PVC 422E 6
COUNTRYSIDE-EAST LT 1 BLK 6 PVC 422C 1
COUNTRYSIDE-EAST W 5 FT QF LT 27 ALL OF LT 28 BLK 6 PVC 422C 23
COUNTRYSIDE-EAST LT 9 BLK 14 PVC 422 19
COUNTRYSIDE-EAST LT 1 BLK 5 PVC 422 1
COUNTRYSIDE-EAST LT 17 BLK 13 PVC 422 17
COUNTRYSIDE-EAST LT 18 BLK 13 PVC 422 18
COUNTRYSIDE-EAST LT 24 BLK 5 PVC 422 12
COUNTRYSIDE-EAST LT 2 BLK 12 EX W 10 FT PVC 423 103
COUNTRYSIDE-EAST LT 1 BLK 4 PVC 423 53
COUNTRYSIDE-EAST LT 3 BLK 12 PVC 423 104
COUNTRYSIDE-EAST LT 21 BLK 4 PVC 423 73
COUNTRYSIDE-EAST LT 5 BLK 11 PVC 423 95
COUNTRYSIDE-EAST LT 1 BLK 3 PVC 423 34
COUNTRYSIDE-EAST LT 6 BLK 11 PVC 423 96
COUNTRYSIDE-EAST LT 19 BLK 3 PVC 423 52
COUNTRYSIDE-EAST LT 6 BLK 10 PVC 423 83
COUNTRYSIDE-EAST LT 1 BLK 2 PVC 423 16
COUNTRYSIDE-EAST LT 7 BLK 10 PVC 423 84

APPENDIX A: BOUNDARY MAP AND LEGAL DESCRIPTION

COUNTRYSIDE-EAST LT 18 BLK 2 PVC 423 33
COUNTRYSIDE-EAST LT 2 BLK 9 PVC 423 75
COUNTRYSIDE-EAST LT 1 BLK 1 PVC 423 1
COUNTRYSIDE-EAST LT 3 BLK 9 PVC 423 76
COUNTRYSIDE-EAST LT 15 BLK 1 PVC 423 15

Public Hearing Draft

APPENDIX B:PROPERTY ADDRESSES

4819 W	63RD ST	4921 W	64TH TER	5001 W	66TH ST
4901 W	63RD ST	5000 W	64TH TER	5005 W	66TH ST
4907 W	63RD ST	5100 W	64TH TER	5006 W	66TH ST
4915 W	63RD ST	5101 W	64TH TER	5011 W	66TH ST
5001 W	63RD ST	5107 W	64TH TER	5012 W	66TH ST
5007 W	63RD ST	5108 W	64TH TER	5017 W	66TH ST
5119 W	63RD ST	5111 W	64TH TER	5018 W	66TH ST
5131 W	63RD ST	5116 W	64TH TER	5100 W	66TH ST
5205 W	63RD ST	5119 W	64TH TER	5101 W	66TH ST
5213 W	63RD ST	5202 W	64TH TER	5105 W	66TH ST
4701 W	63RD TER	5203 W	64TH TER	5108 W	66TH ST
4709 W	63RD TER	5206 W	64TH TER	5111 W	66TH ST
4715 W	63RD TER	5211 W	64TH TER	5115 W	66TH ST
4801 W	63RD TER	5212 W	64TH TER	5119 W	66TH ST
4809 W	63RD TER	5215 W	64TH TER	5120 W	66TH ST
4815 W	63RD TER	5218 W	64TH TER	4700 W	66TH TER
4818 W	63RD TER	5301 W	64TH TER	4701 W	66TH TER
4819 W	63RD TER	5304 W	64TH TER	4706 W	66TH TER
4900 W	63RD TER	5305 W	64TH TER	4707 W	66TH TER
4901 W	63RD TER	5308 W	64TH TER	4712 W	66TH TER
4907 W	63RD TER	5311 W	64TH TER	4713 W	66TH TER
4908 W	63RD TER	5315 W	64TH TER	4716 W	66TH TER
4915 W	63RD TER	5401 W	64TH TER	4719 W	66TH TER
4916 W	63RD TER	5407 W	64TH TER	4800 W	66TH TER
5000 W	63RD TER	5408 W	64TH TER	4801 W	66TH TER
5001 W	63RD TER	5411 W	64TH TER	4806 W	66TH TER
5006 W	63RD TER	5414 W	64TH TER	4807 W	66TH TER
5007 W	63RD TER	4700 W	65TH ST	4812 W	66TH TER
5114 W	63RD TER	4701 W	65TH ST	4815 W	66TH TER
5117 W	63RD TER	4706 W	65TH ST	4818 W	66TH TER
5128 W	63RD TER	4707 W	65TH ST	4908 W	66TH TER
5131 W	63RD TER	4711 W	65TH ST	4909 W	66TH TER
5200 W	63RD TER	4712 W	65TH ST	4914 W	66TH TER
5201 W	63RD TER	4718 W	65TH ST	5002 W	66TH TER
5212 W	63RD TER	4719 W	65TH ST	5008 W	66TH TER
5215 W	63RD TER	4800 W	65TH ST	5014 W	66TH TER
5227 W	63RD TER	4801 W	65TH ST	5018 W	66TH TER
4700 W	64TH ST	4807 W	65TH ST	5100 W	66TH TER
4701 W	64TH ST	4808 W	65TH ST	5101 W	66TH TER
4708 W	64TH ST	4815 W	65TH ST	5107 W	66TH TER
4709 W	64TH ST	4816 W	65TH ST	5108 W	66TH TER

APPENDIX B:PROPERTY ADDRESSES

4716 W	64TH ST	4819 W	65TH ST	5115 W	66TH TER
4717 W	64TH ST	4901 W	65TH ST	5116 W	66TH TER
4800 W	64TH ST	4902 W	65TH ST	5119 W	66TH TER
4801 W	64TH ST	4904 W	65TH ST	5122 W	66TH TER
4806 W	64TH ST	4911 W	65TH ST	4700 W	67TH ST
4807 W	64TH ST	4916 W	65TH ST	4708 W	67TH ST
4812 W	64TH ST	5011 W	65TH ST	4716 W	67TH ST
4815 W	64TH ST	4700 W	65TH TER	4800 W	67TH ST
4818 W	64TH ST	4701 W	65TH TER	4806 W	67TH ST
4819 W	64TH ST	4706 W	65TH TER	4810 W	67TH ST
4900 W	64TH ST	4707 W	65TH TER	4908 W	67TH ST
4901 W	64TH ST	4711 W	65TH TER	5100 W	67TH ST
4908 W	64TH ST	4712 W	65TH TER	6300	ASH ST
4911 W	64TH ST	4717 W	65TH TER	6301	ASH ST
4916 W	64TH ST	4718 W	65TH TER	6308	ASH ST
4919 W	64TH ST	4800 W	65TH TER	6311	ASH ST
5000 W	64TH ST	4801 W	65TH TER	6316	ASH ST
5001 W	64TH ST	4805 W	65TH TER	6319	ASH ST
5006 W	64TH ST	4808 W	65TH TER	6324	ASH ST
5111 W	64TH ST	4811 W	65TH TER	6332	ASH ST
5112 W	64TH ST	4816 W	65TH TER	6335	ASH ST
5118 W	64TH ST	4817 W	65TH TER	6340	ASH ST
5119 W	64TH ST	4900 W	65TH TER	6341	ASH ST
5200 W	64TH ST	4901 W	65TH TER	6342	ASH ST
5201 W	64TH ST	4906 W	65TH TER	6344	ASH ST
5207 W	64TH ST	5001 W	65TH TER	6345	ASH ST
5208 W	64TH ST	5006 W	65TH TER	6300	HODGES DR
5215 W	64TH ST	5007 W	65TH TER	6301	HODGES DR
5216 W	64TH ST	5012 W	65TH TER	6312	HODGES DR
5217 W	64TH ST	5013 W	65TH TER	6315	HODGES DR
5219 W	64TH ST	5018 W	65TH TER	6328	HODGES DR
5305 W	64TH ST	5019 W	65TH TER	6331	HODGES DR
5309 W	64TH ST	5100 W	65TH TER	6343	HODGES DR
5312 W	64TH ST	5101 W	65TH TER	6344	HODGES DR
5314 W	64TH ST	5104 W	65TH TER	6400	HODGES DR
5315 W	64TH ST	5108 W	65TH TER	6401	HODGES DR
5320 W	64TH ST	5112 W	65TH TER	6415	HODGES DR
5404 W	64TH ST	5116 W	65TH TER	6420	HODGES DR
4700 W	64TH TER	5117 W	65TH TER	6433	HODGES DR
4701 W	64TH TER	4700 W	66TH ST	6434	HODGES DR
4706 W	64TH TER	4701 W	66TH ST	6436	HODGES DR
4707 W	64TH TER	4704 W	66TH ST	6437	HODGES DR

APPENDIX B:PROPERTY ADDRESSES

4711 W	64TH TER	4707 W	66TH ST	6500	HODGES DR
4712 W	64TH TER	4712 W	66TH ST	6501	HODGES DR
4717 W	64TH TER	4713 W	66TH ST	6508	HODGES DR
4718 W	64TH TER	4718 W	66TH ST	6511	HODGES DR
4800 W	64TH TER	4719 W	66TH ST	6514	HODGES DR
4801 W	64TH TER	4800 W	66TH ST	6517	HODGES DR
4807 W	64TH TER	4801 W	66TH ST	6522	HODGES DR
4808 W	64TH TER	4805 W	66TH ST	6525	HODGES DR
4816 W	64TH TER	4806 W	66TH ST	6600	HODGES DR
4817 W	64TH TER	4811 W	66TH ST	6601	HODGES DR
4821 W	64TH TER	4812 W	66TH ST	6608	HODGES DR
4900 W	64TH TER	4817 W	66TH ST	6609	HODGES DR
4907 W	64TH TER	4818 W	66TH ST	6614	HODGES DR
4908 W	64TH TER	4911 W	66TH ST	6615	HODGES DR
4915 W	64TH TER	4912 W	66TH ST	6618	HODGES DR
4916 W	64TH TER	5000 W	66TH ST	6619	HODGES DR

Public Hearing Draft

**APPENDIX C: CROSS REFERENCE BETWEEN THE CSE HOA COVENANTS AND THE
OVERLAY DISTRICT GUIDELINES**

Cross reference between the CSE HOA Covenants and the Overlay District Guidelines

Summary Wording from CEHA booklet	Deeded Restriction Covered	Authority: Overlay or CEHA
1. The plots shall be used for private dwelling purposes only. Each dwelling shall be designed for occupancy by a single family only.	V	Overlay
2. No garage or outbuilding shall be used as a residence or living quarters.	V	Overlay
3. No building, fence, wall, hedge or structure shall be commenced, erected or maintained until acceptable professional plans and specifications are submitted to the CEHA and approved in writing by the board. In passing upon such plans, the CEHA may take into consideration the suitability of the proposed construction the materials of which it is to be built, the harmony thereof with the surroundings and the outlook from adjacent or neighboring property.	VI	Overlay for approval of plans for buildings and structures CEHA board for fences, walls and hedges
4. Every outbuilding, except a greenhouse, shall correspond in style and architecture to the dwelling and shall be of the same exterior materials. No outbuilding shall exceed the dwelling in height or number of stories.	VIII	Overlay
5. No dwelling or any part thereof shall be erected nearer to the adjoining street than the building limit line shown on the recorded plat.*	IX also includes outbuildings by amendment	Overlay
6. No part of any dwelling shall be erected nearer to the side property line than 12½ percent of the width of the plot at the front property line.*	X	Overlay
7. No outbuilding shall be erected on any plot nearer to the adjoining street than the outbuilding limit line shown on the recorded plat.*	XI	Overlay
8. Except with the written permission of the CEHA, no dwelling exceeding 1½ stories will be permitted. Certain lots are restricted to one-story dwellings.**	XIII	Overlay
9. No permanent building or structure shall be erected within easement areas. Fences, walls or hedges may be erected within the easements but are subject to the right of access by utility	XIV	Overlay for permanent structures CEHA for fences, walls and hedges

**APPENDIX C: CROSS REFERENCE BETWEEN THE CSE HOA COVENANTS AND THE
OVERLAY DISTRICT GUIDELINES**

companies at any time.		
Summary Wording from CEHA booklet	Deeded Restriction Covered	Included in Overlay Wording
10. Only those signs used to advertise the property for sale may be posted for a prolonged period of time. Signs should not exceed 1½ feet by 2 feet.	XV	CEHA
11. No radio or television antenna shall be more than 3 feet higher than the roof line. No radio or television towers shall be constructed. Any antenna shall not be visible from a point in the center of the street directly opposite the center of the dwelling.	XV	CEHA
12. No fence, wall, hedge, pergola or detached structure for ornamental purpose shall be erected nearer a front or side street than the building line limit.	XV	CEHA
13. No cows, horses, pigs, poultry, goats or rabbits shall be maintained on any plot and no owner may maintain more than 2 dogs or 2 cats or other household pets on any plot at one time.	XV	CEHA
14. No trash, ashes or other refuse may be thrown or dumped on any plot in the addition. All trash and garbage containers shall be hidden from view.	XV	CEHA

* The deeded restrictions allow minor modifications under certain circumstances.
 ** A detailed listing is available in the Deeded Restrictions that are on file with the Countryside East Homes Association.

STAFF REPORT

TO: Prairie Village Planning Commission
FROM: Ron Williamson, Lochner, Planning Consultant
DATE: March 5, 2013 Planning Commission Meeting

Project # 000005977

Application: PC 2013-03

Request: Special Use Permit for St. Ann's School Expansion

Property Address: 7231 Mission Road

Applicant: Shafer, Kline & Warren for St. Ann's Catholic Church

Current Zoning and Land Use: R-1B Single Family Residential District – Church and School

Surrounding Zoning and Land Use: **North:** RP-3 Planned Garden Apt. District & R-1B Single Family Residential – Apartments and Single Family Dwellings
East: R1-B Single Family Residential District – Single Family Dwellings and Windsor Park
South: C-0 Office Building District – Offices and R-1B Single Family Residential District – Single Family Dwellings
West: R1-B Single Family Residential District – Single Family Dwellings

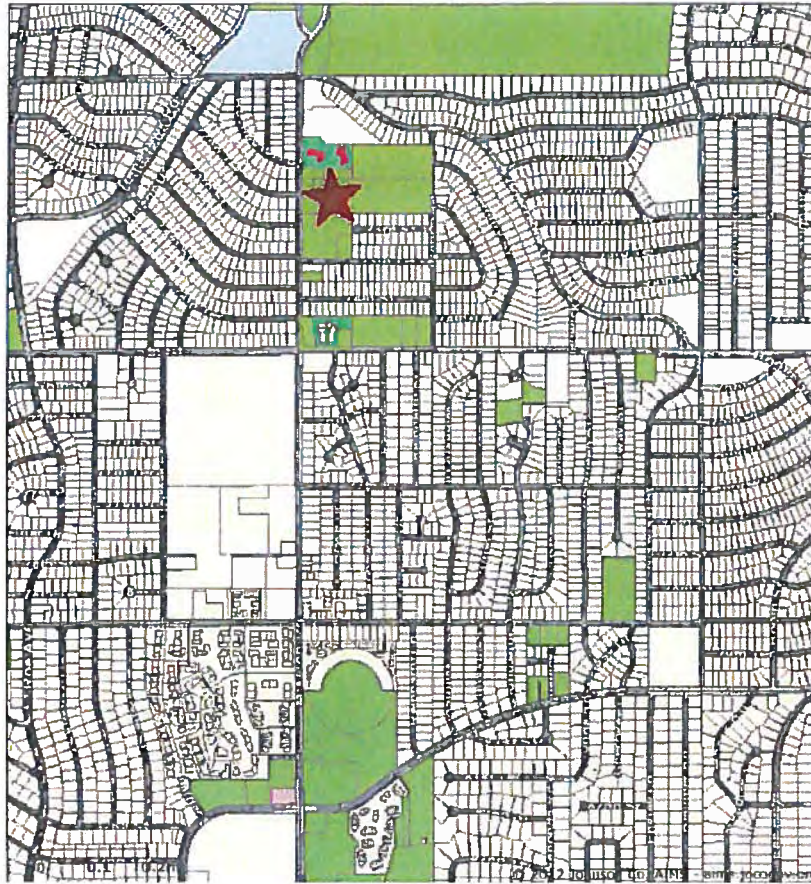
Legal Description: Metes and Bounds - Unplatted

Property Area: 10.6 Acres

Related Case Files: PC 2013-104 Preliminary and Final Plat for Church and School
PC 2013-104 Site Plan Approval for Church & School Expansion
PC 2011-122 Site Plan for Wireless Facility Changes
PC 2011-113 Monument Sign Approval on Windsor Street
PC 2007-120 Monument Sign Approval
PC 2006-11 SUP for a Wireless Facility
PC 1996-86 SUP for a Wireless Facility
PC 1987-104 Site Plan Approval for Expansion

Attachments: Application, Plans and Photos

General Location Map



Aerial Map



COMMENTS:

St. Ann's Catholic Church submitted an application for site plan approval for expansion of the Church and School facilities. This application was considered and approved by the Planning Commission at their regular meeting on January 8, 2013. One of the conditions of site plan approval was that a Special Use Permit application be submitted and approved for the school.

Normally, the Special Use Permit and Site Plan would have been considered at the same Planning Commission Meeting, but the City Council had passed a moratorium for filing Special Use Permit applications so it could not be considered until now.

The zoning ordinance requires that private schools, colleges, and universities obtain Special Use Permit approvals. St. Ann's School was built in 1968 and is a legal non-conforming use, but it cannot be expanded or enlarged until such time as the Special Use Permit is approved. The Kansas City Christian Church and the Montessori School were both in a similar situation and have filed Special Use Permit applications which were approved.

The applicant is proposing to extend the north wing of the school building to add eight new classrooms. The expansion will have four classrooms on each floor and an elevator will be constructed to provide access between the floors. The addition will provide implementation of a full-day kindergarten program. All classrooms will be moved out of the basement of the church to the new classrooms. The science lab, which currently serves a dual purpose as a home room, will be dedicated full time to science education. Staff will be moved from lobbies and corridor spaces to the classrooms. The proposed expansion will provide a more efficient and effective organization of providing education to the students. Currently the school serves grades Kindergarten through eighth grade.

A neighbor has submitted a request that the construction vehicles not access from Windsor, but access the site from Mission Road. This seems to be a reasonable request and can be added as a condition of approval. Windsor is a residential street and bringing construction equipment and materials through this residential area would be disruptive.

The applicant held a neighborhood meeting on February 20, 2013, in accordance with the Planning Commission Citizen Participation Policy. One resident attended and had no issues with the proposal.

FACTORS FOR CONSIDERATION:

The Planning Commission shall make findings of fact to support its recommendation to approve, conditionally approve, or disapprove this Special Use Permit. In making its decision, consideration should be given to any of the following factors that are relevant to the request:

1. **The proposed special use complies with all applicable provisions of these regulations including intensity of use regulations, yard regulations and use limitations.**
-

The property is zoned R-1B Single Family Residential District and has been developed by St. Ann's Church and School since 1968. The site is approximately 10.6 acres and has adequate area to accommodate the proposed expansion and meet all setback, height and area regulations of the zoning ordinance.

2. The proposed special use at the specified location will not adversely affect the welfare or convenience of the public.

The site is large and this is the expansion of a use that has been there since 1968. The proposed expansion is for eight classrooms internally on the site and will not adversely affect the welfare or convenience of the public.

3. The proposed special use will not cause substantial injury to the value of other property in the neighborhood in which it is to be located.

The footprint of the proposed expansion is approximately 72' x 77' or 5,544 sq. ft. The total square footage added will be 11,088 sq. ft. The existing square footage of the school and church is 93,631 square feet according to the Johnson County Appraisers data. This is a 11.8% increase in the square feet of the complex.

The proposed expansion is internal to the site and will have little if any impact on the surrounding neighborhood. Therefore, the proposed expansion will not cause substantial injury to the value of other property.

4. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with it, and the location of the site with respect to streets giving access to it, are such that this special use will not dominate the immediate neighborhood so as to hinder development and use of neighboring property in accordance with the applicable zoning district regulations. In determining whether the special use will so dominate the immediate neighborhood, consideration shall be given to: a) the location, size and nature of the height of the building, structures, walls and fences on the site; and b) the nature and extent of landscaping and screening on the site.

This proposal is for only eight additional classrooms and is not of a size that will dominate the neighborhood or hinder development or redevelopment. This neighborhood is completely developed.

5. Off-street parking and loading areas will be provided in accordance with standards set forth in these regulations and said areas shall be screened from adjoining residential uses and located so as to protect such residential uses from any injurious affect.

Currently there are 305 parking spaces on the site and the applicant has calculated that the school and church require 239 spaces. The ordinance requires two spaces for each classroom which will add 16 spaces for a total requirement of 255 spaces. The site will have an excess of 50 spaces over the requirements. The church normally does not have functions during school time so generally there is more than adequate parking available. The parking spaces are existing and are located to have minimum negative impact on the neighborhood. When major events occur, the grassed sports fields could be used as temporary parking. Also it may be possible to use parking to the south if an activity does not occur during normal office hours.

- 6. Adequate utility, drainage and other necessary utilities have been or will be provided.**

Storm drainage was addressed at the time of site plan approval and the applicant is working with Public Works to resolve drainage concerns. All utilities are available on site.

- 7. Adequate access roads or entrance and exit drives will be provided and shall be so designed to prevent hazards and to minimize traffic congestion in public streets and alleys.**

St. Ann's Church and School is a developed property and no change in the ingress or egress is planned. Currently the property can be entered from one location on Mission Road and one location of Windsor Street. Exiting can occur from two locations on Mission Road and one on Windsor Street. No congestion will be added to adjacent public streets.

- 8. Adjoining properties will be adequately protected from any hazardous or toxic materials, hazardous manufacturing processes, obnoxious odors, or unnecessary intrusive noises.**

This particular use does not appear to have any hazardous or toxic materials, hazardous processes or obnoxious odors related to its use. There may be some noise generated from the outdoor play of the children, but it should be minimal.

- 9. Architectural style and exterior materials are compatible with such style and materials used in the neighborhood in which the proposed structure is to be built or located.**

The architectural plans were approved as a part of the Site Plan Approval.

RECOMMENDATION:

After a review of the proposed application in relation to the eight factors previously outlined, the Planning Commission may either recommend approval of the Special Use Permit with or without conditions, recommend denial, or continue it to another meeting. In granting this Special Use Permit, however, the Planning Commission may impose such conditions, safeguards, and restrictions upon the premises benefited by approval of the Special Use Permit as may be necessary to reduce or minimize any potentially injurious affect on other property in the neighborhood. It is the recommendation of Staff that the Planning Commission recommend approval of the Special Use Permit for St. Ann's School to the Governing Body subject to the following conditions:

1. That access to the site for construction vehicles and material deliveries be from Mission Road.
 2. That the Special Use Permit be approved for an indefinite time.
 3. That future expansion or modification be handled through the Site Plan Procedure and amendment to the Special Use Permit not be required unless the school expands to high school grades.
 4. That if the applicant is found to be in non-compliance with the conditions of the Special Use Permit, the permit will become null and void within 90 days of notification of non-compliance, unless the non-compliance is corrected.
-



SPECIAL USE PERMIT APPLICATION

CITY OF PRAIRIE VILLAGE, KANSAS

For Office Use Only

Case No.: PC 2013-03
Filing Fees: 150
Deposit: 500



Date Advertised: _____
Date Notices Sent: _____
Public Hearing Date: _____

APPLICANT: Shafer, Kline & Warren, Inc. PHONE: 913-888-7800 (Arnie Tulloch)

ADDRESS: 11250 Corporate Ave., Lenexa, KS 66219 E-MAIL: tulloch@skw-inc.com

OWNER: St. Ann Catholic Church PHONE: 913-660-1128 (Bill Schafer)

ADDRESS: 7231 Mission Rd., Prairie Villag, KS ZIP: 66208

LOCATION OF PROPERTY: 7231 Mission Rd.

LEGAL DESCRIPTION: See attached legal description (property is being platted)

ADJACENT LAND USE AND ZONING:

	<u>Land Use</u>	<u>Zoning</u>
North	<u>Apartments</u>	<u>RP-3</u>
South	<u>Single Family & Offices</u>	<u>R1-B & C-0</u>
East	<u>Single Family & Park</u>	<u>R1-B</u>
West	<u>Single Family</u>	<u>R1-B</u>

Present Use of Property: Church & School

Please complete both pages of the form and return to:
Planning Commission Secretary
City of Prairie Village
7700 Mission Road
Prairie Village, KS 66208



January 31, 2013

Mr. Arnie Tulloch
Shafer Kline and Warren, Inc.
11250 Corporate Ave.
Lenexa, KS 66219

Re: St. Ann Catholic School
Building Expansion Narrative

Dear Arnie:

This letter shall serve as documentation to communicate the purpose for the St. Ann Catholic School Building Expansion. It shall be submitted in conjunction with the Special Use Permit Application to the City of Prairie Village.

The Building Committee at St. Ann Catholic Church (Owner) observed conditions in both the church and school facilities for several years. Both facilities were seen to be deficient in many areas. A few primary concerns were identified in a parish-wide survey. The top issues were a lack of accessibility, a lack of gathering/community space, a lack of security in the school, and a lack of space for small-group education. The Owner hired HTK Architects to develop a Master Plan that would address these main items and several others as well. Multiple phases of construction projects were identified to rectify the deficiencies.

The first phase, Phase 1, consists of the addition of 8 classrooms on the north wing of the existing school building. The additional space is necessary to account for several issues.

1. Full-Day Kindergarten: An additional kindergarten classroom will allow for the implementation of a full-day kindergarten program. This is becoming standard practice for most schools/school districts.
2. Secure School Perimeter: All kindergarten and first grade classrooms will be moved out of the church facility basement, into the school facility. This encompasses all classrooms within the secure perimeter of the school.
3. Science Education: The science lab will be freed up to be used for dedicated science education. Currently it serves as a middle school home room, and is deprives several grades of students of access to a lab experience.
4. Small Group Education: Paraprofessionals and Resource Instructors will be moved from Lobbies and Corridor spaces to dedicated education rooms.
5. Accessibility: An elevator will provide access to/from the school upper and lower floors.

These additions will allow St. Ann Catholic School to continue to provide a high-quality education to their students, while offering comparable amenities to other area schools.

Sincerely,

A handwritten signature in black ink that reads 'Gordon Kimble'. The signature is written in a cursive, slightly slanted style.

Gordon Kimble, AIA

Adam Switzer
3506 West 73rd Street
Prairie Village, KS 66208

February 7, 2013

City of Prairie Village Planning Commission
Planning Commission – Mr. Ken Vaughn
7700 Mission Road
Prairie Village, KS 66208

RE: APPLICATION PC 2013-03

Dear Members of the City of Prairie Village Planning Commission:

I am writing today regarding Application PC 2013-03, Request for a Special Use Permit by the St. Ann Catholic Church.

My family and I fully support the plan for this addition. Our son is a student at St. Ann Young Child Center and the church/school is a wonderful asset to our town providing fellowship, education, and community.

Our sole request for this proposal is that construction traffic be granted access onto St. Ann's property solely from Mission Road. The small, private access lane which opens onto Windsor Street, immediately behind our property is not suitable for construction traffic as it was constructed to only accommodate light passenger vehicles. Most importantly, this lane serves pedestrians as there is no sidewalk and children frequently ride bicycles, scooters, and skateboards in this area. Also, this lane has no centerline markings, curbs, or other required safety features of a public roadway. Furthermore, this lane has a very blind corner when entering Windsor Road due to a privacy fence on the southwest corner of the intersection.

It is our intention to fully support St. Ann's school expansion initiative. We humbly ask that the Planning Commission consider safety first when reviewing this proposal and restrict construction traffic to the two entrances onto St. Ann's property from Mission Road. Thank you for your concern for the community and consideration of St. Ann's proposal.

Sincerely,



Adam Switzer



7231 Mission Road, Prairie Village, KS 66208 913-660-1182
www.stannpv.org

February 6, 2013

Re: St. Ann Catholic Church
Building Addition and Site Improvements
Special Use Permit

Dear Property Owner:

A neighborhood informational meeting is being held on Wednesday, February 20, 2013 at 6:00 p.m. in the St. Ann Church Parish Hall, 7231 Mission Road, Prairie Village, Kansas in connection with our Special Use Permit Application.

Attached are copies of the overall site development and school addition plans showing the building addition, classroom floor plans and parking lot improvements. Also, attached is a copy of the proposed building elevations for the project.

You are welcome to attend the above referenced meeting or contact me if you have any questions.

Respectfully,

A handwritten signature in black ink that reads "W. E. Schafer". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

William E. Schafer
Business Manager
St. Ann Catholic Church
bschafer@stannpv.org
(913) 660-1128

Enclosures

NOTICE TO PROPERTY OWNERS WITHIN 200' OF 7235 MISSION ROAD

CITY OF PRAIRIE VILLAGE, KANSAS NOTICE OF HEARING

The Planning Commission of the City of Prairie Village, Kansas will hold a Public Hearing at its regular meeting on Tuesday, March 5, 2013, at 7:00 p.m. in the Gymnasium of Indian Hills Middle School, 6400 Mission Road, Prairie Village, Kansas. The subject of the Public Hearing is:

APPLICATION PC 2013-03 - Request for a Special Use Permit for a Private School at 7235 Mission Road zoned R-1a (Single Family Residential) in accordance with Section 19.28.070T of the Prairie Village Zoning Code
Applicant: Arnie Tulloch with HTK Architects on behalf of St. Ann's Catholic School

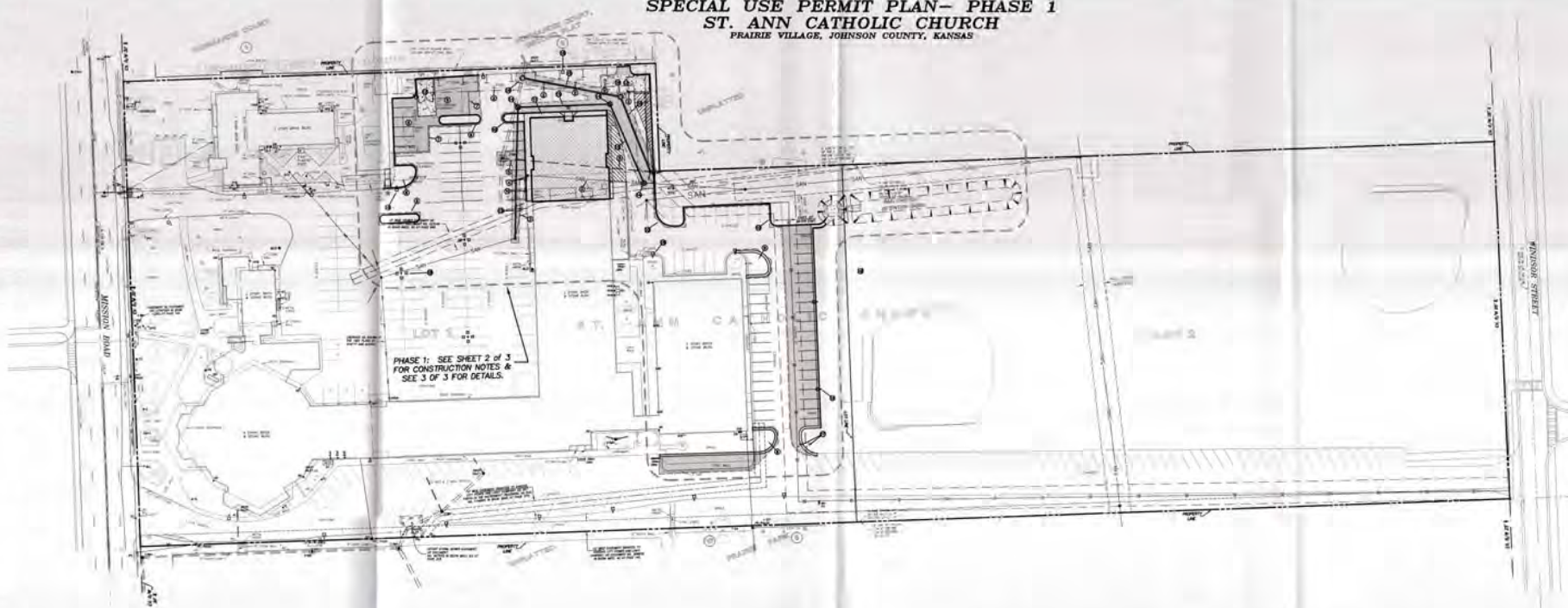
The property is legally described as Part of NW1/4 of Section 22, Township 12 South, Range 25 East, Prairie Village, Johnson County, Kansas and commonly addressed as 7235 Mission Road.

The requested Special Use Permit is for the existing school which will be expanding with the addition of 8 classrooms on the north wing of the building.

At the time of the scheduled public hearing, all interested persons may present their comments. Prior to the date of the scheduled hearing, additional information regarding the proposed amendment may be reviewed in the Office of the Secretary of the Planning Commission at the Municipal Building. Comments may be submitted in writing to the Planning Commission addressed to the City of Prairie Village, 7700 Mission Road, Prairie Village, Kansas 66208. If you have a disability and need assistance to participate in any city meeting or program, contact the City Clerk at 381-6464 or TDD 1-800-766-3777.

Ken Vaughn
Chairman

SPECIAL USE PERMIT PLAN— PHASE 1
ST. ANN CATHOLIC CHURCH
 PRAIRIE VILLAGE, JOHNSON COUNTY, KANSAS



PHASE 1: SEE SHEET 2 OF 3 FOR CONSTRUCTION NOTES & SEE 3 OF 3 FOR DETAILS.



VICINITY MAP
 NW 1/4 SEC. 22-12-25

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM UTILITY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. BEFORE YOU DIG, CONTACT KANSAS ONE—CALL: 811 OR 1-800-344-7233.

- POWER:** KANSAS CITY POWER & LIGHT
 JOHN WEINSTEIN
 913-894-3074
- GAS:** KANSAS GAS SERVICE
 DALE DIDDE
 913-599-8962/913-643-6323 PAGER
- WATER:** WATERWORKS
 GERRY SHERLOCK
 913-895-5774/815-769-4170 CELL
- TELEPHONE:** SBC
 MONICA PENNINGTON
 913-676-0382
- SEWER:** JOHNSON COUNTY WASTEWATER
 LONNIE POWDER (SENIOR INSPECTOR)
 913-207-9232
- CABLE TV:** TIME WARNER CABLE
 RICHARD CHAMPLIN
 913-643-1907
 MIND ESCOBAR
 913-643-1979

LEGEND:

- PROPOSED CONCRETE CURB & GUTTER (TYPE B)
- ▨ DENOTES LIGHT PAVEMENT
- ▨ 2" ASPHALTIC CONCRETE SURFACE (TYPE BM-2)
- ▨ ASPHALTIC CONCRETE BASE (TYPE BM-2B)
- ▨ DENOTES REINFORCED CONCRETE PAVEMENT W/ 4" AGGREGATE BASE
- ▨ DENOTES 4" NON-REINFORCED PORTLAND CEMENT CONCRETE SIDEWALK
- * INDICATES LOCATION OF CURB DEPRESSION FOR ADA ACCESSIBLE RAMP

BENCHMARK

BENCHMARK NO. 1: 963.65
 CHESELED SQUARE OUT SOUTH OF CONCRETE ISLAND AT NORTH ENTRANCE TO CHURCH AS SHOWN.

GENERAL NOTES:

- THE REQUIRED PARKING IS 232 STALLS BASED ON THE ASSEMBLY OCCUPANCY OF THE CHURCH. A COMBINED OCCUPANCY OF THE SCHOOL, OFFICE, AND DAYCARE IS MUCH LESS. THE DRAWING HAS BEEN UPDATED TO SHOW THIS INFORMATION.
- THE DRAINAGE STUDY HAS BEEN DONE. THE REPORT WAS ATTACHED TO THE SITE PLAN APPLICATION ISSUED TO THE CITY. A COPY IS ATTACHED TO THIS LETTER FOR REFERENCE.
- THE REQUIRED TURNING RADIUS HAS BEEN ACCOMMODATED. (IT IS SHOWN ON THE SUPPLEMENTAL DRAWING ATTACHED TO THIS LETTER.)
- ALL NEW MECHANICAL UNITS WILL BE SCREENED.
- ADDITIONAL NARRATIVE HAS BEEN ADDED TO THE PHASE NOTES AS SHOWN ON THE UPDATED DRAWING.
- LANDSCAPE ISLANDS HAVE BEEN CONSIDERED. THE OWNER'S NEEDS FOR AN UNCLUMBERED PAVED AREA OUTWEIGH THE POTENTIAL APPEAL OF ISLANDS. THE PARKING LOT IN QUESTION IS INTERNAL TO THE SITE AND SCARCELY VISIBLE FROM MISSION ROAD. IT IS USED FOR HARD PLAYGROUND SURFACE FOR THE SCHOOL. THIS IS ALSO THE MOST USED PARKING AREA FOR THE CHURCH, OFFICES, SCHOOL, AND DAYCARE. ANY REDUCTION IN AVAILABLE PARKING SPACES AT THIS LOCATION WOULD BE DETRIMENTAL.
- THE NEW DRIVE IS DESIRED TO PROVIDE ADDITIONAL ACCESSIBILITY TO THE MAIN CHURCH SANCTUARY AND CHAPEL. THERE IS A GROWING ELDERLY POPULATION IN THE PARISH. WE ARE ADDRESSING ACCESSIBILITY NEEDS ON SEVERAL FRONTS: THE MAIN ACCESSIBLE ENTRANCE AND PARKING WILL BE LOCATED AT THE NEW FRONT DOOR TO THE FACILITY, WHICH IS OFF THE INTERIOR PARKING LOT. THERE IS STILL A NEED TO GET MOBILITY-CHALLENGED PEOPLE AND EQUIPMENT (FUNERAL CASKETS) DIRECTLY INTO THE SANCTUARY ON-GRADE. THE PARISHIONER SURVEY CONDUCTED BY THE OWNER SHOWED A VERY HIGH DEMAND FOR A DROP-OFF AREA AT THE SANCTUARY DOORS. THIS IS THE SHORTEST WALKING/TRAVEL DISTANCE TO THE WORSHIP SPACE. IT WILL ALSO PROVIDE BETTER ACCESS FOR EMERGENCY RESPONSE VEHICLES. THE PARKING PROVIDED IN THE FRONT IS INTENDED TO BE USED IN CONJUNCTION WITH A POTENTIAL ADORATION CHAPEL USE AFTER BUSINESS HOURS. THIS ALLOWS THE CHURCH TO CLOSE DOWN THE REST OF THE BUILDING WHILE ALLOWING A HANDFUL OF PEOPLE TO VISIT THE CHAPEL. WE ARE ADDING GREEN SPACE TO THE FRONT LAWN BY DEMOLISHING THE CURRENT OFFICE BUILDING AND LOCATING THE REPLACEMENT STRUCTURE FARTHER AWAY FROM THE ROAD. WE ARE ALSO ADDING A GREAT DEAL OF LANDSCAPING TO THE FRONT LAWN WHILE PRESERVING THE LARGEST OF THE ESTABLISHED TREES. THE FRONT LAWN WILL CONTINUE TO BE AN AESTHETICALLY PLEASING ENVIRONMENT. THIS IS IMPORTANT TO THE OWNER FOR THEIR IDENTITY TO THE COMMUNITY.
- WE WILL BE SUBMITTING THE PLAT DOCUMENTATION TO THE CITY ON JAN. 4, 2013.

NOTES:

- EXISTING PARKING LOT PAVEMENT SHALL BE SEAL COATED AND RE-STRIPE
- ALL PAVEMENT MARKINGS FOR THE PARKING LOT AND DRIVES SHALL BE PAINTED AS SHOWN ON SITE PLAN. PAVEMENT MARKINGS FOR PARKING SPACES AND MISCELLANEOUS MARKINGS SHALL BE WHITE STRIPING (HIGH GRADE PAINT), EXCEPT FOR THE ADA PARKING SYMBOL, ACCESS AISLE AND LINES, WHICH SHALL BE BLUE.
- EXISTING SANITARY SEWER EASEMENT WITHIN PROPERTY BOUNDARY SHALL BE VACATED, EXCEPT EXISTING EASEMENT FOR EXISTING SANITARY LINE FROM MH A-1 TO MH A-0 (MH @ STA 28+96.27) (JCW #2076) AND FROM MH A-0 (MH @ STA 28+96.27) TO MH @ STA 32+11.27 (JCW #1561). EXISTING SANITARY SEWER IS NOT WITHIN EXISTING SANITARY SEWER EASEMENT.
- EXISTING SANITARY SEWER LINE FROM MANHOLE A-1, LINE A-1 TO EXISTING MANHOLE A-2, LINE A-2 SHALL BECOME SANITARY SEWER SERVICE LINE (PRIVATE).
- EXISTING SANITARY SEWER FROM MANHOLE A-0, LINE A-1 TO EXISTING MANHOLE A-1, LINE A-1 SHALL REMAIN PUBLIC AND A NEW SANITARY SEWER EASEMENT SHALL BE DEDICATED PER JCW REQUIREMENTS.
- ALL NEW MECHANICAL UNITS WILL BE SCREENED.

LEGAL DESCRIPTION:

PROPERTY DESCRIPTION:
 ALL THAT PART OF THE NORTH TEN (10) ACRES OF THE SOUTH TWENTY (20) ACRES OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION TWENTY-TWO (22), TOWNSHIP TWELVE (12), RANGE TWENTY-FIVE (25), JOHNSON COUNTY, KANSAS, DESCRIBED AS FOLLOWS, BEGINNING AT THE SOUTHWEST CORNER OF THE TEN (10) ACRES AFORESAID, THENCE NORTH 100 FEET, THENCE EAST 520 FEET, THENCE SOUTH 100 FEET, THENCE WEST ALONG THE SOUTH LINE OF THE SAID TEN (10) ACRES TO THE POINT OF BEGINNING, EXCEPT ANY PART IN STREETS;
 AND
 THE SOUTH ONE HALF (S 1/2) OF THE SOUTH ONE HALF (S 1/2) OF THE NORTHWEST QUARTER (NW QUARTER) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION TWENTY-TWO (22), TOWNSHIP TWELVE (12), RANGE TWENTY-FIVE (25), COMPRISING IN ALL TEN (10) ACRES MORE OR LESS, AND OTHERWISE DESCRIBED AS THE SOUTH TEN (10) ACRES OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION TWENTY-TWO (22), TOWNSHIP TWELVE (12), RANGE TWENTY-FIVE (25), IN JOHNSON COUNTY, KANSAS, EXCEPT ANY PART IN STREETS.
 LAND AREA: 50,706 S.F. / 1,164 ACRES

OVERALL SITE PARKING COUNT

REGULAR PARKING SPACES (9' x 18')	232	298
ADA PARKING SPACES (8'6" x 18')	7	7
	239	305



DESIGN DEVELOPMENT

DATE: January 31, 2013
 REVISED DATE:

ST. ANN CATHOLIC CHURCH & SCHOOL
PHASE 1 - SCHOOL ADDITION

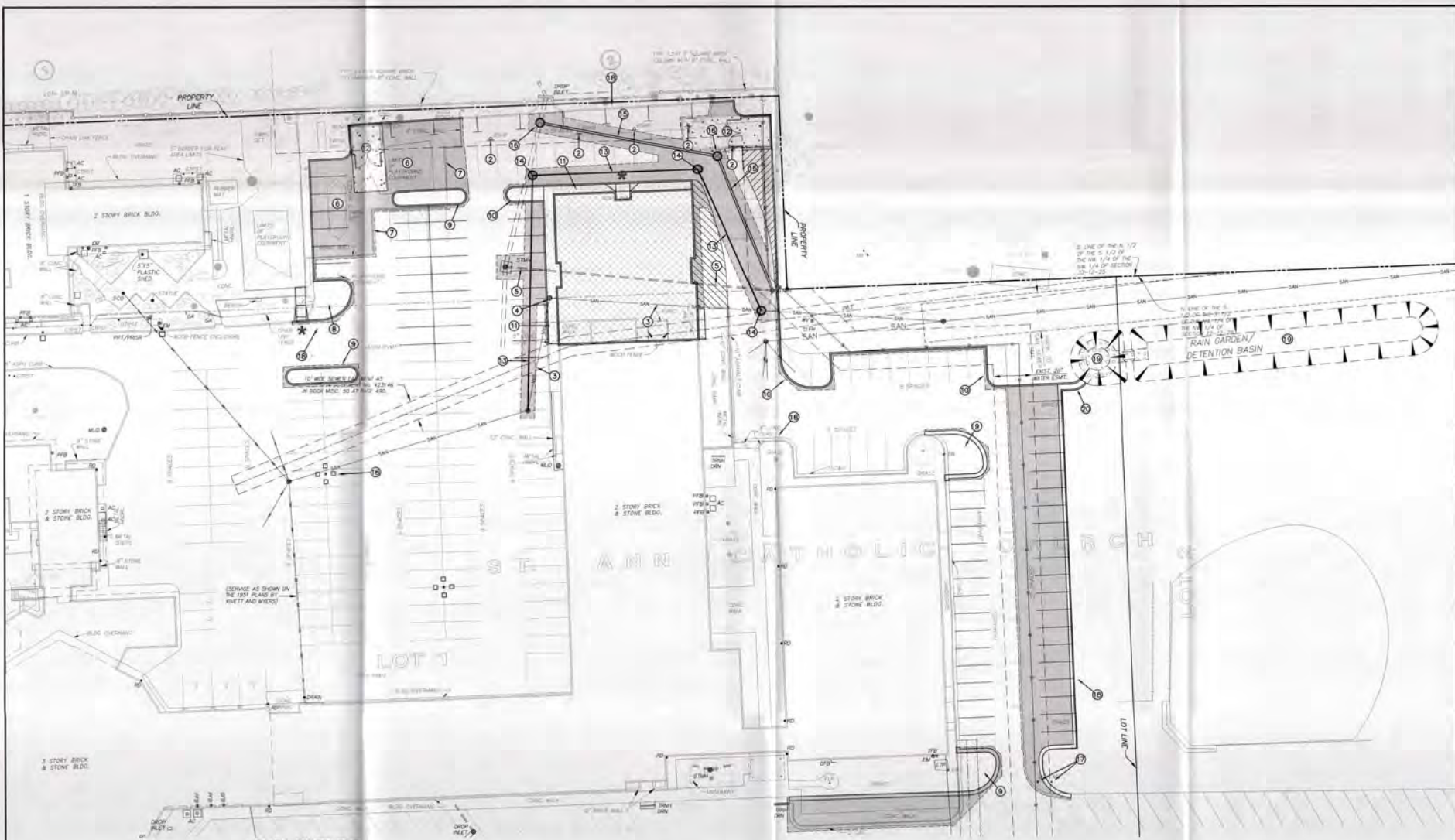
Archdiocese of Kansas City in Kansas
 7235 Mission Road, Prairie Village, KS 66208 | 283.15 Parallax Parkway, Kansas City, MO 64109

SHEET CONTENTS:
 SPECIAL USE PERMIT OVERALL

HTK PROJECT NUMBER:
 1301.02

SHEET NUMBER:
 1 OF 3

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UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM UTILITY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. BEFORE YOU DIG, CONTACT KANSAS ONE-CALL: 811 OR 1-800-344-7233.

- POWER:** KANSAS CITY POWER & LIGHT
JOHN WENSTROEM
913-894-3074
- GAS:** KANSAS GAS SERVICE
DALE DODD
913-599-8962/913-683-6323 PAGER
- WATER:** WATERONE
GERRY SHERLOCK
913-895-5774/916-769-4170 CELL
- TELEPHONE:** SBC
MONICA PENNINGTON
913-676-0362
- SEWER:** JOHNSON COUNTY WASTEWATER
LONNIE POKER (SENIOR INSPECTOR)
913-207-5232
- CABLE TV:** TIME WARNER CABLE
RICHARD CHAMPLIN
913-643-1907
MARIO ESCOBAR
913-643-1979

BENCHMARK

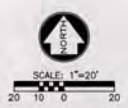
BENCHMARK NO. 1: 963.65
CHSELED SQUARE CUT SOUTH OF CONCRETE ISLAND AT NORTH ENTRANCE TO CHURCH AS SHOWN

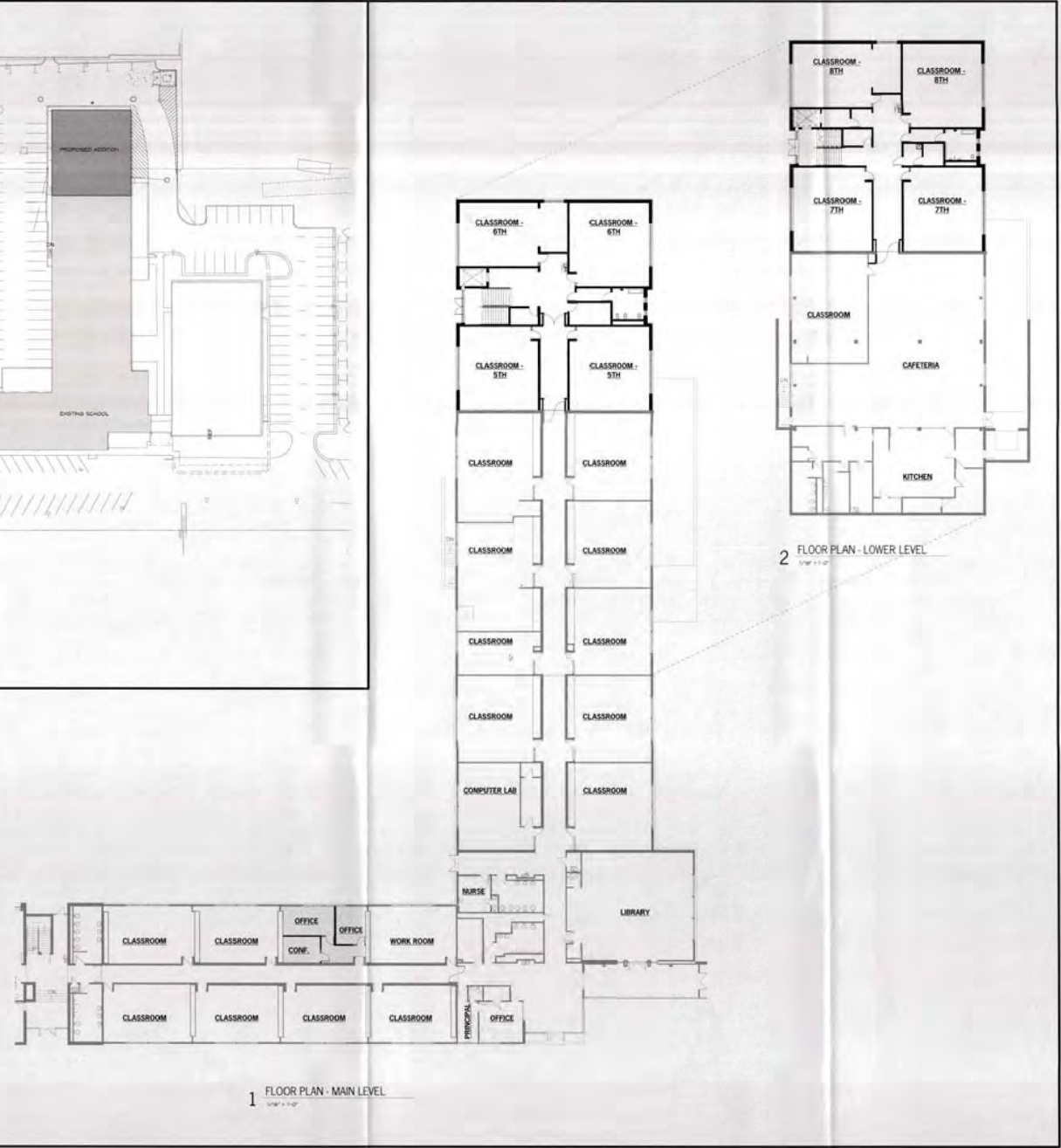
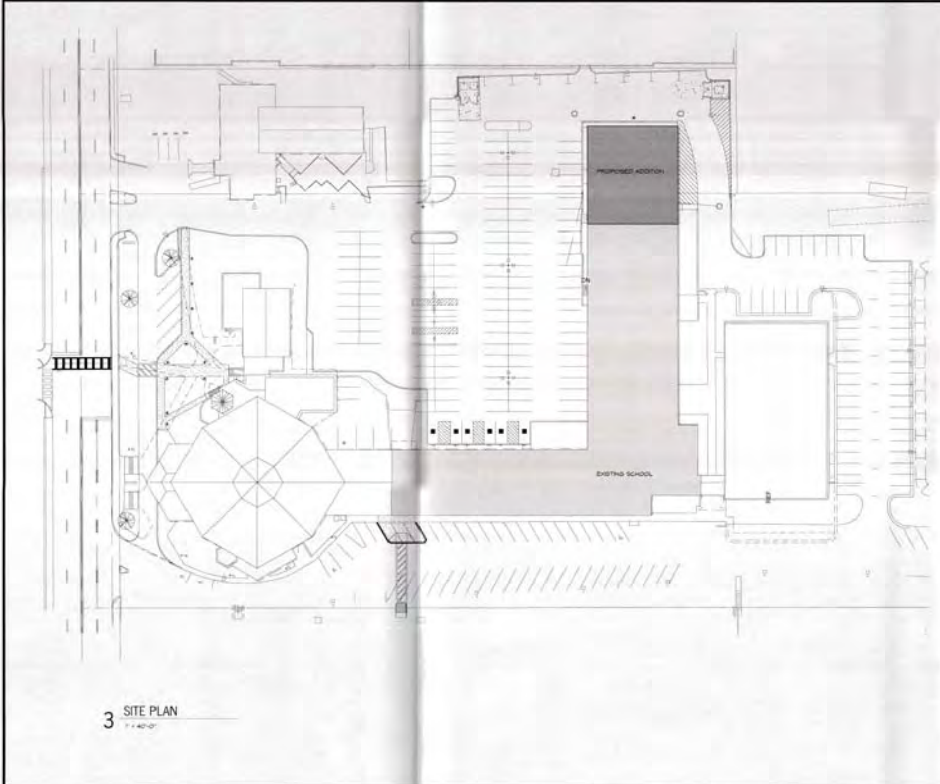
NOTES:

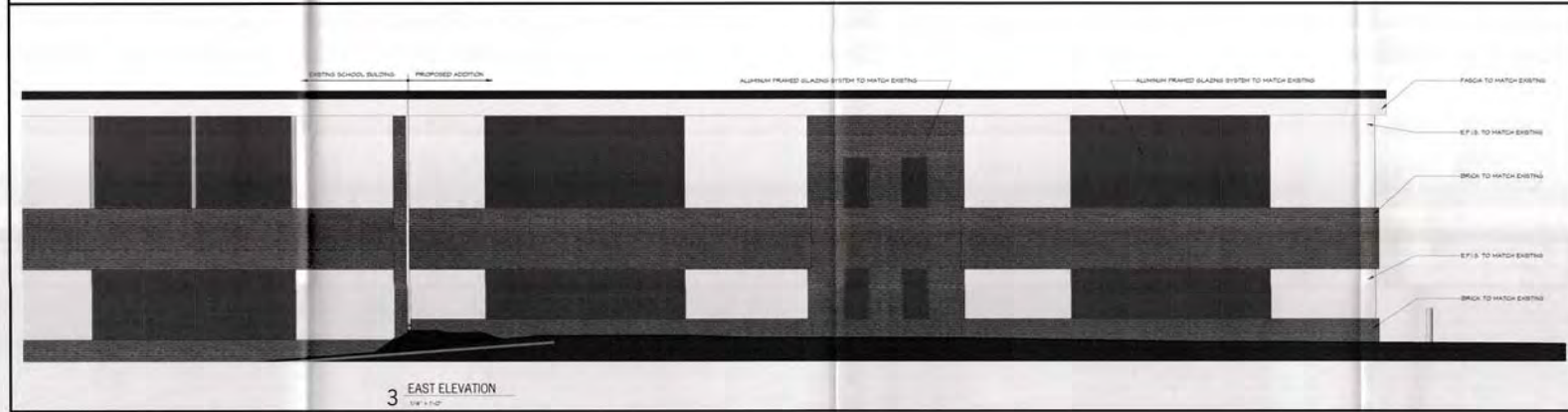
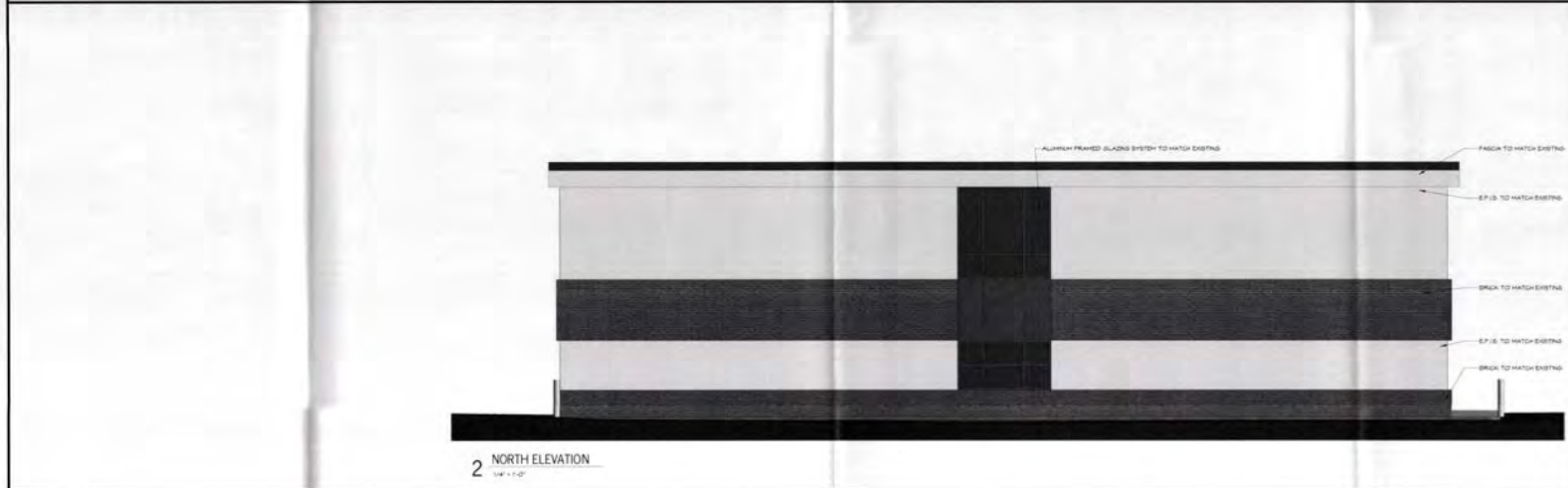
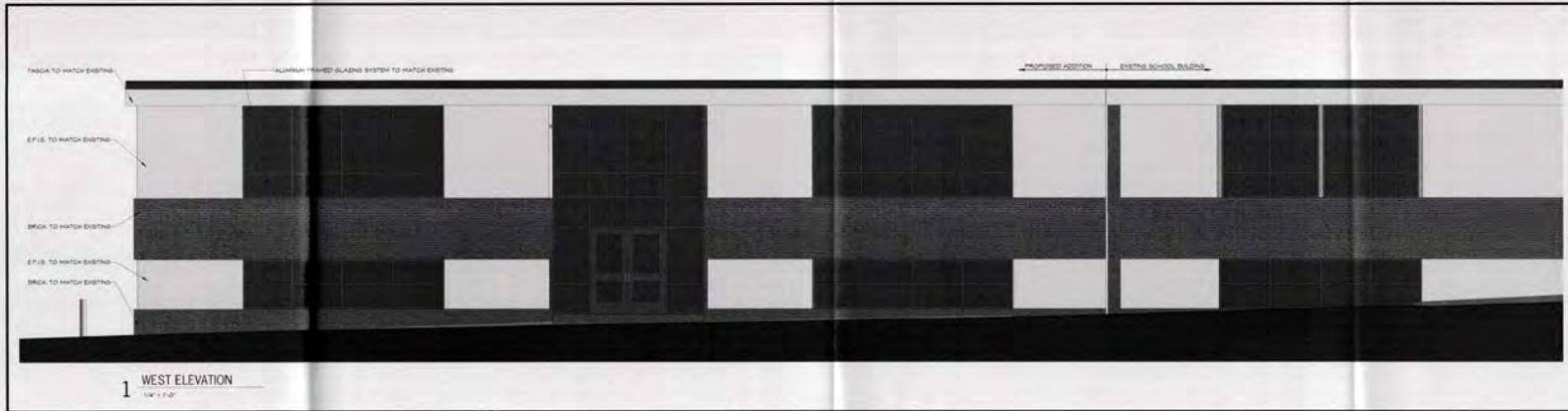
1. PROPOSED SCHOOL BUILDING ADDITION
2. RECREATIONAL EQUIPMENT TO BE REMOVED & RETURNED TO OWNER.
3. SANITARY SEWER LINE TO BE SEALED AT MANHOLE AND PIPE REMOVED OR FILLED WITH FLOWABLE FILL.
4. SANITARY SEWER MANHOLE TO BE REMOVED.
5. STORM SEWER PIPE TO BE REMOVED AND FILLED WITH FLOWABLE FILL.
6. REMOVE ALL PLAYGROUND EQUIPMENT & RETURN TO OWNER.
7. REMOVE EXISTING RETAINING WALLS.
8. REMOVE EXISTING ASPHALT PAVEMENT.
9. SAW CUT AND REMOVE EXISTING ASPHALT PAVEMENT AND CONSTRUCT NEW CURB ISLAND.
10. SAW CUT AND REMOVE EXISTING ASPHALT PAVEMENT AND CONSTRUCT NEW CURB.
11. CONSTRUCT NEW CONCRETE SIDEWALK.
12. CONSTRUCT TRASH ENCLOSURE AND 4" CONCRETE PAD.
13. SAW CUT AND INSTALL NEW SANITARY SEWER PIPE.
14. INSTALL NEW SANITARY SEWER MANHOLE.
15. SAW CUT AND INSTALL NEW STORM SEWER PIPE.
16. INSTALL NEW STORM SEWER MANHOLE.
17. REMOVE & RELOCATE EXISTING SIGNS
18. INSTALL NEW PARKING LOT LIGHTS, POLE AND CONCRETE BASE (TYPICAL)
19. PROPOSED FOREBAY, RAIN GARDEN/DETENTION BASIN. SEE PRELIMINARY STORM DETENTION LETTER.
20. CONST. 4" WIDE CONCRETE FLUME.

LEGEND:

- PROPOSED CONCRETE CURB & GUTTER (TYPE B)
- INDICATES LIGHT PAVEMENT
- 2" ASPHALTIC CONCRETE SURFACE (TYPE BM-2)
ASPHALTIC CONCRETE BASE (TYPE BM-2B)
- INDICATES REINFORCED CONCRETE PAVEMENT W/ 4" AGGREGATE BASE
- INDICATES 4" NON-REINFORCED PORTLAND CEMENT CONCRETE SIDEWALK
- ★ INDICATE LOCATION OF CURB DEPRESSION FOR ADA ACCESSIBLE RAMP







LOCHNER

STAFF REPORT

TO: Prairie Village Planning Commission
FROM: Ron Williamson, Lochner, Planning Consultant
DATE: March 5, 2013 Planning Commission Meeting

Project # 000005977

Application: PC 2013-101

Request: Site Plan Approval

Property Address: 8825 & 8839 Roe Avenue (89th & Roe Shops)

Applicant: Gastinger, Walker, Harden + Bee Triplett Buck

Current Zoning and Land Use: CP-1 Planned Restricted Business District – Office, Veterinary & Service Uses

Surrounding Zoning and Land Use: **North:** R-1A Single Family Residential District – Single Family Dwellings
East: R-1A Single Family Residential District – Single Family Dwellings
South: R-P1 Planned Single Family Residential – Single Family Dwellings
West: C-2 General Business District - Office

Legal Description: Metes and Bounds - Unplatted

Property Area: 0.92 Acres

Related Case Files: PC 2008-04 Amend SUP for Veterinary Clinic
PC 1991-05 Approval of SUP for Veterinary Clinic

Attachments: Application, Plans and Photos

LOCHNER

903 East 104th Street | Suite 800 | Kansas City, Missouri 64131-3451 | P 816.363.2696 | F 816.363.0027
engineering | planning | architecture

General Location Map



Aerial Map



COMMENTS:

The applicant is proposing to give a new facelift to the 89th and Roe Shops. According to the Johnson County Appraiser records the north building, 8825 Roe Avenue, was built in 1965 and the south building, 8839 Roe Avenue, was built in 1988. Both buildings are owned by the same entity and the proposed facade design is to update and create some similarity in the buildings' appearance.

The proposed design for the north building essentially includes adding columns for aesthetic purposes, replacing the fluorescent light strip under the canopy with can lights and attaching a gable roof to the face of the facade. The existing canopy projects approximately eight feet from the building and the sidewalk is approximately ten feet wide. The proposed columns are not needed for structural support of the canopy. The proposed gables will only be about one foot deep and the roof material will be cedar boards. There is also an HVAC unit on the roof of the south building that needs to be screened from view of Roe Avenue. The flat front facade of the building is really not being changed and it is the most unattractive feature of the building. Redesigning it to a true mansard roof using the same roofing material as the south building would be more compatible with the south building and would better unify the development.

The proposed design for the south building extends the canopy approximately four feet, adds gables, adds columns and replaces the five foot sidewalk with an eight foot sidewalk. The existing canopy is approximately three feet and it will be extended to approximately seven feet. The two existing dormers do not serve a purpose, are a maintenance problem and will be removed.

The sign standards for the 89th and Roe Shops were approved in 1991 and are basically sign bands. The applicant has submitted new sign standards that reflect the change in the building facade design.

The Planning Commission shall give consideration to the following criteria, in approving or disapproving a site plan:

A. The site is capable of accommodating the building, parking areas and drives with appropriate open space and landscape.

The applicant is not proposing to increase the square footage of either building and is not proposing to increase or decrease the number of parking spaces. According to the plans there are 41 parking spaces. The total square feet of the two buildings is 9,791 square feet which requires 39 parking spaces. The buildings meet the parking requirements of the ordinance. It should be pointed out that the south building has only 13 parking spaces and the ordinance requires 18 parking spaces. Therefore, these two buildings will need to remain in common ownership in order to meet the off-street parking requirements. It is recommended that the two unplatted tracts be platted into one lot unless it is decided to turn the project into condos.

The applicant has proposed a new landscape plan. The existing pine trees on Roe Avenue are dying and need to be replaced. The replacement trees proposed are Hackberry which will probably not be approved by the Tree Board. The applicant is also proposing to replace the plants along 89th Street which have deteriorated over time.

B. Utilities are available with adequate capacity to serve the proposed development.
Utilities are currently in place and adequately serve the buildings.

C. The plan provides for adequate management of stormwater runoff.
There will be no increase in impervious surface so stormwater is not an issue.

D. The plan provides for safe and easy ingress, egress and internal traffic circulation.
The proposed site will utilize existing driveways and the general circulation of the Center will not be changed.

E. The plan is consistent with good land planning and good site engineering design principles.
There is very little change in site. The canopy is being expanded and the sidewalk is being widened on the south building. Adequate area will be available to accommodate drive ways and perpendicular parking.

The landscape which has deteriorated over time is being replaced.

F. An appropriate degree of compatibility will prevail between the architectural quality of the proposed building and the surrounding neighborhood.
The upgrading of the facade design of these buildings will be an improvement to this area. The front facade design of the north building should be changed to be more similar to the south building. A mansard roof and shingles could accomplish this. The applicant has submitted a materials palette to indicate the color of the brick, painted wood and roof shingles. The residential development to the north and south is high quality and the upgrading of these two buildings should reflect that quality.

Any proposed outdoor lighting will need to be in compliance with the outdoor lighting ordinance.

G. The plan represents an overall development pattern that is consistent with the comprehensive plan and other adopted planning policies.
One of the principles of the Village Vision was to focus on redevelopment and reinvestment in the community. These issues have become primary goals for the City and this project represents a step in that direction.

RECOMMENDATION:

It is the recommendation of the Staff that the Planning Commission approve this site plan for the Roe Avenue Shops subject to the following conditions:

1. That all lighting used to illuminate the outdoor area be installed in such a way as to not create any glare off the site and be in conjunction with the outdoor lighting regulations.
 2. That the street trees proposed along Roe Avenue and the landscape plan are subject to the approval of the Tree Board.
-

3. That the applicant change the facade of the north building to a shingled mansard roof to be more compatible in appearance with the south building screen the rooftop HVAC unit and submit revised plans for review and approval by Staff.
4. That the dormers be removed on the south building.
5. That a revised set of drawings be prepared and submitted with any changes required by this approval.
6. That the applicant plat the property into one lot in the future prior to the next renovation project. Because it is small and only one lot the preliminary and final plats can be submitted and reviewed as one package.

SIGN STANDARDS:

The applicant has submitted a new set of Sign Standards for the renovated project. The Sign Standards include both a text and a building graphic. The following are comments on the proposed Sign Standards:

1. The title of paragraph “1. Elliptical Under Gable - Signage” should be revised to “1. Elliptical Under Gable and Band Sign - Signage”.
2. Text needs to be added to paragraph 1.a. that “Only one sign shall be permitted per tenant and no sign shall exceed 5% of the square feet of the tenants’ facade.
3. Add paragraph 5. Monument Sign:
 5. Monument Sign:
 - a. One monument sign shall be permitted for the two building complex.
 - b. The sign face may be changed out by City Staff approval.
 - c. If the monument sign is relocated or redesigned, it will be required to be submitted to the Planning Commission for review and approval.

RECOMMENDATION:

That the new sign standards be approved subject to the following conditions:

1. The title of paragraph “1. Elliptical Under Gable - Signage” should be revised to “1. Elliptical Under Gable and Band Sign - Signage”.
 2. Text needs to be added to paragraph 1.a. that “Only one sign shall be permitted per tenant and no sign shall exceed 5% of the square feet of the tenants’ facade.
 3. Add paragraph 5. Monument Sign:
 5. Monument Sign:
 - a. One monument sign shall be permitted for the two building complex.
 - b. The sign face may be changed out by City Staff approval.
 - c. If the monument sign is relocated or redesigned, it will be required to be submitted to the Planning Commission for review and approval.
 4. Remove the window dormers on the south building elevation and submit revised drawings to the City.
-



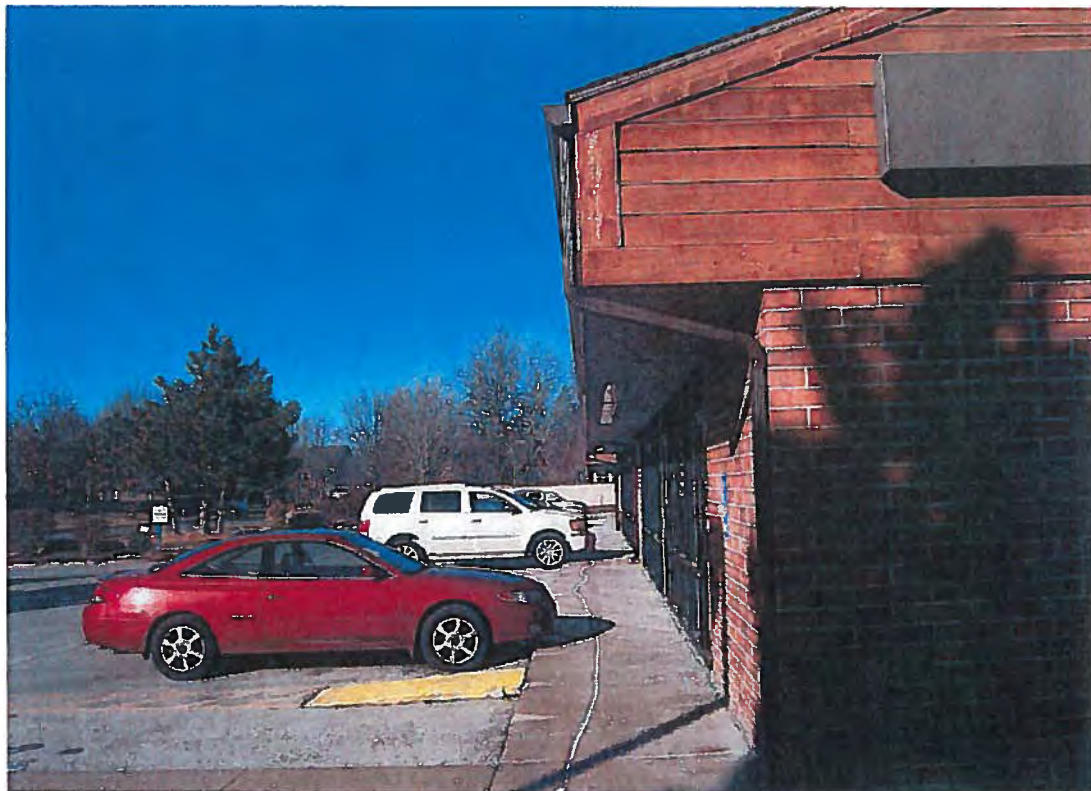
North Building



South Building



North Building



South Building



CITY OF PRAIRIE VILLAGE
The Star of Kansas

Customer # 010611
PC 2013-101
App# 0004917

Planning Commission Application

For Office Use Only	
Case No.:	PC 2013-101
Filing Fee:	100 ⁰⁰
Deposit:	500 ⁰⁰
Date Advertised:	
Date Notices Sent:	
Public Hearing Date:	1/8/13

Please complete this form and return with Information requested to:

Assistant City Administrator
City of Prairie Village
7700 Mission Rd.
Prairie Village, KS 66208

Applicant: Gastinger Walker Harden + BeeTriplett Buck Phone Number: 816-421-8200

Address: 817 Wyandotte, Kansas City, MO 64105 E-Mail lscott@designwithinsight.com

Owner: The Tutera Group Phone Number: 816-444-0900

Address: 7611 State Line, Suite 301, Kansas City, MO Zip: 64114

Location of Property: 8825 and 8839 Roe Ave, Prairie Village, KS 66207
(8825) SOMERSET ACRES WEST BG 10' NW CR TRACT AE 180' S 132.77' W

Legal Description: (8839) SOMERSET ACRES WEST BG SW CR TRACT AN 150' X E 120' EX W 10'

Applicant requests consideration of the following: (Describe proposal/request in detail) A facade upgrade to the two existing retail buildings at 89th and Roe including removal and replacement of existing mansard roof/wall at 8825, removal of existing fascia wall and extension of roof toward Roe at 8839 with new sidewalk and restriping of existing parking stalls. Both buildings to receive new timber columns with brick bases and new wheel stops. A new gate will be provided at existing trash enclosure.

AGREEMENT TO PAY EXPENSES

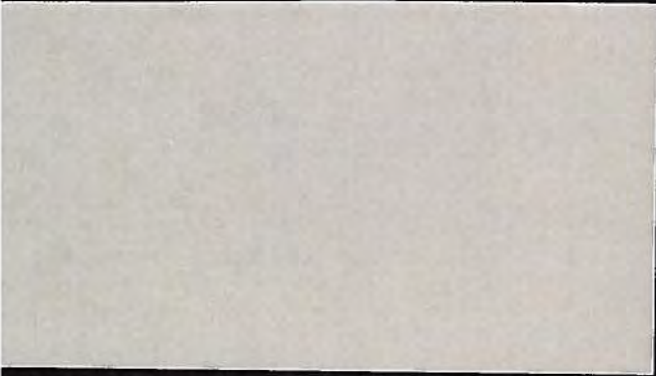
APPLICANT intends to file an application with the PRAIRIE VILLAGE PLANNING COMMISSION or the PRAIRIE VILLAGE BOARD OF ZONING APPEALS of the CITY OF PRAIRIE VILLAGE, KANSAS (City) for _____.

As a result of the filing of said application, CITY may incur certain expenses, such as publication costs, consulting fees, attorney fees and court reporter fees.

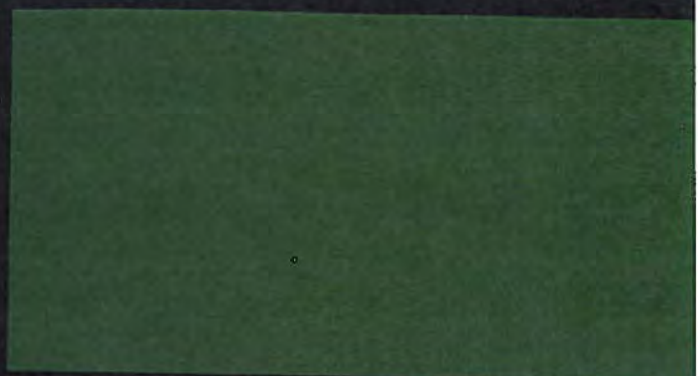
APPLICANT hereby agrees to be responsible for and to CITY for all cost incurred by CITY as a result of said application. Said costs shall be paid within ten (10) days of receipt of any bill submitted by CITY to APPLICANT. It is understood that no requests granted by CITY or any of its commissions will be effective until all costs have been paid. Costs will be owing whether or not APPLICANT obtains the relief requested in the application.

Wm Kevin Harden 11.30.12
Applicant's Signature/Date

Investment Properties and Management, Inc
Agency for Columbia Roe 89 Limited Partnership
Eric V.P. Real Estate
Owner's Signature/Date



White Ceilings and Back Wall



Dark Green Fascia

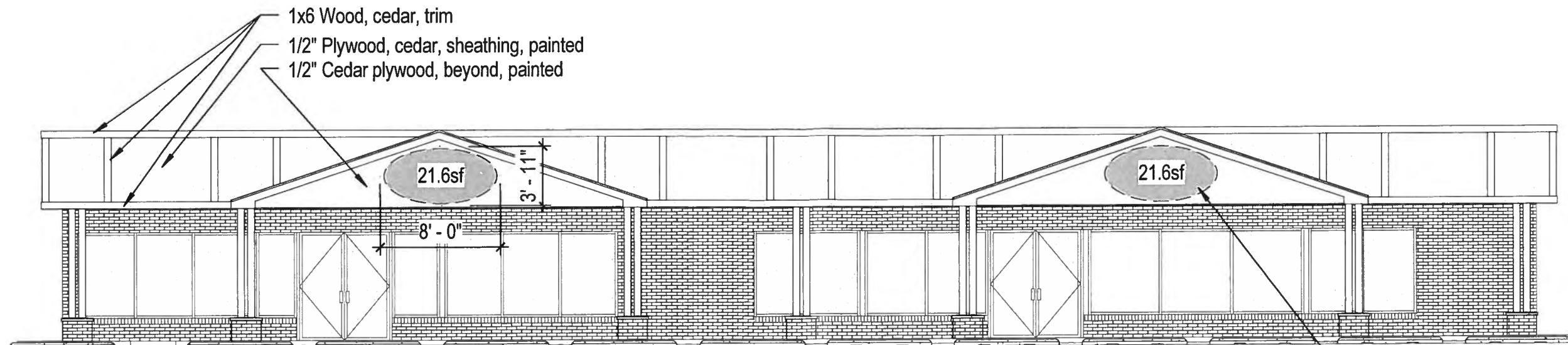


Existing Brick



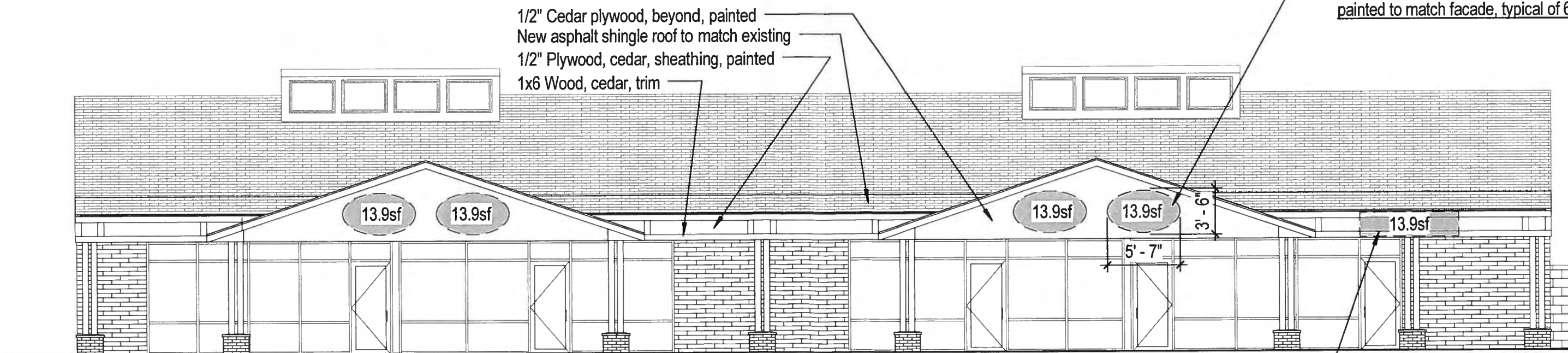
Natural Cedar Trim





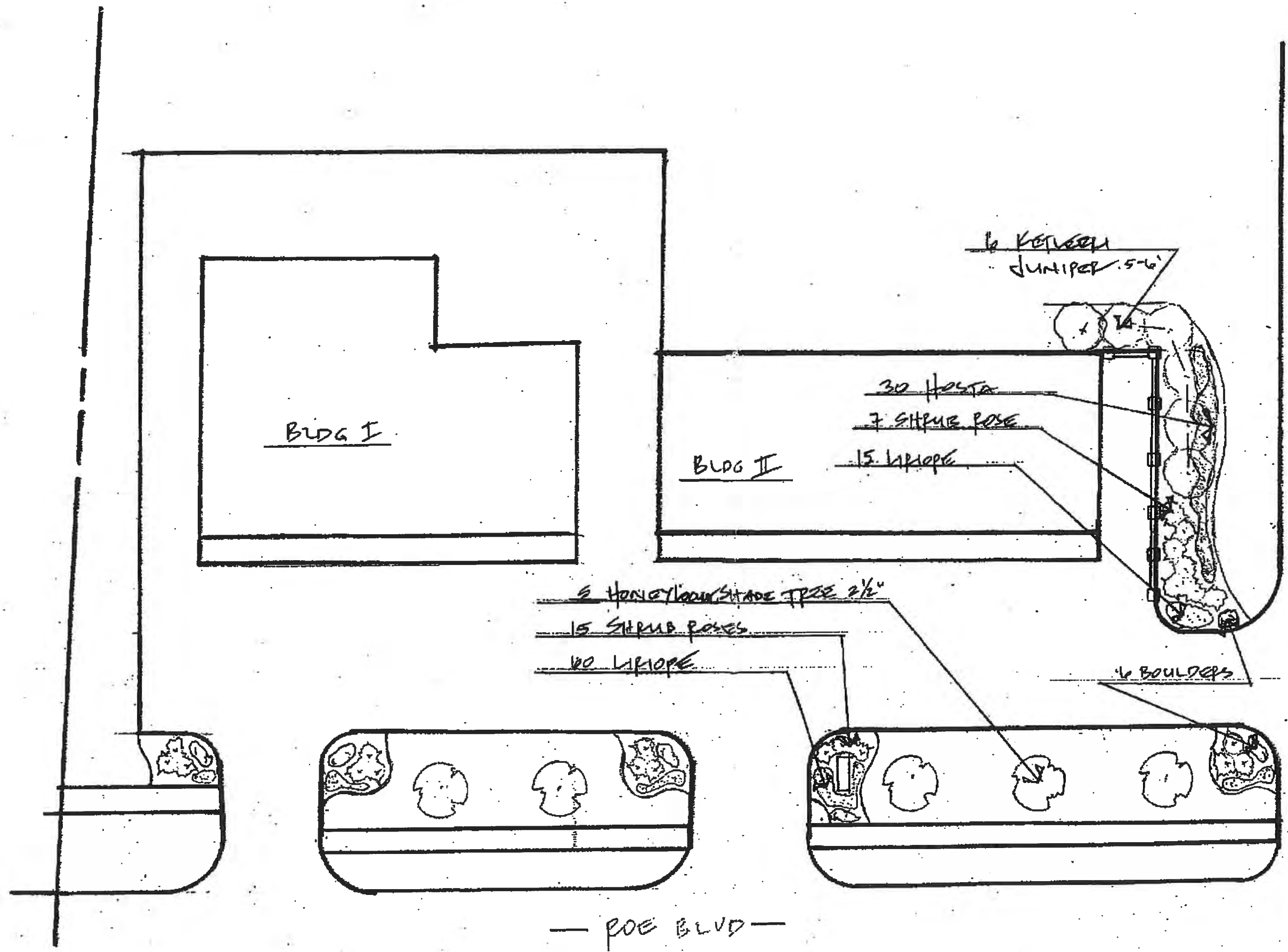
West Elevation - North Building

Elliptical signs to be suspended under gable and recessed 6" behind the face of the 9'-0" deep gable with steel supports, painted to match facade, typical of 6 signs.



13.9sf rectangular sign may be located anywhere along facade band beyond or between gables

West Elevation - South Building




 P.O. Box 21217
 Overland Park, KS
 66283-0017
 LANDSCAPE
 IRRIGATION
 LIGHTING
 913.963.8180

ROE AVENUE SHOPS
 9003-8841 ROE AVE.

North
 Scale 1" = 30'-0"
 Date 9/23/2014
 Drawn By [Signature]

Reproduction of this plan and permit without approval from Hill Tr. Nature Landscaping, LLC.

**SIGN STANDARDS
ROE 89 SHOPS
8825-8839 ROE AVENUE
PRAIRIE VILLAGE, KANSAS
BU TUTERA GROUP, INC.
AMENDED JANUARY 2, 2013.**

It is the intent and requirement that the following sign specifications shall be adhered to in the fabrication and installation of the exterior identification signs for the herein lease premises.

1. Elliptical Under-Gable Signage:

- a. The Tenant will submit to the Landlord plans and specifications for the exterior illuminated sign conforming with one of the two pre-determined elliptical sign shapes (21.6 on North Building, 13.9 sf South Building) or rectangular shape (13.9sf on South Building) based on the following criteria. The detail and design shall be subject to the written approval of Landlord or Landlord's architect. The rectangle sign on the South Building shall be located near the entry door on one of the three sign façade band elements. Any and all costs associated with the original signage and any subsequent sign modifications or changes shall be born by the Tenant.
- b. The sign wording shall be:
“ _____ ”
- c. Sign fabrication and installation shall be by a sign company approved in writing by the Landlord.
- d. All sign lettering and any graphics shall fit within the pre-determined elliptical or rectangle shape as depicted on the Landlord's drawing.
- e. All sign letters and numbers shall be of a simple type style to be approved by the Landlord and as required by the City.

- f. All sign face material shall be anodized or painted aluminum and in manufacturers standard gauge thickness, unless it is of a translucent plastic where internally lit as shown below.
- g. All signs shall be internally illuminated to show letters and numbers through manufacturer's standard Plexiglass backing.
- h. Sign letters shall be restricted to the shop name only. Should numbers be a part of the name, they may be included. The street address or any other numbers may not be used in the elliptical or rectangular sign.
- i. All letters and numbers within words shall be spaced equally and within standard criteria for font used. Words shall be spaced equally in the line. Standard criteria for font shall be used.

2. Entrance Door Transom Signs:

- a. The store postal address shall be designated by the Landlord.
- b. The Landlord shall furnish and install four 4" high, white vinyl postal numbers adhesive mounted on the glass transom over the entrance door.

3. Rear Door Signage:

- a. The Landlord shall furnish 3" high, four digit, postal numbers, self-adhering, black, die-cut "Letterset" numbers mounted on the rear exterior face of the door.
- b. The Tenant will furnish and install 2" high "Letterset" self-adhering, die-cut, black letters stating the shop name on one or two lines. The letters shall be centered and be symmetrical and mounted under the postal number.

4. Compliance:

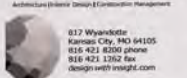
- a. Tenant shall not place on any exterior door, wall or window of the premises any sign or advertising matter without first obtaining Landlord's written approval and consent.
- b. Tenant agrees to maintain such sign or advertising matter as approved by Landlord in good condition and repair.
- c. All signs shall comply with applicable ordinances or other governmental restrictions and the determination of such requirements and the prompt compliance therewith shall be the responsibility of the Tenant.

89th and Roe Shops

Exterior Improvements
825 & 839 Road Ave
Prairie Village, Kansas 66207

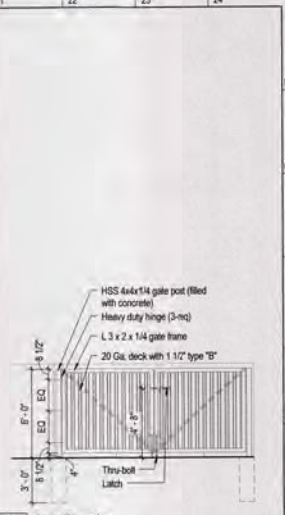
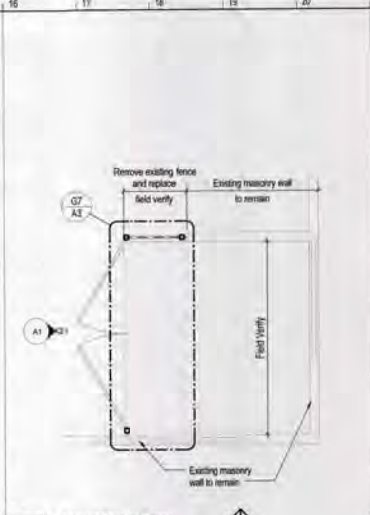
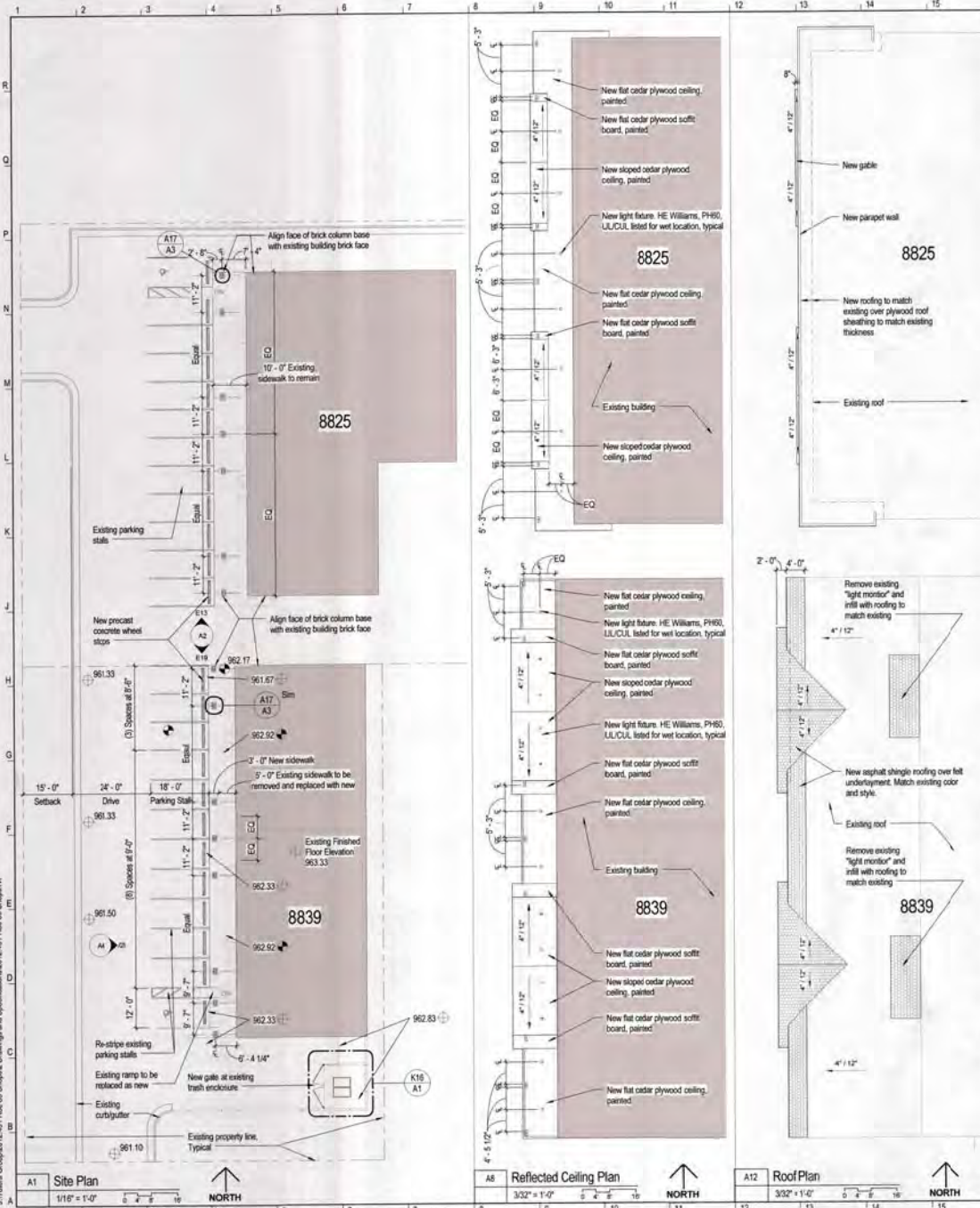
The Tullera Group
1111 Oak Lane, Suite 301
Kansas City, Missouri 64114

Gastinger Walker Harden
+ BeeTriplitt Buck



017 Wyandotte
Kansas City, MO 64105
816 421 8200 phone
816 421 1262 fax
design@gtbh.com

Structural Engineer
B&J Campbell & Company, Inc.
4334 Bellvue
Kansas City, Missouri 64111
816.531.4141 | 816.531.8071



Annotations and Symbols

Detail Number	Interior Elevation	Graphic Scale
Sheet Number	Elevation	Elevation Spot
Detail Number	Detail Reference	New Spot Elevation Mark
Sheet Number	Elevation	Revision Reference
Detail Number	Section Reference	Ceiling Height
Sheet Number	View Name	North Arrow
Detail Number	View Title	Light Fixture Symbols
Origin Sheet Number	Scale	New Recessed Can Light Fixture

Building Codes

- 2006 International Building Code
- 2006 International Plumbing Code
- 2006 International Mechanical Code
- 2006 International Fuel Gas Code
- 2005 National Electrical Code
- 2006 International Fire Code

Building Data:

- Zoning: CP-1
- Occupancy Type: Group B, Business
- Construction Type: Type-II-B
- Building Height: 1 Story Existing
- Automatic Sprinkler System: Fully Sprinklered
- Project Area: Approximately 1,989 SF (Exterior)

F21 Code Summary
Not to Scale

GENERAL NOTES

- Do not scale these drawings for construction purposes. In the event of omission of necessary dimensions the contractor shall notify the Architect.
- The Contractor shall be responsible for verifying all dimensions, elevations and details shown on the drawings. Any discrepancies which will prevent the accomplishment of the intent shown on the drawings shall be brought to the immediate attention of the Architect. Indicated conditions are not intended as representations or warranties of accuracy.
- Dimensions shown on the drawings are to the finished face of materials and/or centerlines of structure, unless noted otherwise.
- The Contractor shall coordinate all schedules with the Owner prior to commencement of work.
- Install all items in accordance with the manufacturer's written instructions except where the drawings are more stringent. Notify the Architect in writing of any conflicts.
- Perform all work in accordance with applicable local codes and ordinances and under requirements established by general conditions of the contract.
- Construction must meet the requirements set forth by American National Standards Institute (ANSI) document A117.1 and The American with Disabilities Act Accessibility Guidelines for Buildings and Facilities (ADAAG).
- Secure least environment permit and all other permits and approvals as required by authorities having jurisdiction and utility companies prior to beginning work.
- Remove rubbish from premises as often as necessary or as directed in order to keep premises clean and safe ways clear. Provide complete and thorough cleaning periodically as the work progresses and upon completion of construction.
- Install work readily accessible for operation, maintenance, and repairs.
- Drawings are prepared to scale unless noted NTS (not to scale).
- All notes and details marked "typ." apply to similar conditions throughout the project whether specifically noted or not.
- The location and dimension of the existing architectural, structural, and MEP elements are taken from job site surveys. Field verification is required by the contractor prior to any construction involving these items.

Drawing Index

- A1 Plans
- A2 Elevations and Sections
- A3 Details and Structural Notes

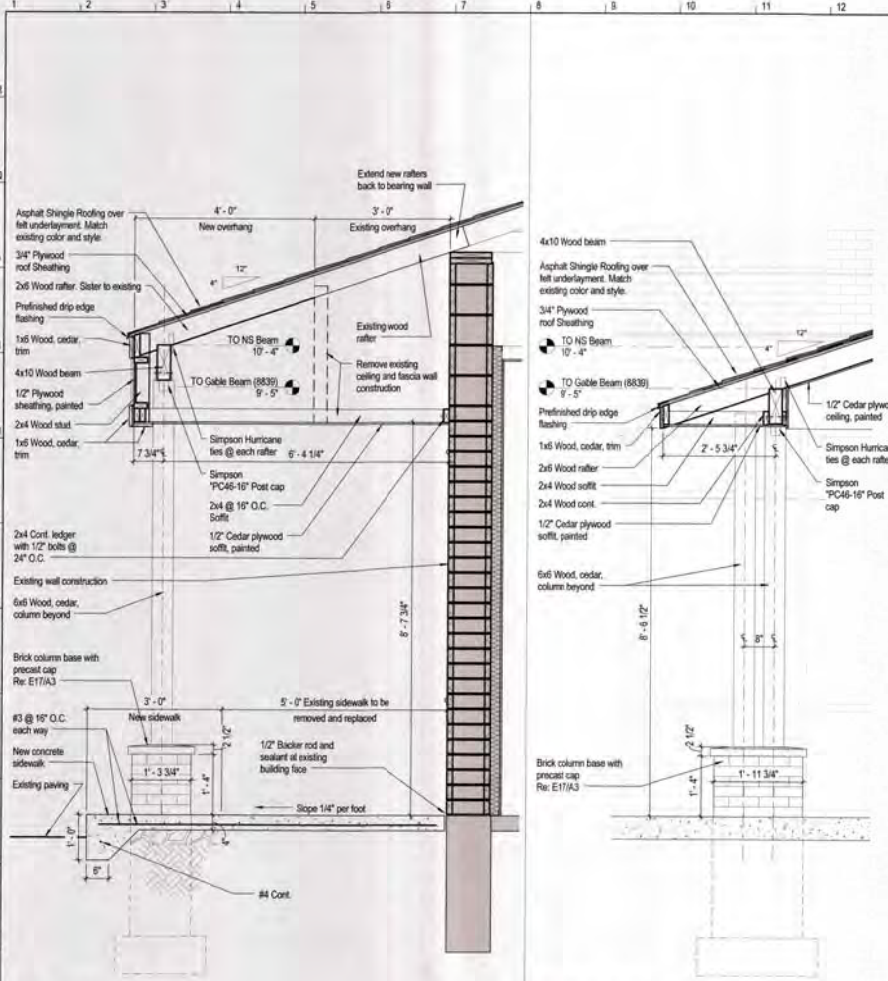
Structural Disclaimer
Not to Scale

ISSUED FOR:
Site Plan Review 28 January 2013



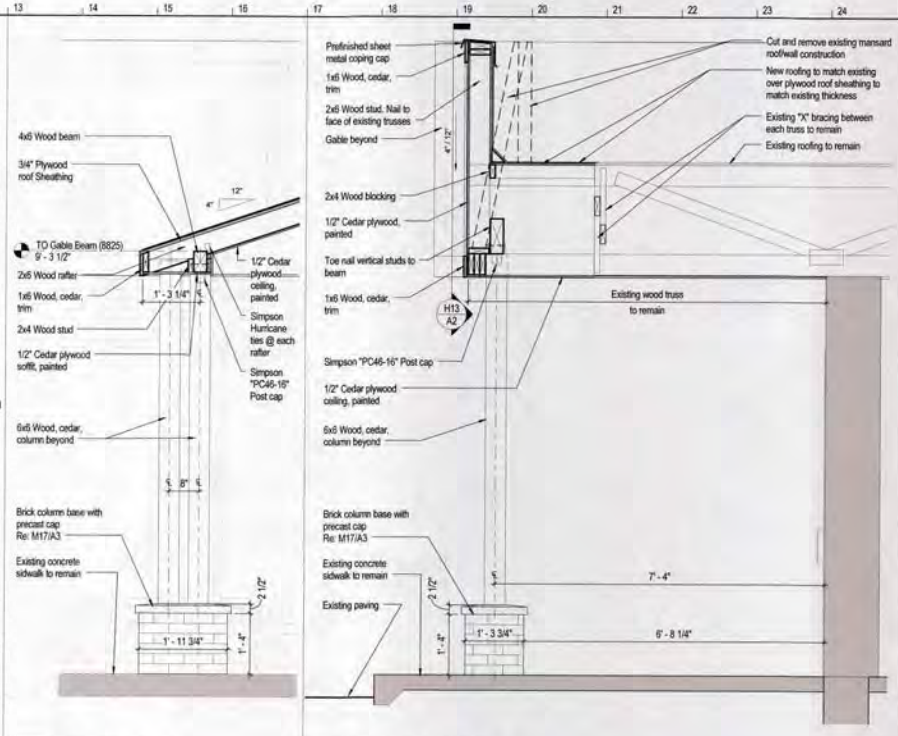
Drawn by: LS
Checked by: MB

Plans
A1
Project Number: 2012.041 © Copyright 2012



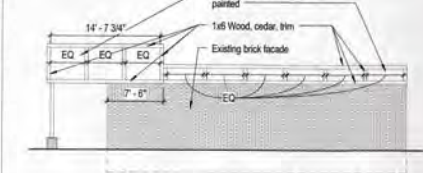
E1 Typical Section at 8839
A2 3/4" = 1'-0" 0 2'-0" 4'-0" 8'-0" 14'-0"

E7 Gable Section at 8839
A2 3/4" = 1'-0" 0 2'-0" 4'-0" 8'-0" 14'-0"

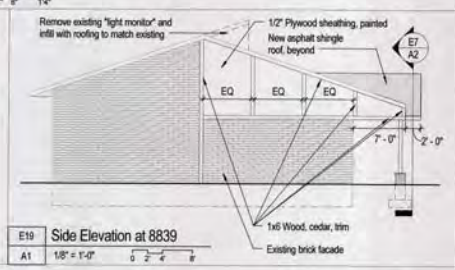


H13 Gable Section at 8825
A2 3/4" = 1'-0" 0 2'-0" 4'-0" 8'-0" 14'-0"

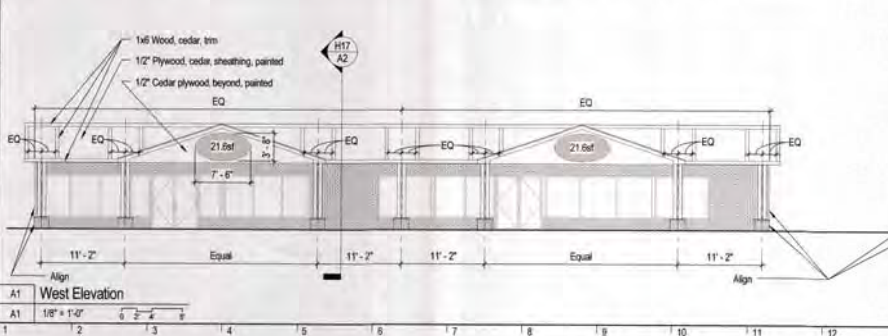
H17 Typical Section at 8825
A2 3/4" = 1'-0" 0 2'-0" 4'-0" 8'-0" 14'-0"



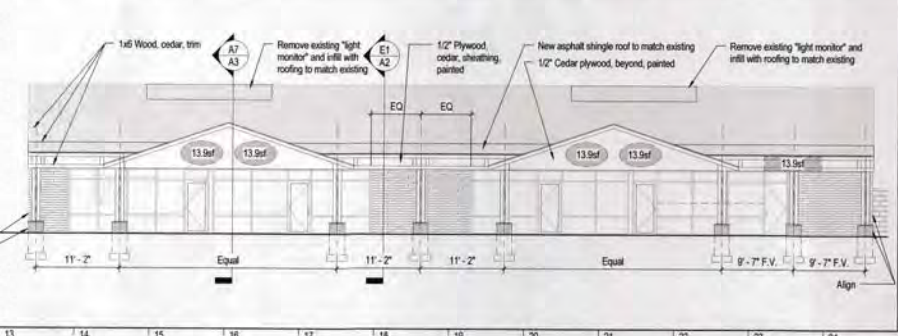
E13 Side Elevation at 8825
A1 1/8" = 1'-0" 0 2'-0" 4'-0" 8'-0"



E19 Side Elevation at 8839
A1 1/8" = 1'-0" 0 2'-0" 4'-0" 8'-0"



A1 West Elevation
A1 1/8" = 1'-0" 0 2'-0" 4'-0" 8'-0" 14'-0"



A1 East Elevation
A1 1/8" = 1'-0" 0 2'-0" 4'-0" 8'-0" 14'-0"

89th and Roe Shops

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Prairie Village, Kansas 66207

The Tubers Group
7911 Dale Lane, Suite 201
Kansas City, Missouri 64114

Gastinger Walker Harden
+ BeeTriplett Buck

Architectural | Interior Design | Construction Management
817 Wyandotte
Kansas City, MO 64105
816-421-8200 phone
816-421-1262 fax
gwh@twbh.com

Structural Engineer
Bob D. Campbell & Company, Inc.
4338 Inglewood
Kansas City, Missouri 64111
816.511.4144 p | 816.511.5572 f

ISSUED FOR
Site Plan Review 28 January 2013

Wm. Forman
2.5.2013

Drawn By LS
Checked By KH

Elevations and Sections

A2

Project Number: 2012.461 © Copyright 2012

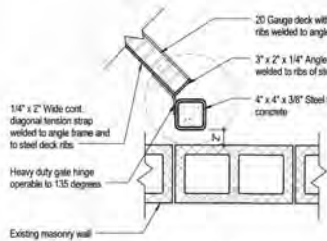
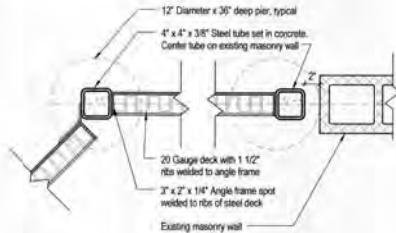
J:\Tubers Group\2012\461 Rev 88 Shop\2 Drawings and Specifications\2012.461 Rev 88 Shop.rvt

STRUCTURAL NOTES

- 1) Soil design bearing capacity is 2000 pounds per square foot (PSF) and shall be verified by a qualified Soils Engineer prior to placement of reinforcing steel or concrete. Do not place concrete on saturated soil or frozen ground. All footings shall bear 36" minimum below finish grade for frost protection.
- 2) Concrete shall have a 28-day design strength of 3500 psi (minimum) with maximum water/cement ratio of 0.50. Do not add calcium chloride to the mix. Up to 20% of the total cement content may be replaced with an ASTM C918 Class C fly ash.
- 3) Reinforcing steel shall be ASTM A615, Grade 60. Rebar clear cover shall be 3" for earth formed elements and 2" for steel or plywood formed elements.
- 4) Lumber shall be S.P. or D.F. No. 2 or better. Timbers shall be Western Red Cedar No. 1. Wood members and sheathing shall be fastened together with number and size of fasteners not less than that set forth in Table 2304.9.1 of the 2006 International Building Code. Multiple studs supporting headers shall be nailed together with 8d x 2 1/2" common nails @ 8" on center.
- 5) Structural steel shall be ASTM A36 material. Steel tubes shall be ASTM A500, grade B. Anchor bolts shall be ASTM A307. All exposed structural steel shall be hot-dipped galvanized.

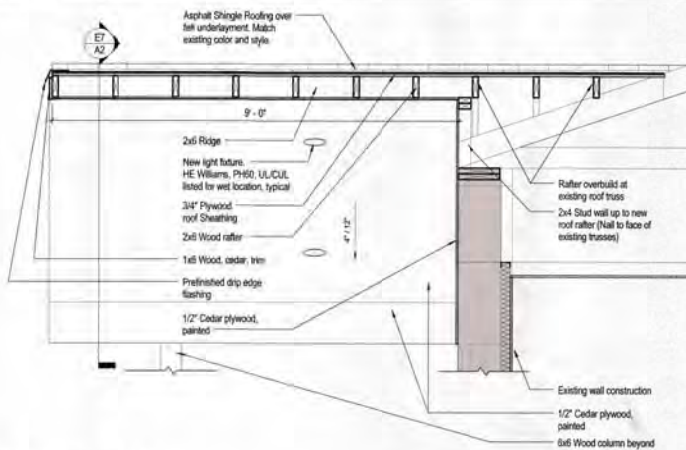
P7 Structural Notes

Not to Scale



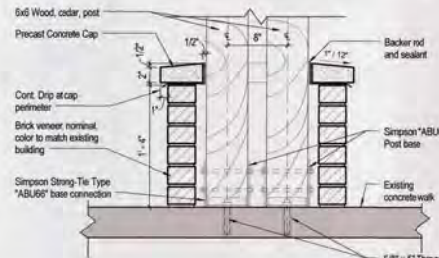
G7 Detail at Trash Gate

A1 1 1/2" = 1'-0"



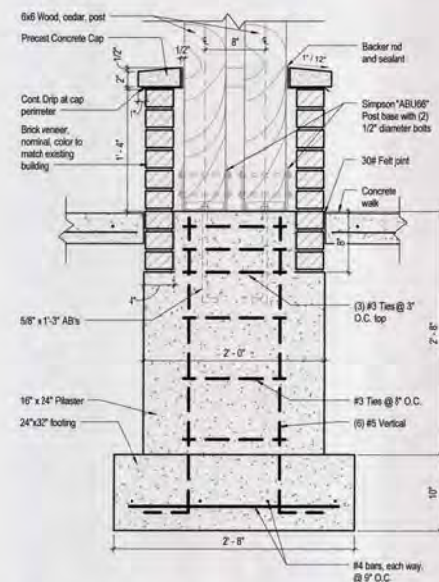
A7 Gable Section at 8839

A2 3/4" = 1'-0"



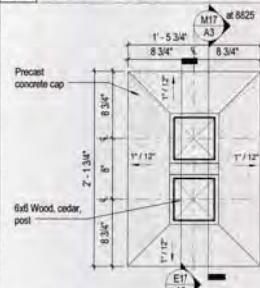
M17 Column Base Detail at 8825

A3 1 1/2" = 1'-0"



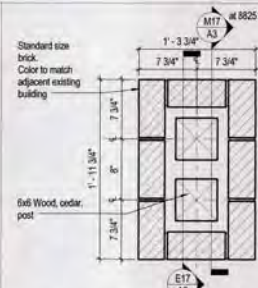
E17 Column Base Detail at 8839

A3 1 1/2" = 1'-0"



A17 Enlarged Plan at Column Cap

A1 1 1/2" = 1'-0"



A21 Enlarged Plan at Column Brick

A1 1 1/2" = 1'-0"

89th and Roe Shops

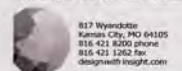
Exterior Improvements
 8825 & 8839 Road Ave
 Praine Village, Kansas 66207

The Tutera Group

1111 State Line, Suite 301
 Kansas City, Missouri 64114

Gastinger Walker Harden + BeeTriplet Buck

Architecture & Interiors Design | Construction Management



817 Wyandotte
 Kansas City, MO 64105
 816-421-8200 phone
 816-421-1262 fax
 designwithinsight.com

Structural Engineer
 Bob D. Campbell & Company, Inc.
 4338 Bellvue
 Kansas City, Missouri 64111
 816.521.4144 | 816.521.8572

ISSUED FOR:

Site Plan Review 28 January 2013



Wm. R. Williams
 2.5.2013

Drawn By: L.S.
 Checked By: K.M.

Details and Structural Notes

A3

STAFF REPORT

TO: Prairie Village Planning Commission
FROM: Ron Williamson, Lochner, Planning Consultant
DATE: March 5, 2013 Planning Commission Meeting

Project # 000005977

Application: PC 2013-106

Request: Approval of Revised Final Plan for Mission Pines

Property Address: 7868 Howe Circle

Applicant: Hickock-Dible Company

Current Zoning and Land Use: RP-1B Planned Single Family Residential - Vacant

Surrounding Zoning and Land Use: **North:** RP-1B Planned Single Family Residential – Single Family Dwellings
East: RP-1B Planned Single Family Residential – Single Family Dwellings
South: R-1B Single Family Residential – Single Family Dwellings
West: R-1B Single Family Residential - Church

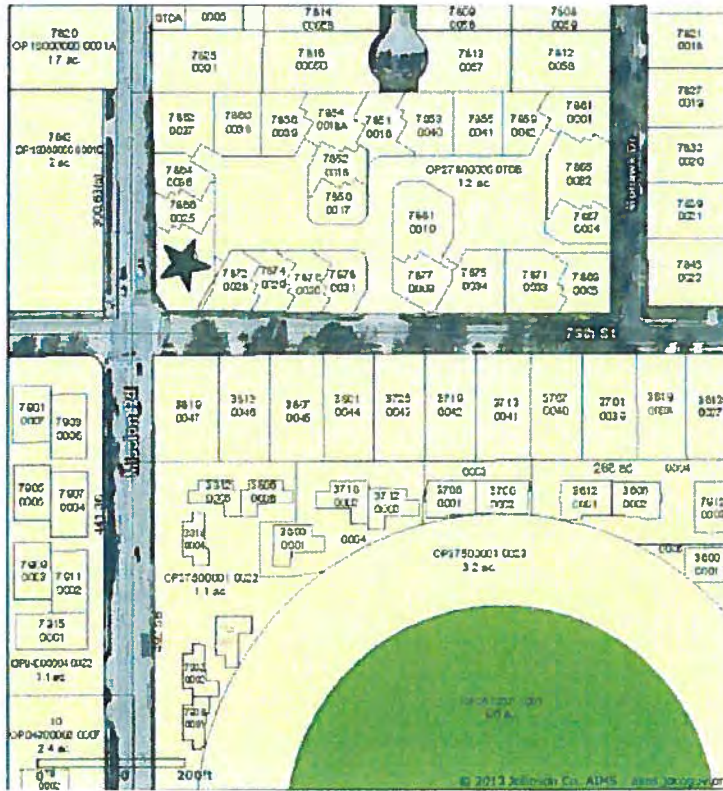
Legal Description: Lot 35 Mission Pines Second Plat

Property Area: 8,416 square feet

Related Case Files: September 1986 – Rezoning R-3 to RP-1B Approved
October 1986 – Final Plan Approved
March 1987 – Final Plat Approved
May 1988 – Approved Revised Final Plan
February 1989 – Approved Signs
June 1989 – Revised Final Development Plan
September 1989 – Revised Final Development Plan

Attachments: Application, proposed plan and photos

General Location Map



Aerial Map



COMMENTS:

The applicant is requesting a revision to the approved Final Development Plan for Lot 35 Mission Pines Second Plat. When the Final Development Plan was approved in 1989, Lot 35 was approved for a "New A-1" residential design. The first floor was 1,405 sq. ft.; the second floor was 787 sq. ft.; the garage was 452 sq. ft.; and the building was two story with a height of approximately 31 feet to the top of the roof at the street level. Since this is a Planned District specific floor plans and building facades were approved for the project and any minor changes must be approved as a revised Final Plan by the Planning Commission. Mission Pines was originally conceived as a 35 lot subdivision, but over time it was reduced to 25 lots. Lot 35 is one of the largest lots in the subdivision.

The proposed first floor plan is approximately 1,475 sq. ft. plus a 144 sq. ft. sun porch for a total of 1,619 sq. ft. with a 700 sq. ft. lower level, a 468 sq. ft. garage and the height of the building at the street is approximately 24 feet. The first floor is approximately 214 sq. ft. larger, the garage is 16 sq. ft. larger and the building is 7 feet less in height than the originally approved plan. The approved plan also had a shared driveway with the lot to the east and the proposed plan will have a separate driveway. The garage has been moved to the other side of the house and the shared driveway no longer is practical. Lot coverage will be 24.8% compared to 22.1% on the original plan.

The redesign of the floor plan has also changed the relationship of the proposed residence to the existing ones. The distance between the proposed residence and the one to the north is 13.71 feet compared to the original plan of 24 feet. The distance between the proposed residence and the one to the east is about 9 feet compared to 17 feet on the original plan. Staff has requested the applicant to submit a drawing superimposing the proposed plan over the original plan so the changes can be more easily seen. A copy of that drawing is attached to this Staff Report.

This lot slopes from northeast to southwest approximately six feet which is why the applicant is proposing the lower level walkout. Staff has requested the applicant to provide the first floor elevations of the proposed residence along with the ones to the north and east to be sure that the dwellings will be compatible in appearances. First floor elevations were not established when the development plan was approved in 1989.

The Mission Pines Home Owners Association provides for a Design Review Committee that is required to review and approve all plans prior to obtaining a building permit. The City does not have any jurisdiction regarding private restrictions or covenants, however, because this project was approved as a Planned Development the design of the buildings must be in accordance with the approved plans. The proposed residence appears to be designed in the same theme as the original plan and will use the same building materials.

The applicant held a Citizen Participation Meeting on February 20, 2013 in accordance with the Planning Commission Policy. Ten residents attended the meeting and three were HOA Board members. Most were concerned about issues during construction, however, one resident preferred that it not be built.

RECOMMENDATION:

After reviewing the proposed plans and comparing them with the approved plans, it does not appear there is a significant change in the concept of Mission Pines and Staff recommends the Planning Commission approve the proposed plan subject to the following conditions:

1. That the applicant obtain formal approval of the plan from the HOA Design Review Committee prior to obtaining a building permit.
2. That the applicant use the same materials and colors used in the construction of the existing dwellings.
3. That the first floor elevation be set at _____ feet. (TBD)

N



Street View of Lot



East Residence

Mission Pines
Lot 35

Differences between Original Plan approved and New Plan submitted for Approval:

The Original Plan was for a 2 story home
The New Plan is for a Reverse 1 ½ story home

The footprint of the Original approved plan is +/- 2200 sq ft
The footprint for the New plan is +/- 1700 sq ft, plus 700 sq ft for finished basement space

Both plans show a 2 car garage

Original Plan showed a shared driveway
New plan shows separate driveway

Both plans comply with all HOA requirements



CITY OF PRAIRIE VILLAGE

The Star of Kansas

814-7364
Jamie

Planning Commission Application

For Office Use Only
Case No.: <u>PC2013-100</u>
Filing Fee: <u>150-</u>
Deposit: <u>500-</u>
Date Advertised:
Date Notices Sent:
Public Hearing Date:

Please complete this form and return with Information requested to:

Assistant City Administrator
City of Prairie Village
7700 Mission Rd.
Prairie Village, KS 66208

Applicant: Hickok Dible Company Phone Number: 913-529-3888
7868 Howe Cir

Address: 6761 W. 12th St. Suite 200 E-Mail _____
Overland Park KS 66209

Owner: M.W. Dible Phone Number: 913-529-3888
6761 W. 12th St. Suite 200

Address: Overland Park KS Zip: 66209

Location of Property: NEC 79th + Mission - 7870 Howe Circle

Legal Description: Lot 35 Mission Pines 2nd Plat

Applicant requests consideration of the following: (Describe proposal/request in detail) Building plan approval - see attached

AGREEMENT TO PAY EXPENSES

APPLICANT intends to file an application with the PRAIRIE VILLAGE PLANNING COMMISSION or the PRAIRIE VILLAGE BOARD OF ZONING APPEALS of the CITY OF PRAIRIE VILLAGE, KANSAS (City) for building plan approval

As a result of the filing of said application, CITY may incur certain expenses, such as publication costs, consulting fees, attorney fees and court reporter fees.

APPLICANT hereby agrees to be responsible for and to CITY for all cost incurred by CITY as a result of said application. Said costs shall be paid within ten (10) days of receipt of any bill submitted by CITY to APPLICANT. It is understood that no requests granted by CITY or any of its commissions will be effective until all costs have been paid. Costs will be owing whether or not APPLICANT obtains the relief requested in the application.

Applicant's Signature/Date

Owner's Signature/Date

Summary of "Neighborhood Meeting" held at Prairie Village City Hall in the Multi-Purpose room on February 20th, 2013 at 7:00 PM.

In attendance were ten (10) homeowners, Mr. Dan Webster of Webster of Webster Architects, Inc. and myself, Ken Baldwin of Reece and Nichols Realtors.

Mr. Terry Hoyland, President of the Mission Pines H.O.A., along with two (2) other board members were in attendance.

The initial introduction by Mr. Hoyland, addressed the reason for the meeting: to view plans for the construction of a new home in Mission Pines. He mentioned that there are probably homeowners that would rather not see any future homes built near them. He then stated that they were here to view the plan, ask any questions of the architect and discuss the design of the new home to be built on Lot #35. Most of the discussions were related to construction concerns, subcontractors blocking their driveways, leaving trash, etc. The building plans for the new home and the proposed plot plan were given to the homeowners to review. The only design related comment that was made suggested that the dormer above the front door be bigger and a half round window to match the dormer on the home next door.

The president and other two board members indicated they were in support of the project. Numerous others commented that they were looking forward to a new homeowner moving into the community.

Mrs. Doris Hazien requested to go on the record that she did not want to see the new home from her kitchen windows.

In summary, the meeting was informative to those present and was enjoyable. Mr. Hoyland and I have spoken since the meeting and he is fine with the building plan and plot plan/ location of the home. Mr. Harper thought the home was situated correctly and a nice design for the neighborhood as well.

Attached is the Sign-In sheet of the homeowners attending this meeting.

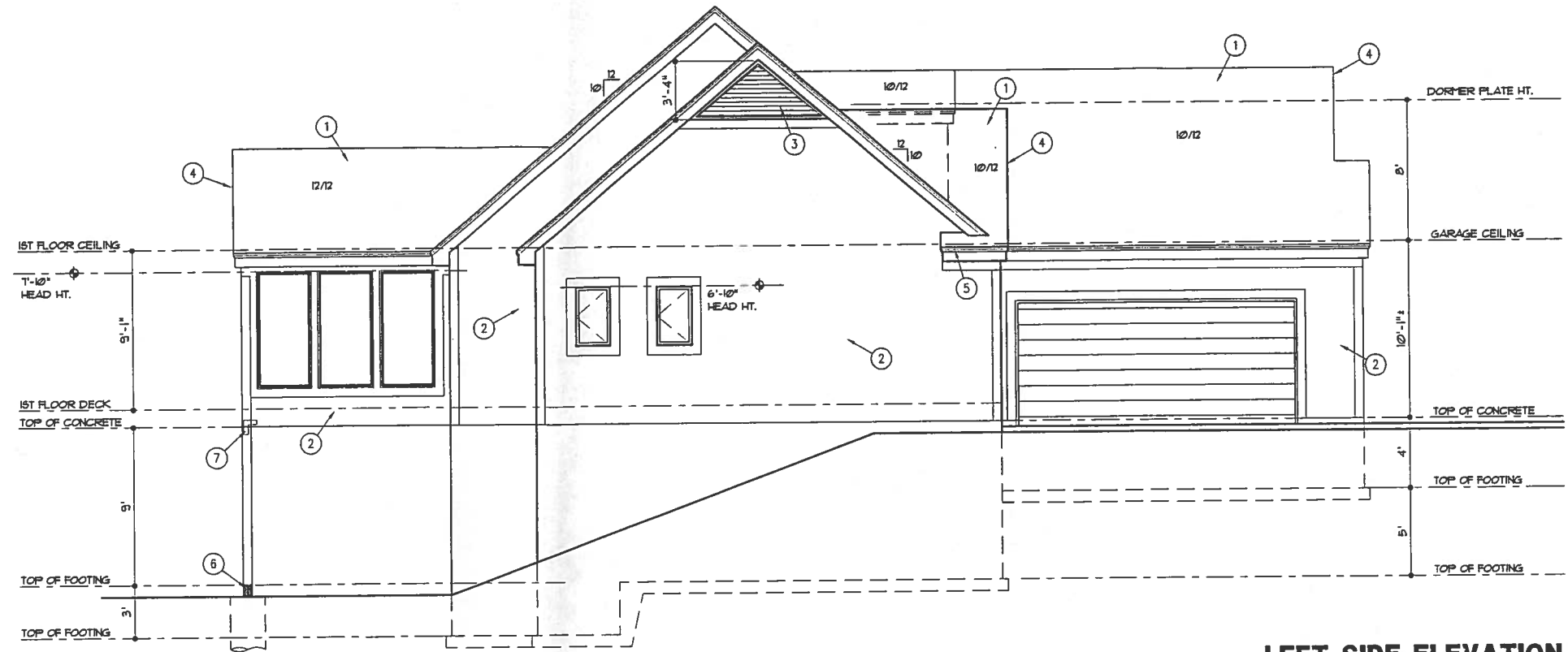
Sincerely,

A handwritten signature in cursive script that reads "Ken Baldwin".

Ken Baldwin, Reece & Nichols, Listing Broker for N.W. Dible Co. (owner of remaining building lots in Mission Pines, Prairie Village, KS)

COMPOSITION-40 YR. ON 30# FELT HING
SIDING WITH 5/4x6 SMART TRIM AT ND UNDER SOFFIT

- 4
- 2 CONCRETE WITH PIMPSON ABU
- 3 BEAM WITH SIMPSON LCE 4



LEFT SIDE ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"

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WEBSTER ARCHITECTS
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BUILDING AND CONSTRUCTION
OF THIS SPECIFIC PROJECT.

2605 W. VALLEY PARKWAY
SUITE 110
CLATHE, KS 66001-8429
PHONE: 913-390-4664
FAX: 913-390-4664
www.WebsterArchitects.com

Webster
architects

PATRICIA G. HALLER
7868 HOWE CIRCLE • 913-745-4377
PRAIRIE VILLAGE, KANSAS 66208

GREGORY ALLEN ENTERPRISES
P.O. BOX 26246 • 913-814-7364
OVERLAND PARK, KS. 66225

DATE: 10-30-12
PROJECT NO: 0725-01

DRAWN BY: KF, MP

SHEET NO. **A5**

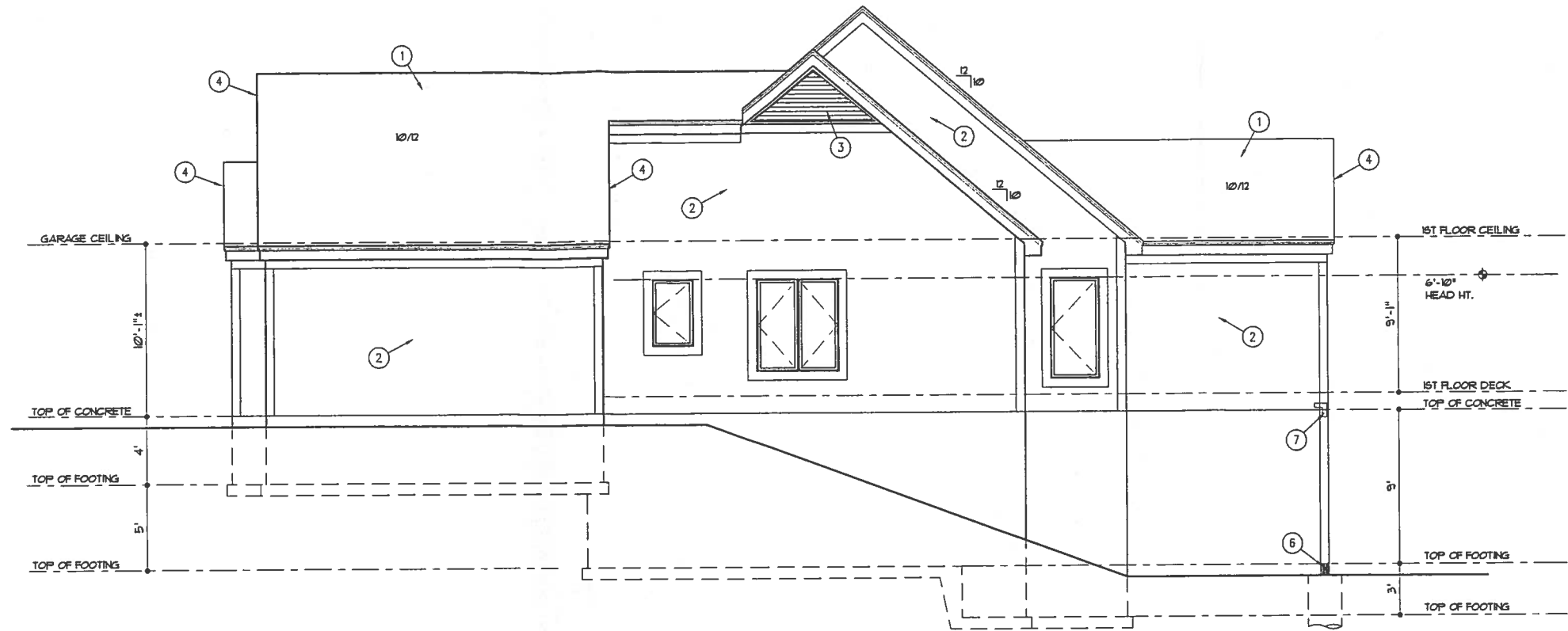
COMPOSITION-40 YR. ON 30# FELT
THING

SIDING WITH 5/4x6 SMART TRIM AT
END UNDER SOFFIT

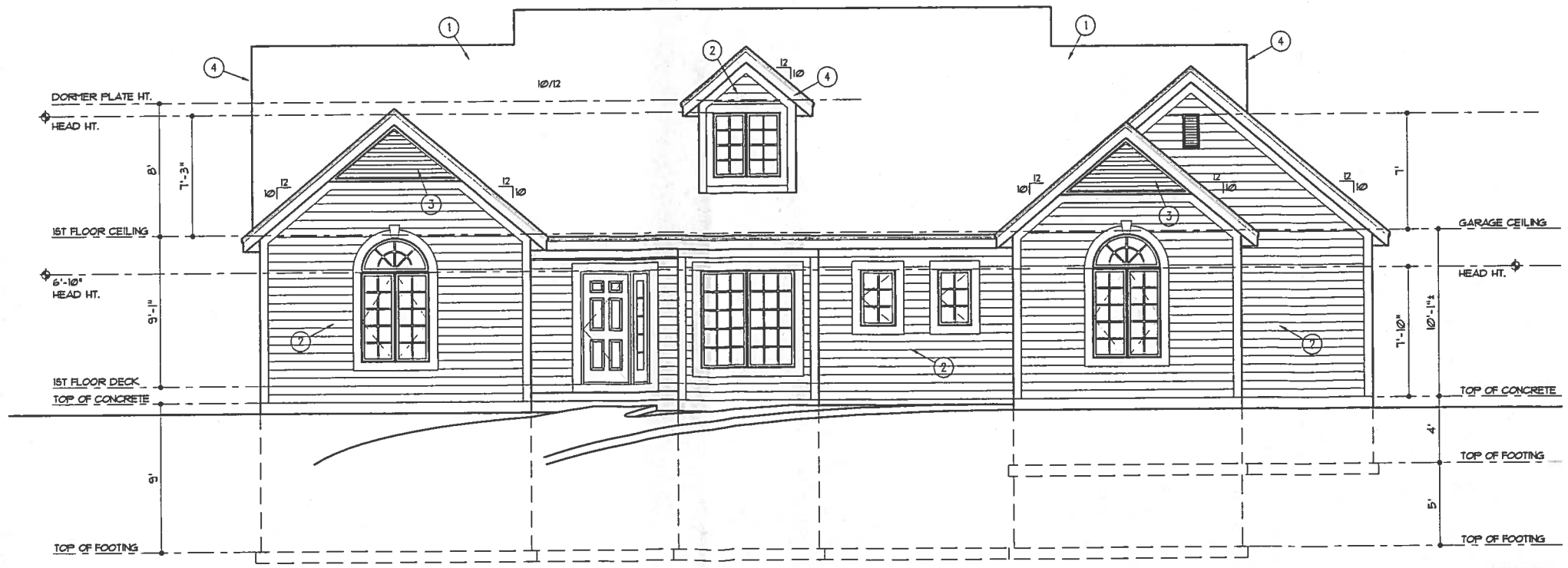
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O CONCRETE WITH PIMPSON ABU

J BEAM WITH SIMPSON LCE 4



RIGHT SIDE ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

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SUITE 10
CLATHE, KS 66061-8429
PHONE: 913-380-4663
FAX: 913-380-4664
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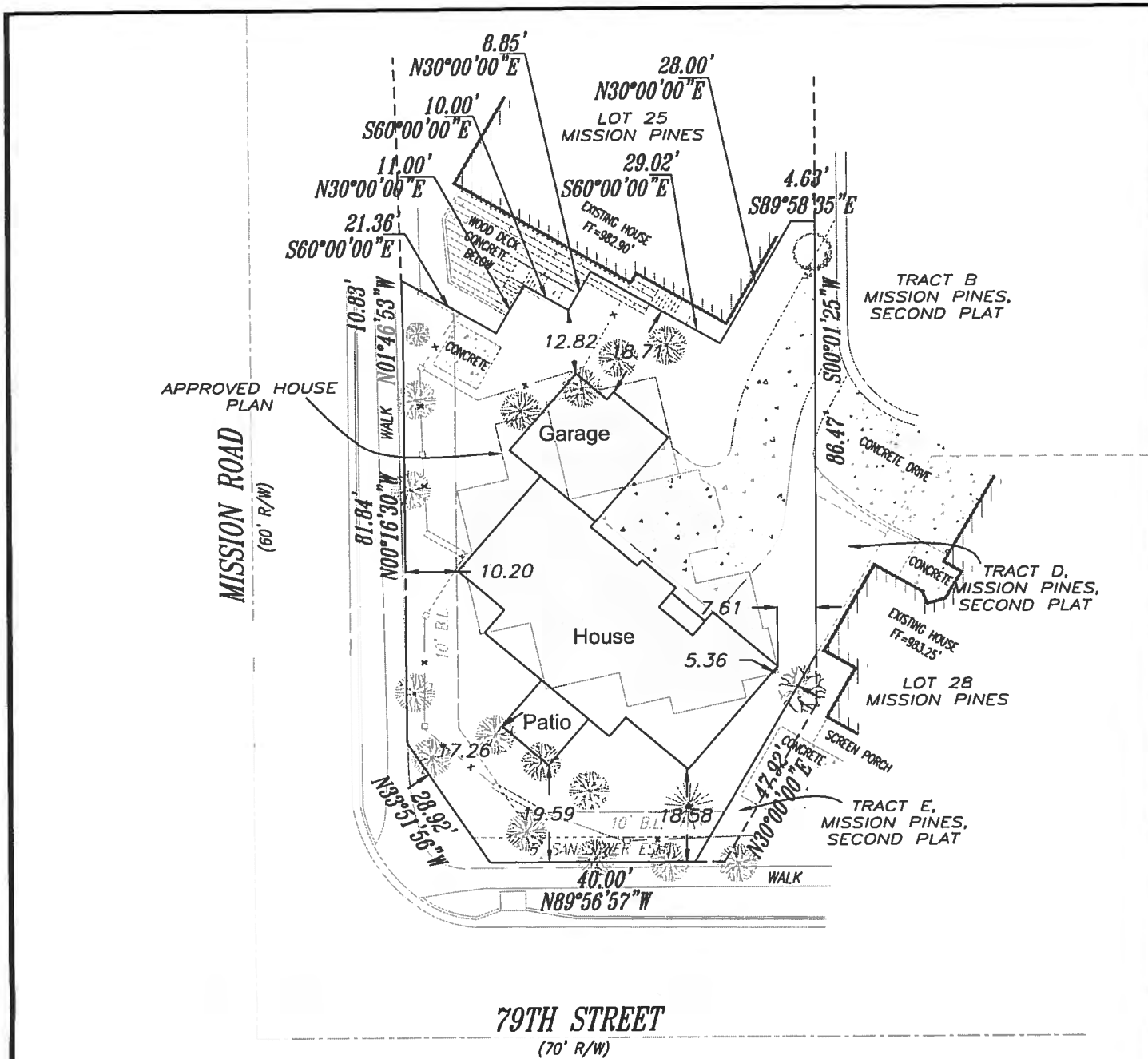
PATRICIA G. HALLER
7868 HOWE CIRCLE • 913-745-4377
PRAIRIE VILLAGE, KANSAS 66208

GREGORY ALLEN ENTERPRISES
P.O. BOX 26246 • 913-814-7364
OVERLAND PARK, KS. 66225

Blank box for stamp or signature.

DRAWN BY: KP, MP
DATE: 10-30-12
PROJECT NO: 12-025-01

SHEET NO.
A4



Scale 1" = 30'

LOT INFORMATION

SQ. FT.
ADDRESS
7868 HOWE CIRCLE

LEGAL DESCRIPTION
LOT 35, MISSION PINES SECOND PLAT, A SUBDIVISION AS RECORDED IN PRAIRIE VILLAGE, JOHNSON COUNTY, KANSAS.

LEGEND

- Gas Meter
- Telephone or Fiber-Optic Pedestal
- Cable TV Pedestal
- Electric Pedestal
- Light Pole

PROPOSED HOUSE

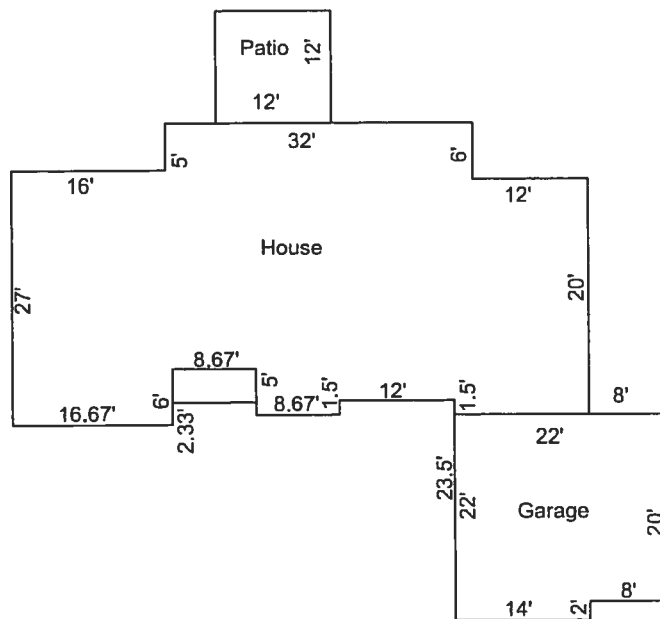
TOP FOUNDATION = 983.00'
GARAGE FLOOR = 982.33'
TOP FOOTING = 974.00'
BASEMENT FLOOR = 974.33'

E = EXISTING ELEVATION
F = PROPOSED FINAL ELEVATION

U.E. = UTILITY EASEMENT
B.L. = BUILDING LINE

NOTES

1. BUILDER TO VERIFY ALL BUILDING ELEVATIONS AND DIMENSIONS.
2. THIS PLOT PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.
3. THE EASEMENTS SHOWN ON THIS PLOT PLAN ARE TAKEN FROM THE FINAL PLAT. OTHER EASEMENTS MAY EXIST.



Scale 1" = 20'

ENGINEERING SOLUTIONS
ENGINEERING & SURVEYING
50 SE 10TH STREET
LEE'S SUMMIT, MO 64082
P: (816) 623-9888 F: (816) 623-9849
WWW.ENGINEERINGSOLUTIONSKC.COM

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PLOT PLAN - LOT 35

MISSION PINES, SECOND PLAT
PRAIRIE VILLAGE, JOHNSON COUNTY, KANSAS

GREG ALLEN
STREET
CITY, STATE, ZIP

PROJECT NO. 1	FILE NAME LOT 35, PRAIRIE PINES	DATE 1/18/13	SHEET 1	OF 1
------------------	------------------------------------	-----------------	------------	---------

Rev:

LOCHNER

STAFF REPORT

TO: Prairie Village Planning Commission
FROM: Ron Williamson, Lochner, Planning Consultant
DATE: March 5, 2013 Planning Commission Meeting

Project # 000005977

Application: PC 2013-107

Request: Monument Sign Approval

Property Address: 8801 Nall Avenue

Applicant: SignCraft, Inc. for Hillcrest Covenant Church

Current Zoning and Land Use: R-1A Church

Surrounding Zoning and Land Use: **North:** R-1A Single-Family Residential – Single Family Dwellings
East: R-1A Single-Family Residential – Single Family Dwellings
South: R-1A Single-Family Residential – Single Family Dwellings
West: R-1 Single Family Residential (Overland Park) – Single Family Dwellings

Legal Description: Unplatted – Metes and Bounds

Property Area: 5.05 acres

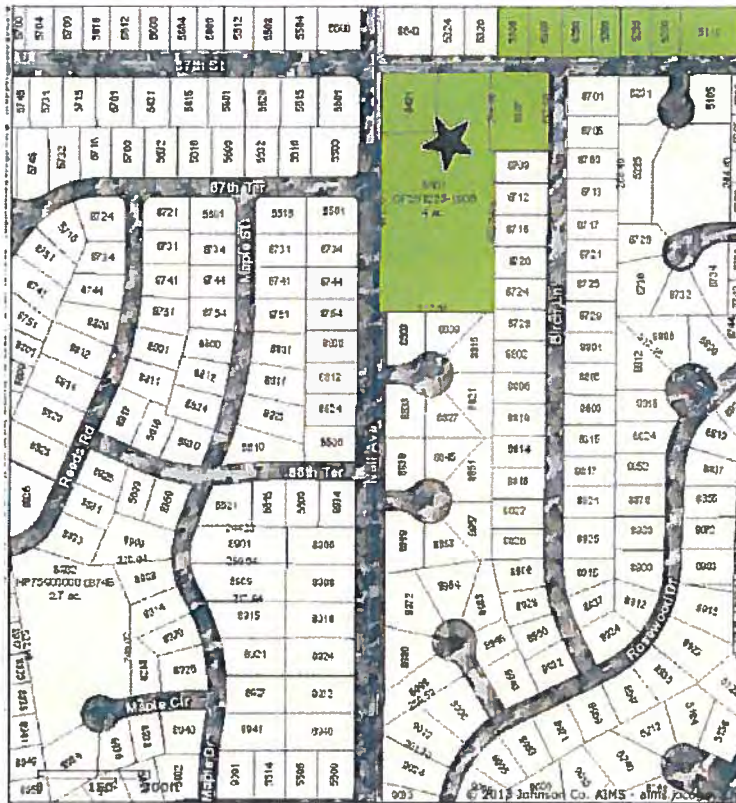
Related Case Files: PC 95-110 Site Plan Approval

Attachments: Application and drawings

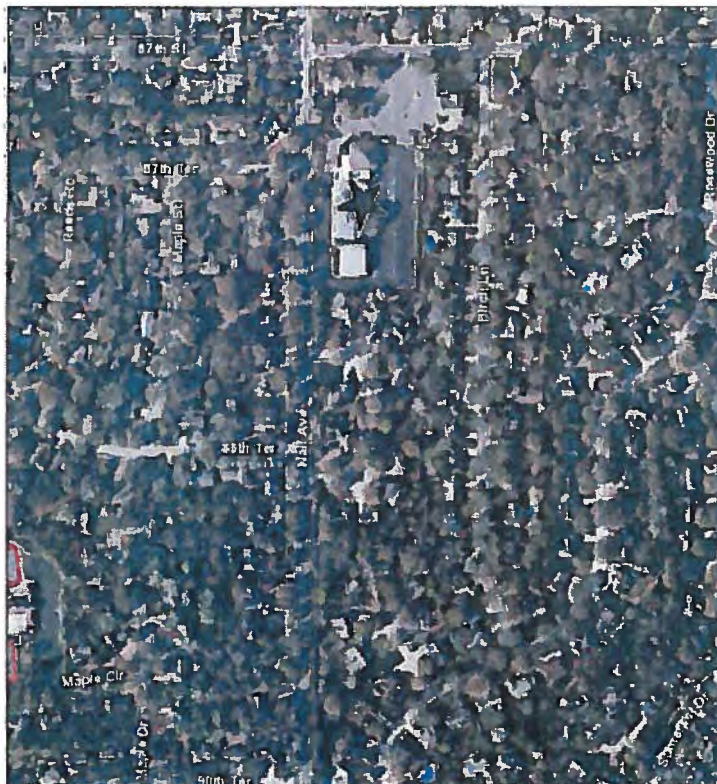
LOCHNER

903 East 104th Street | Suite 800 | Kansas City, Missouri 64131-3451 | P 816.363.2696 | F 816.363.0027
engineering | planning | architecture

General Location Map



Aerial Map



COMMENTS:

Hillcrest Covenant Church is proposing to replace its existing sign at the same location. The existing sign is perpendicular to Nall Avenue, is lighted and is double faced. The zoning ordinance requires that new monument signs be approved by the Planning Commission prior to issuance of a permit. Staff comments regarding the proposed sign are as follows:

- **Orientation**
The proposed sign will replace the existing sign, will be double faced and will be perpendicular to Nall Avenue.
- **Setback**
The ordinance requires monument signs to be setback a minimum of 12 feet from the back of curb. The site plan indicates it will be setback 13 feet from the back of curb. It should be noted that the existing sign sets back 11 feet from the back of curb.
- **Construction Materials**
The sign base will be stone which should be similar to the stone on the building. The sign face will be stucco with flat cut bronze aluminum letters.
- **Illumination**
The sign will be lit with ground mounted lights. In the past the Planning Commission has only approved lights that are flush mounted with the ground. The applicant has submitted a different design which appears to work in this situation. A cut sheet is attached.
- **Height**
The maximum height permitted by the ordinance is five feet and the proposed sign complies with that requirement.
- **Area**
The area of the proposed sign panel is 19.09 square feet. However, the actual sign is approximately 7.5 square feet. The maximum square feet permitted is 20 square feet for the sign panel.
- **Landscaping**
The applicant has submitted a landscape plan and the plant selection is appropriate.

RECOMMENDATION:

After a review of the plans for the proposed sign, it is the recommendation of Staff that the Planning Commission approve the proposed monument sign for Hillcrest Covenant Church subject to the following conditions:

1. That the existing sign be removed when the new one is installed.
 2. That the stone be similar to that of the church building.
 3. That the lights be flush mounted with the ground unless otherwise approved by the Planning Commission.
-



Existing Sign



CITY OF PRAIRIE VILLAGE
The Star of Kansas

Planning Commission Application

For Office Use Only
Case No.: <u>PC2013-107</u>
Filing Fee: <u>100</u>
Deposit: <u>500</u>
Date Advertised:
Date Notices Sent:
Public Hearing Date:

Please complete this form and return with information requested to:

Assistant City Administrator
City of Prairie Village
7700 Mission Rd.
Prairie Village, KS 66208

Applicant: SIGNCRAFT, INC. Phone Number: 816-421-6900
 Address: 329 E. 14TH AVE, N. KANSAS CITY, MO 64116 - Mail SIGNCRAFTINC@GMAIL.COM
 Owner: HILLCREST COVENANT CHURCH Phone Number: 913-901-2300
 Address: 8801 NALL AVE, PRAIRIE VILLAGE Zip: 66207
 Location of Property: SAME AS ABOVE

Legal Description: _____

Applicant requests consideration of the following: (Describe proposal/request in detail) INSTALL - (1) 60.25" x 132" x 24" DOUBLE FACE MONUMENT SIGN, STONE BASE AND STUCCO FACES WITH FLAT CUT-OUT ALUMINUM LETTERS (EXISTING MONUMENT TO BE REMOVED) AGREEMENT TO PAY EXPENSES

APPLICANT intends to file an application with the PRAIRIE VILLAGE PLANNING COMMISSION or the PRAIRIE VILLAGE BOARD OF ZONING APPEALS of the CITY OF PRAIRIE VILLAGE, KANSAS (City) for HILLCREST COVENANT CHURCH MONUMENT SIGN.
 As a result of the filing of said application, CITY may incur certain expenses, such as publication costs, consulting fees, attorney fees and court reporter fees.

APPLICANT hereby agrees to be responsible for and to CITY for all cost incurred by CITY as a result of said application. Said costs shall be paid within ten (10) days of receipt of any bill submitted by CITY to APPLICANT. It is understood that no requests granted by CITY or any of its commissions will be effective until all costs have been paid. Costs will be owing whether or not APPLICANT obtains the relief requested in the application.

[Signature] JAN. 29/13
 Applicant's Signature/Date

[Signature]
 Owner's Signature/Date
Property Elder 1/30/2013
HILLCREST COVENANT CHURCH



ph 816.421.6900 fx 816.842.8951

800.652.7446

329 E. 14th Ave, N.K.C., MO 64116

CLIENT:

Hillcrest Covenant Church

SCALE:

N.T.S.

DESIGNER:

J. Schneider

DESIGN/SALES:

M. Manzo

DRAWING: 10.18.12 -

REVISION: 10.24.12 -

REVISION: 11.01.12 -

REVISION: -

REVISION: -

REVISION: -

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Client Approval Signature:

Date:

Project Description: Hillcrest Covenant Church - 8801 Nall Avenue, Prairie Village, KS 66207

Proposed concept drawing for new 5'x11' double face identification monument sign.



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ph 816.421.6900 fx 816.842.8951
800.652.7446
329 E. 14th Ave, N.K.C., MO 64116

CLIENT:
Hillcrest Covenant Church

SCALE:
N.T.S.
DESIGNER:
J. Schneider
DESIGN/SALES:
M. Manzo

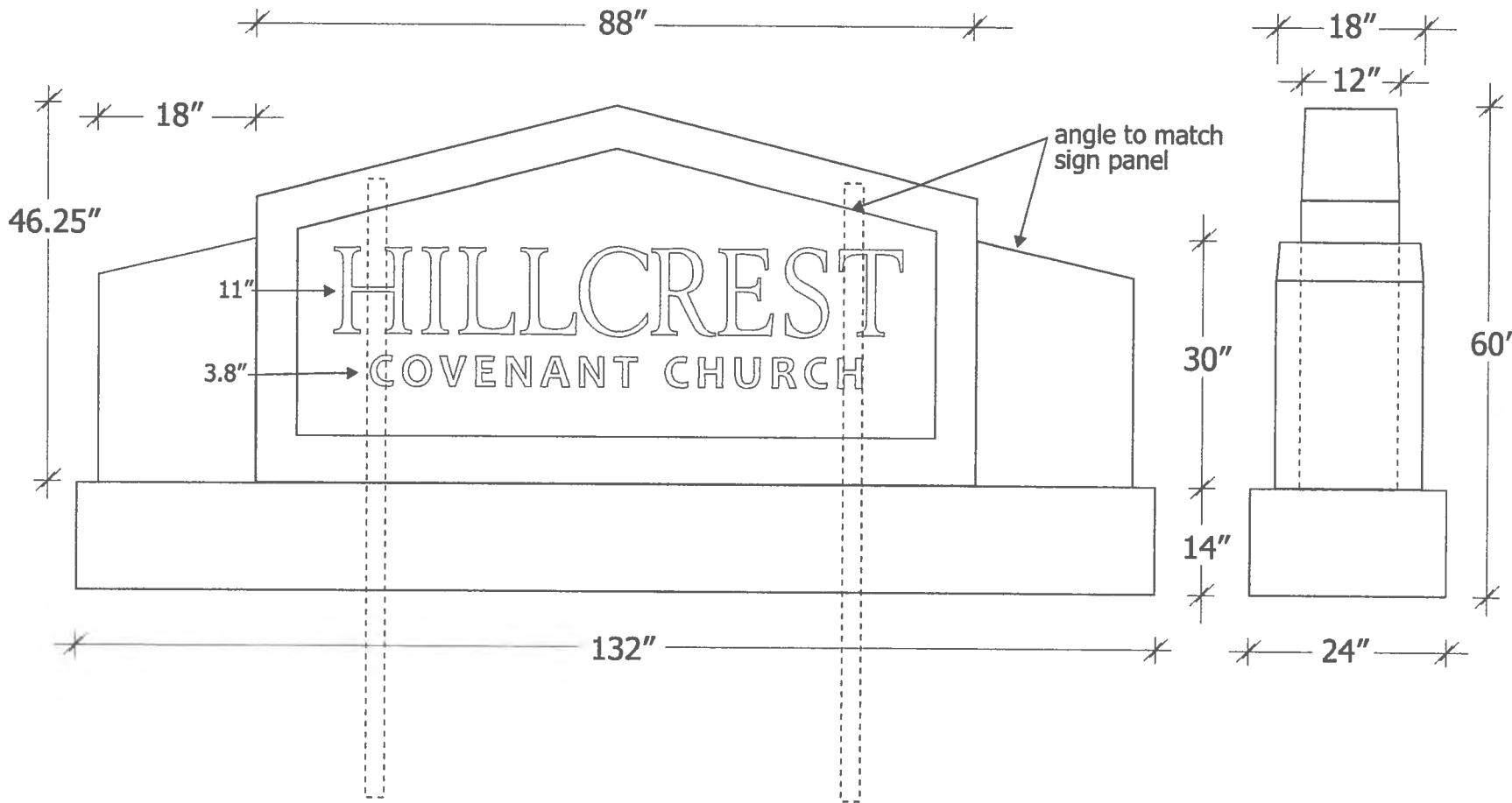
DRAWING:	10.18.12	-
REVISION:	10.24.12	-
REVISION:	11.01.12	-
REVISION:		-
REVISION:		-
REVISION:		-

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Client Approval Signature: _____

Date: _____

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- Option B: (2) columns, base, blocked sign panel background and footer. Same as above except add blocked-up sign panel for stucco and delete (2) vertical pipe posts. All work done at same time.

Project Description: Hillcrest Covenant Church - 8801 Nall Avenue, Prairie Village, KS 66207

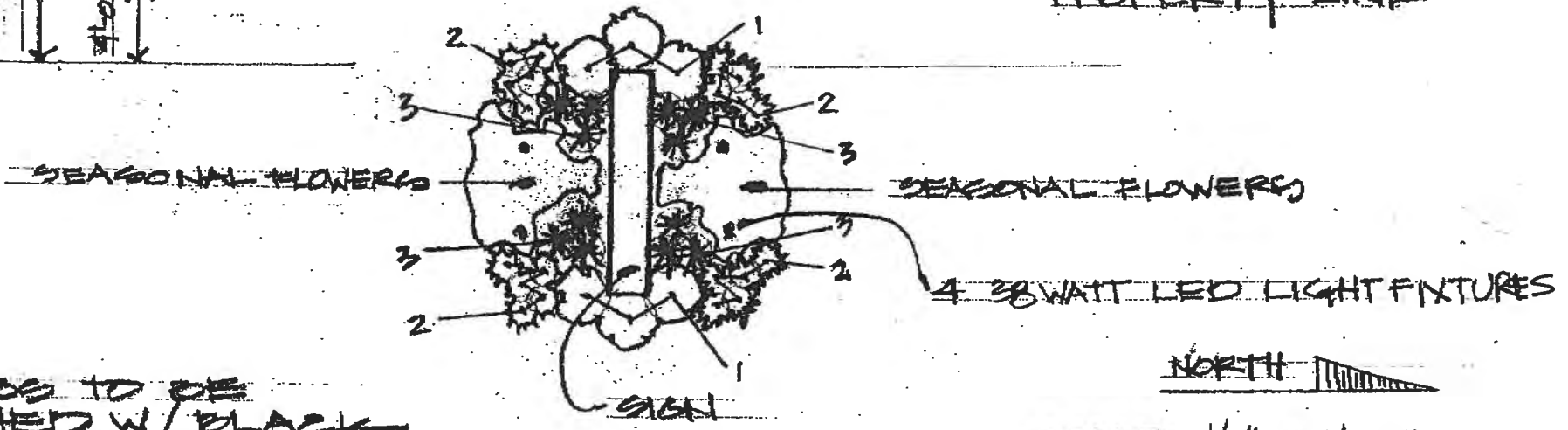
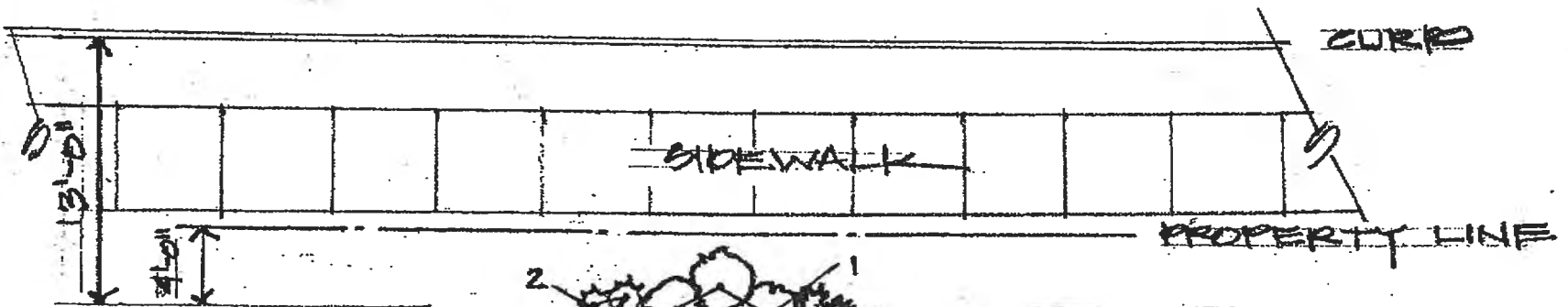
Proposed concept drawing for new 5'x11' double face identification monument sign.

The sign panel area is 35.25" x 78" = 19.09 Square Feet.



MONUMENT SIGN
 HILLCREST COVENANT
 8801 NALL AVENUE

NALL AVENUE



SHRUBS TO BE
 MULCHED W/ BLACK
 HARDWOOD MULCH

PLANT LIST			
KEY	#	COMMON NAME	BOTANICAL NAME
1	6	INK BERRY HOLLY	ILEX NORDIC GLABRA CHAMZIN
2	20	GREEN MOUND JUNIPER	JUNIPERUS PROCEMBENS
3	12	LITTLE BUNNY FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES

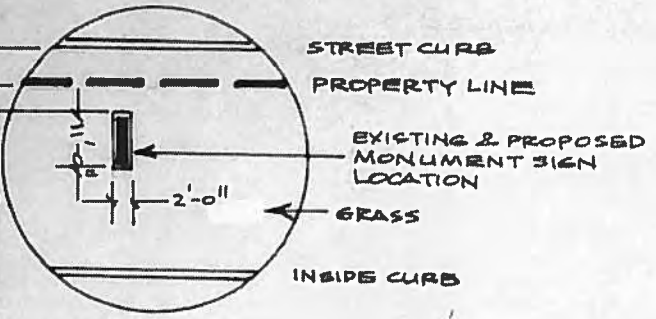
A LANDSCAPE PLAN 000

HILLCREST COVENANT CHURCH
8801 NALL AVENUE
PRAIRIE VILLAGE, KS 66207

PROJECT LOCATION:
SHEET NO. 43-7-35



MONUMENT SIGN LOCATION (DETAIL)
4'-0" SETBACK FROM P/L
13'-0" SETBACK FROM CURB

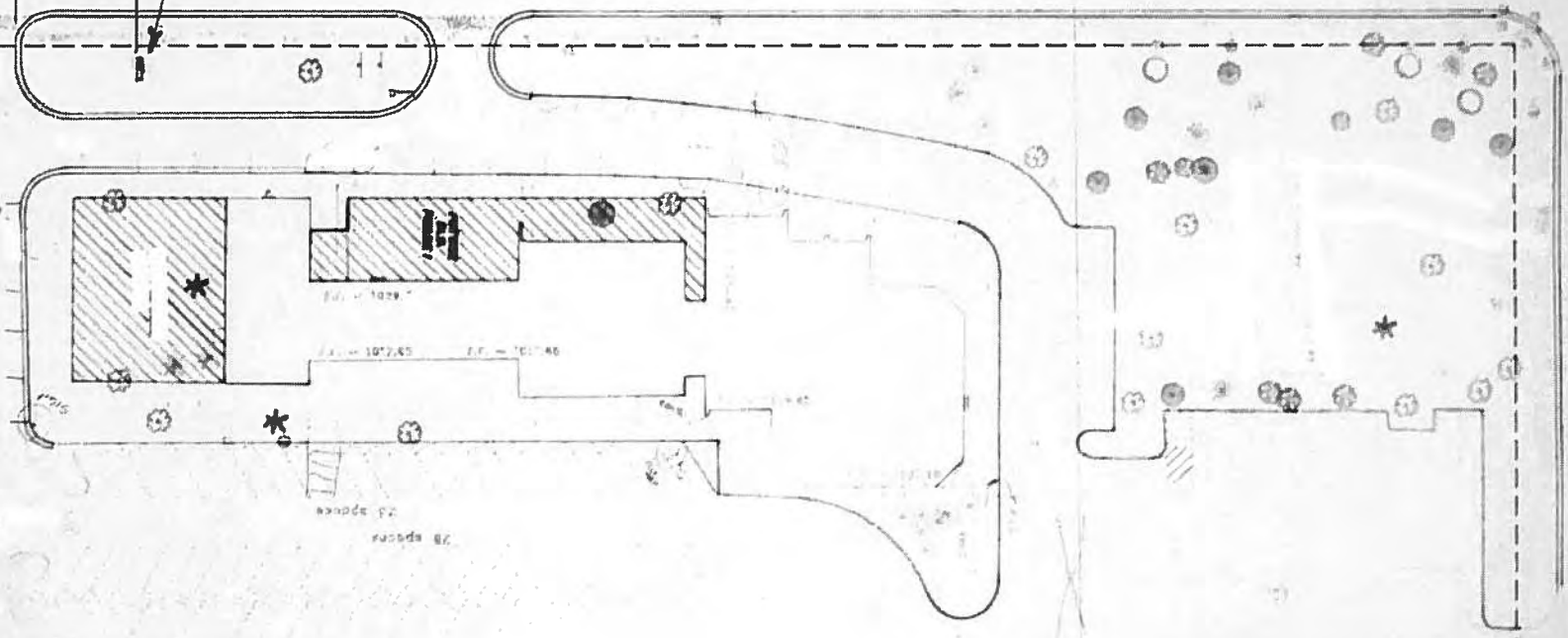


EXISTING MONUMENT SIGN

NALL AVENUE

500°00'00"E
782.04'

W. 07TH STREET



STAFF REPORT

TO: Prairie Village Planning Commission
FROM: Ron Williamson, Lochner, Planning Consultant
DATE: March 5, 2013 Planning Commission Meeting

Project # 000005977

Application: PC 2013-108

Request: Site Plan approval for a wireless communication equipment installation

Property Address: 3921 W. 63rd Street, Consolidated Fire District No. 2

Applicant: Black and Veatch on behalf of AT&T

Current Zoning and Land Use: R-1A Single-Family Residential District – existing use is a fire station

Surrounding Zoning and Land Use: **North:** R-1B Single-Family Residential District – Church and Single Family
East: R-1A Single-Family Residential District - middle school
South: R-1A Single-Family Residential District - middle school
West: R-1A Single-Family Residential District – middle school

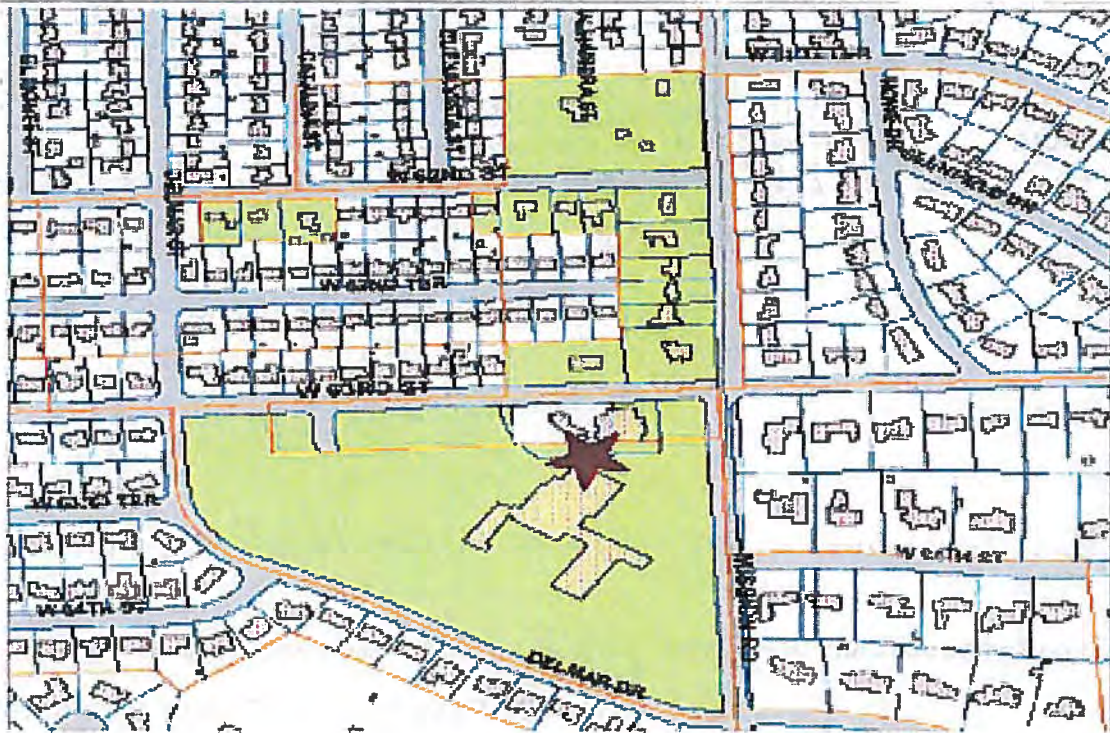
Legal Description: Indian Fields, Lot 3, BLK A

Property Area: 1.25 acres

Related Case Files: PC 2011-109 Site Plan Approval for T-Mobile
PC 2010-115 Site Plan Approval for AT&T
PC 2010-03 Special Use Permit for a wireless communications facility
PC 97-110 Site Plan Approval for Fire Station

Attachments: Application, proposed plans, current photos

General Location Map



Aerial Map



STAFF COMMENTS:

On May 4, 2010, the Planning Commission held a public hearing for a Special Use Permit to allow a wireless communications facility to be located at Fire District #2 Station, 3921 W. 63rd Street. The Planning Commission recommended favorably and on June 7, 2010 the City Council approved the Special Use Permit. The wireless communications facility was approved for Verizon and two additional carriers with the condition that each additional carrier would be required to submit a site plan for approval by the Planning Commission. AT&T submitted a site plan approval application and it was approved by the Planning Commission in December 2010.

T-Mobile was approved as the third carrier for the collocation site in June 2011. Both Verizon and AT&T have used two center-lines on the monopole while T-Mobile only used one. T-Mobile is only using G-3 data transmission at this location so only one center-line was needed. The pole was designed for six center-lines which means there is still one left at 95'. AT&T is requesting to use this center-line to install antennas for its LTE (Long-Term Evolution) high-speed data service.

T-Mobile has not installed its antennas and equipment, but will use the 105' center-line and the equipment will be installed between the monopole and the AT&T lease area. AT&T leases the east 21.5 feet of the equipment compound. The T-Mobile equipment box will be mounted on a rack rather than being mounted on a pad and the rack poles will be slightly less than 10 feet in height which will be below the height of the 10-foot screening wall.

The applicant was unable to hold a neighborhood meeting because of the weather. It should be noted that a neighborhood meeting was held when the Special Use Permit was approved in 2010, but no additional neighborhood meetings were held for the AT&T and T-Mobile Site Plan approvals.

The Planning Commission shall give consideration to the following criteria in approving or disapproving a site plan:

A. The site is capable of accommodating the building, parking areas and drives with appropriate open space and landscape.

The capability of the site to accommodate the equipment compound was addressed in the approval of the Special Use Permit.

B. Utilities are available with adequate capacity to serve the proposed development.
Adequate utilities are available to serve this location.

C. The plan provides for adequate management of stormwater runoff.

Public Works has reviewed and approved a storm water management plan for the entire equipment compound as a part of the Special Use Permit Application (PC 2010-03).

D. The plan provides for safe and easy ingress, egress and internal traffic circulation.

The proposed site will utilize the existing fire station driveway and parking lot for circulation which will adequately serve the proposed use.

E. The plan is consistent with good land planning and good site engineering design principles.

The details of the overall design of the equipment compound were worked as a part of the Special Use Permit Application (PC 2010-03).

F. An appropriate degree of compatibility will prevail between the architectural quality of the proposed installation and the surrounding neighborhood.

A 10-foot tall brick screening has been constructed around the perimeter of the equipment compound using the same materials that match the existing fire station. No equipment will be visible above the wall.

G. The plan represents an overall development pattern that is consistent with the comprehensive plan and other adopted planning policies.

Wireless communications are not specifically addressed in Village Vision. Generally it falls into maintaining and improving infrastructure.

RECOMMENDATION:

It is the recommendation of the Staff that the Planning Commission approve this Site Plan for AT&T subject to the following conditions:

1. That all antennas and wiring be contained within the monopole.
 2. That none of the equipment and supporting structure shall be taller than the 10' screening wall.
 3. That none of the proposed improvements encroach into the T-Mobile equipment area the compound.
 4. That AT&T and any subsequent entity maintain compliance with all the conditions of approval of the Special Use Permit (2010-03).
-





December 21, 2012

Attn: Ethan Hunt
AT&T Mobility Services, LLC
7801 Farley Street, Overland Park, KS 66204

Re: Site Name: 67th & Roe
Location Code: KS5509
Site Address: 3921 West 63rd Street, Prairie Village, KS 66208
Structure: 149' Stealth Pole

Dear Mr. Hunt,

As requested, SSC has reviewed documents regarding the subject tower in order to assess its structural capability to support the proposed antenna loadings. Documents reviewed include a structural design report by Sabre Towers & Poles (Job Number 30835) dated June 18, 2010, Black & Veatch Rev B drawings dated November 30, 2012, and an e-mail from Black & Veatch dated December 04, 2012.

The Sabre structural design report calculations are for the design of an 89' monopole with (6) 10'x28" diameter concealment canisters for a total height of 149'. The concealment canisters were designed to enclose (3) BXA-80063/BCF panel antennas at 144', 134', 124', 114', 104', and 94', thus shielding them from the wind. All coax were assumed to be inside the monopole. The monopole and its foundation were designed for a 90 mph basic wind speed w/o ice and a 40 mph basic wind speed with 1" ice as required by TIA-222-G. The monopole is designed as a Class II Structure with Exposure Category C and Topographic Category 1.

The existing loading is (3) panel antennas at 145', (3) panel antennas at 135', (3) P65-15-XLH-RR panel antennas with (6) TT08-19DB111-001 TMAs at 125', and (3) P65-15-XLH-RR panel antennas with (6) TT08-19DB111-001 TMAs at 115' enclosed within the existing 28" diameter stealth canister. The existing coax is located inside the monopole.

The proposed loading is the existing loading with the addition of (3) SBNH-1D6565A panel antennas and (3) E15Z09P94 TMAs at the 95' elevation included inside the stealth canister. The proposed (6) new runs of 7/8" coax and (3) new runs of 3/8" RET coax will also be located inside the monopole.

No additional wind area will result from the proposed antenna addition; therefore there will be no additional wind load on the tower. The axial load is negligible.

Based upon the furnished information, it can be concluded that the tower structure is adequate to support the proposed loading in accordance with TIA-222-G.

Thank you, and please feel free to contact us if you require further information.

Sincerely,

Robert E. Jensen, P.E.



9225 INDIAN CREEK PKWY, SUITE 100
OVERLAND PARK, KANSAS 66210

p 913 435 7700
f 913 435 7777

SSC 100-00111



CITY OF PRAIRIE VILLAGE

The Star of Kansas

Planning Commission Application

For Office Use Only
Case No.: <u>PC 2013-108</u>
Filing Fee:
Deposit:
Date Advertised:
Date Notices Sent:
Public Hearing Date: <u>03/05/13</u>

Please complete this form and return with Information requested to:

Assistant City Administrator
City of Prairie Village
7700 Mission Rd.
Prairie Village, KS 66208

Applicant: AT&T/c/o Black & Veatch Phone Number: 913-458-6773

Address: 30150 Telegraph, Bingham Farms, MI 48025 E-Mail mansoura@bv.com

Owner: Consolidate Fire District No.2/AT&T Lessee Phone Number: _____

Address: 3921 West 63rd St, Prairie Village Zip: 66208

Location of Property: 3921 W. 62rd, Prairie Village

Legal Description: 16-12-25 PT NE1/4 & LT 2 & PT LT 4 BLK A INDIAN FIELDS DESC AS: BG NE CR LT 2 S 165' W 271.32' NW CUR RT 188.92' TO PT N/L LT 4 E 349.92' TO POB EX LT 3 BLK A INDIAN FIELDS .59 ACS M/L PVC

Applicant requests ^{407.1} consideration of the following: (Describe proposal/request in detail) AT&T requests Site Plan Review for installation of 3 LTE antennas and related ground equipment at 3921 West 63rd St. Please reference Construction Drawings dated 02/08/13.

AGREEMENT TO PAY EXPENSES

APPLICANT intends to file an application with the PRAIRIE VILLAGE PLANNING COMMISSION or the PRAIRIE VILLAGE BOARD OF ZONING APPEALS of the CITY OF PRAIRIE VILLAGE, KANSAS (City) for Site Plan Review.

As a result of the filing of said application, CITY may incur certain expenses, such as publication costs, consulting fees, attorney fees and court reporter fees.

APPLICANT hereby agrees to be responsible for and to CITY for all cost incurred by CITY as a result of said application. Said costs shall be paid within ten (10) days of receipt of any bill submitted by CITY to APPLICANT. It is understood that no requests granted by CITY or any of its commissions will be effective until all costs have been paid. Costs will be owing whether or not APPLICANT obtains the relief requested in the application.

Applicant's Signature/Date Agent for AT&T

Owner's Signature/Date



BLACK & VEATCH
Building a world of difference.

BLACK & VEATCH CORPORATION
30150 TELEGRAPH ROAD, SUITE 355
Bingham Farms, MI 48025
(913) 458-6773 (Phone) | (248) 594-9337 (Fax)

February 20, 2013

RE: AT&T Telecommunications facility located at 3921 West 63rd Street, Prairie Village

Dear Property Owner:

AT&T is proposing to upgrade its existing wireless communication facility located at the referenced address by adding three (3) new LTE antennas and related equipment to the existing facility. The proposed upgrade will improve the service to the surrounding area. The proposed work will not increase the height of the existing structure or the size of the lease compound.

The existing structure, a stealth pole that resembles a flag pole, will not visibly change. The antennas to be added will be installed inside the existing pole. They will not be visible. The equipment will also be invisible to the outside observer as the facility is surrounded by a ten foot brick wall. There will be no visible change to the site plan approved previously through the Special Use Permit.

We are scheduling a community meeting for review of this proposal on Tuesday, February 26, 2013 at 7:30PM. The meeting will be in the Multi Purpose Room at City Hall. The address is 7700 Mission Road, Prairie Village, KS 66208.

Black & Veatch Corporation

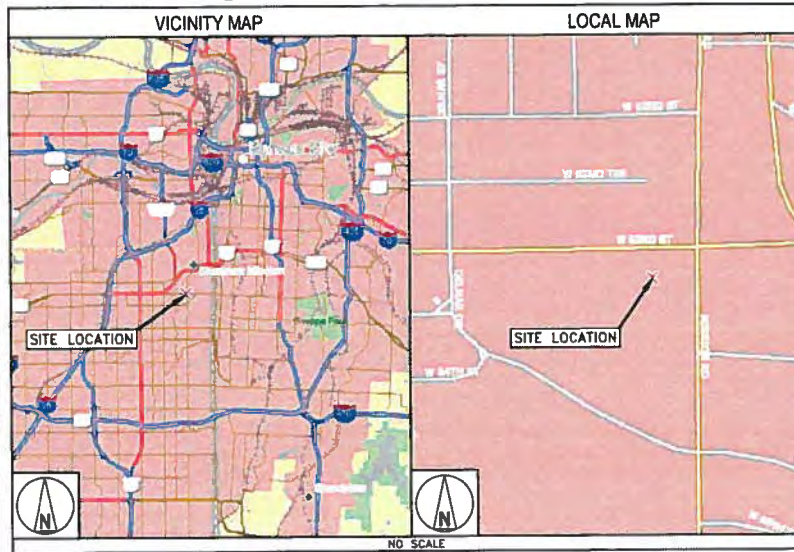
Andrea Mansour
Agent for AT&T
Site Acquisition Specialist
mansoura@bv.com
(913) 458-6773

67TH & ROE KS5509 10138325



LTE

149' - STEALTH POLE

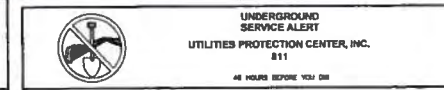


APPROVALS	
THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND MAY INCURE CHANGES OR SITE MODIFICATIONS.	
AT&T COMPLIANCE:	DATE: _____
AT&T RF ENGINEER:	DATE: _____
AT&T OPERATIONS:	DATE: _____
AT&T PM:	DATE: _____
B&V CONSTRUCTION:	DATE: _____
B&V SITE ACQ:	DATE: _____
SITE OWNER:	DATE: _____

DRAWING INDEX	
SHEET NO:	SHEET TITLE
F-1	TITLE SHEET
C-1	SITE PLAN
C-1-1	EQUIPMENT LAYOUT
C-2	SITE ELEVATIONS
C-3	ANTENNA LAYOUT AND COAX ROUTING
C-4	EQUIPMENT DETAILS
C-5	EQUIPMENT DETAILS
C-6	EQUIPMENT DETAILS
C-7	SITE DETAILS
RF-1	RF CONFIGURATION
RF-2	LTE CONFIGURATION
RF-3	COAX COLOR CODING
G-1	GROUNDING DETAILS
G-2	GROUNDING DETAILS
GN-1	GENERAL NOTES, LEGEND & ABBREVIATIONS
GN-2	GENERAL SITE WORK AND DRAINAGE NOTES
GN-3	GENERAL CONCRETE WORK NOTES
GN-4	GENERAL STRUCTURAL STEEL NOTES
GN-5	GENERAL ELECTRICAL NOTES

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



ENGINEERING
2008 INTERNATIONAL BUILDING CODE OR ADOPTED CODE
2008 NATIONAL ELECTRIC CODE OR ADOPTED CODE
TIA/EIA-222-F OR ADOPTED CODE

GENERAL NOTES
THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE, NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROVIDED.

PROJECT DESCRIPTION
THE PROJECT CONSISTS OF THE INSTALLATION AND OPERATION OF ANTENNAS AND ASSOCIATED EQUIPMENT CABINETS FOR AT&T'S WIRELESS TELECOMMUNICATIONS NETWORK.

SITE INFORMATION

PROPERTY OWNER: CONSOLIDATED FIRE DISTRICT #2
ADDRESS: 3921 W 63RD STREET PRAIRIE VILLAGE, KS 66208

TOWER OWNER: CONSOLIDATED FIRE DISTRICT #2

SITE CONTACT: NA

COUNTY: JOHNSON

LATITUDE (NAD 83): 38° 00' 53.87" N
38.0148306

LONGITUDE (NAD 83): 94° 37' 52.41" W
-94.631722

GROUND ELEVATION: 942' AMSL

ZONING JURISDICTION: PRAIRIE VILLAGE

ZONING DISTRICT: NA

PARCEL #: NA

OCCUPANCY GROUP: U

CONSTRUCTION TYPE: V-B

POWER COMPANY: KCP&L

TELEPHONE COMPANY: AT&T

SITE ACQUISITION MANAGER: CARRIE BOYLAN (314) 602-8700

CONSTRUCTION MANAGER: CHAD LARSEN (913) 449-2875

RF ENGINEER: RON HUMPHREY (314) 964-5277

IF USING 11"x17" PLOT, DRAWINGS WILL BE HALF SCALE

CONTACT INFORMATION

ENGINEER: BLACK & VEATCH CORPORATION
10950 GRANDVIEW DRIVE
OVERLAND PARK, KS 66210

CONTACT: GREGORY SCHMIDT

PHONE: (913) 458-3263

DRIVING DIRECTIONS

DIRECTIONS FROM NEAREST INTERSTATE:
DEPART I-35 NORTH AT EXIT 228B. TAKE SHAWNEE MISSION PKWY/US-56. KEEP STRAIGHT FOR ROUGHLY 1.5 MILES. TURN SOUTH ONTO NALL AVE. IMMEDIATELY TURN EAST ONTO W 63RD STREET. SITE IS ON THE SOUTH BEHIND MIDDLE SCHOOL.



PROJECT NO:	122041	
DRAWN BY:	PRS	
CHECKED BY:	GJS	
REV	DATE	DESCRIPTION
1	02/23/13	ISSUED FOR PLANNING REVIEW

PRELIMINARY

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

67TH & ROE
KS5509
3921 WEST 63RD STREET
PRAIRIE VILLAGE, KS 66208
LTE

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. CONTRACTOR SHALL MAINTAIN A 10'-0" MINIMUM SEPARATION BETWEEN THE PROPOSED LTE GPS ANTENNA AND TRANSMITTING ANTENNAS.
3. PROPERTY LINES ARE APPROXIMATIONS ONLY.
4. ANTENNAS & MOUNTS OMITTED FOR CLARITY.

NOTES



7801 FARLEY
OVERLAND PARK, KS 66204



BLACK & VEATCH

10950 GRANDVIEW DRIVE
OVERLAND PARK, KANSAS 66210
(913) 458-2000

PROJECT NO: 122041
DRAWN BY: PRS
CHECKED BY: GJS

REV	DATE	DESCRIPTION
1	02/22/13	ISSUED FOR PLANNING REVIEW

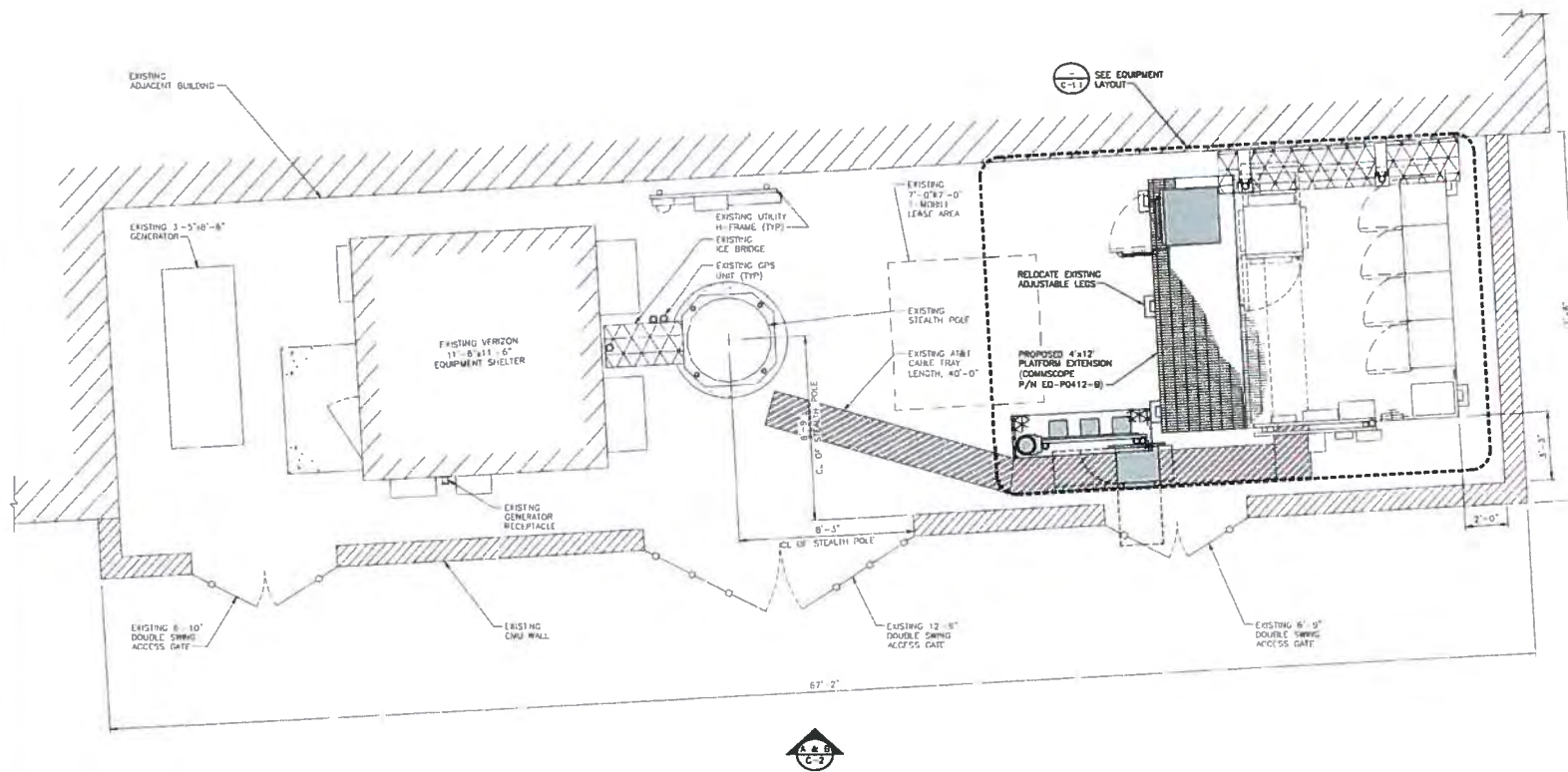
PRELIMINARY

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67TH & ROE
KS5509
3921 WEST 63RD STREET
PRAIRIE VILLAGE, KS 66208
LTE

SHEET TITLE
SITE PLAN

SHEET NUMBER
C-1



SITE PLAN



1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. CONTRACTOR SHALL MAINTAIN A 10'-0" MINIMUM SEPARATION BETWEEN THE PROPOSED LTE GPS ANTENNA AND TRANSMITTING ANTENNAS.
3. PROPERTY LINES ARE APPROXIMATIONS ONLY.
4. ANTENNAS & MOUNTS OMITTED FOR CLARITY

NOTES



7001 FARLEY
OVERLAND PARK, KS 66204



BLACK & VEATCH

10850 GRANDVIEW DRIVE
OVERLAND PARK, KANSAS 66210
(913) 436-2000

PROJECT NO: 122041
DRAWN BY: PRS
CHECKED BY: GJS

REV	DATE	DESCRIPTION
1	02/25/13	ISSUED FOR PLUMBING REVIEW

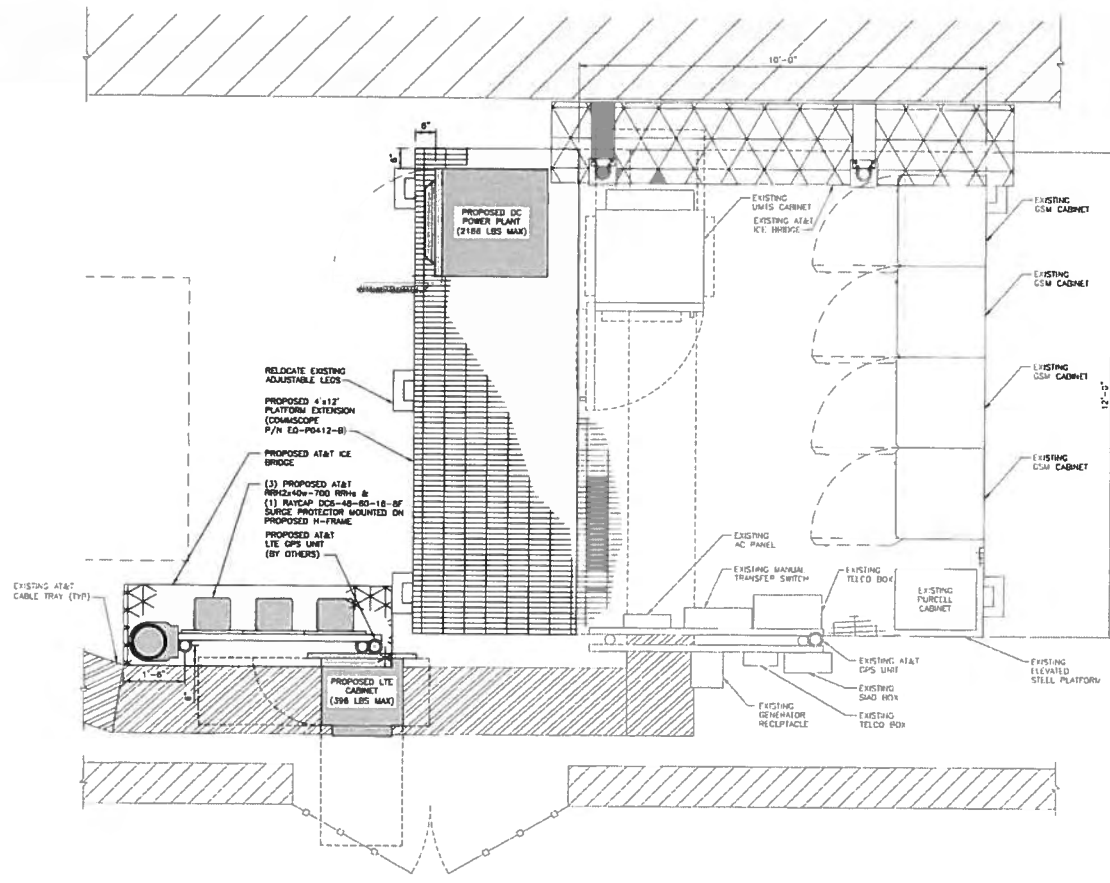
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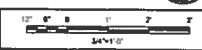
67TH & ROE
KSS509
3921 WEST 63RD STREET
PRAIRIE VILLAGE, KS 66208
LTE

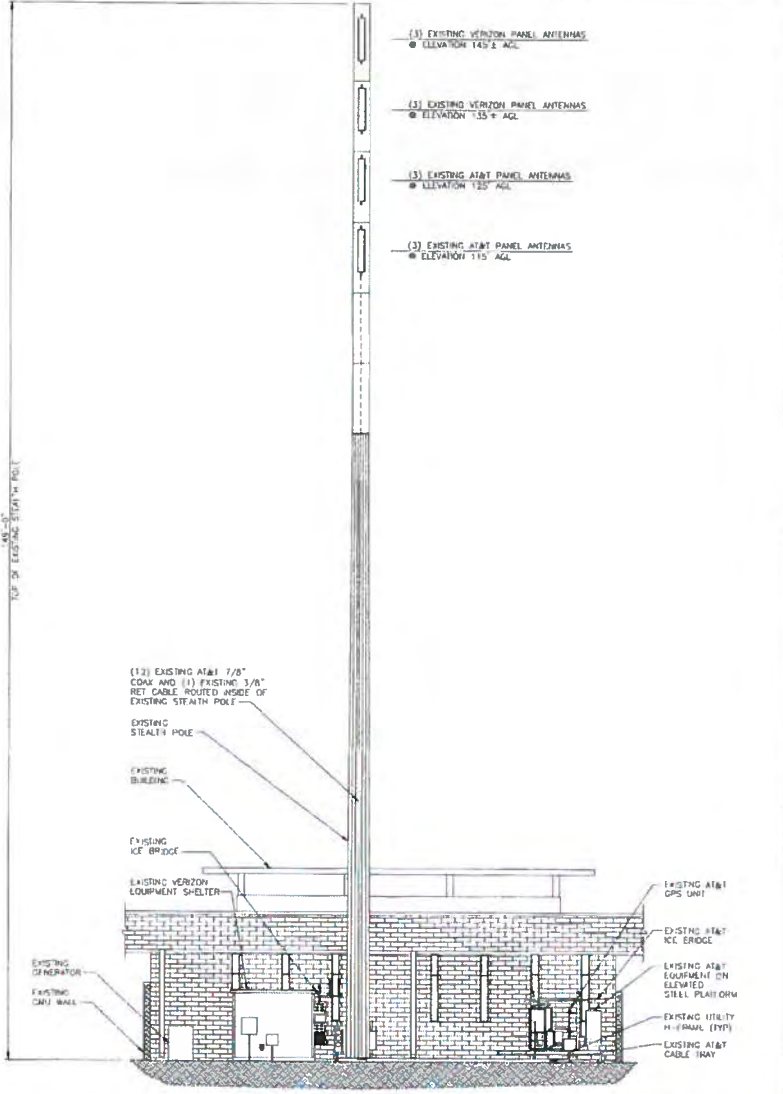
SHEET TITLE
EQUIPMENT LAYOUT

SHEET NUMBER
C-1.1



EQUIPMENT LAYOUT

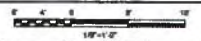




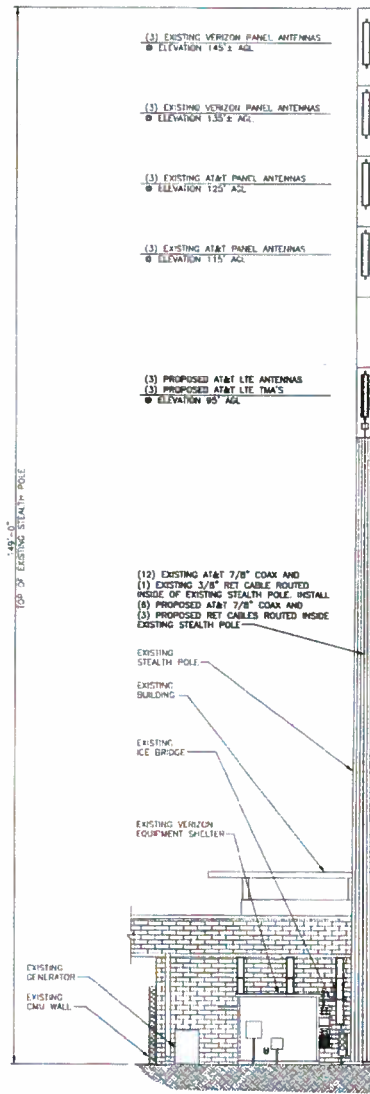
- (3) EXISTING VERIZON PANEL ANTENNAS
● ELEVATION 143'2" AGL
- (3) EXISTING VERIZON PANEL ANTENNAS
● ELEVATION 133'4" AGL
- (3) EXISTING AT&T PANEL ANTENNAS
● ELEVATION 120' AGL
- (3) EXISTING AT&T PANEL ANTENNAS
● ELEVATION 115' AGL

- (12) EXISTING AT&T 7/8" COAX AND (1) EXISTING 3/8" RET CABLE ROUTED INSIDE OF EXISTING STEALTH POLE
- EXISTING STEALTH POLE
- EXISTING BUILDING
- EXISTING ICE BRIDGE
- EXISTING VERIZON EQUIPMENT SHELTER
- EXISTING AT&T GPS UNIT
- EXISTING AT&T ICE BRIDGE
- EXISTING AT&T EQUIPMENT ON ELEVATED STEEL PLATFORM
- EXISTING UTILITY H-FRAME (TYP)
- EXISTING AT&T CABLE TRAY
- EXISTING GENERATOR
- EXISTING CMU WALL

EXISTING ELEVATION
SEE DRAWING C-1



A

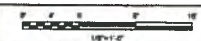


- (3) EXISTING VERIZON PANEL ANTENNAS
● ELEVATION 143'2" AGL
- (3) EXISTING VERIZON PANEL ANTENNAS
● ELEVATION 133'2" AGL
- (3) EXISTING AT&T PANEL ANTENNAS
● ELEVATION 120' AGL
- (3) EXISTING AT&T PANEL ANTENNAS
● ELEVATION 115' AGL
- (3) PROPOSED AT&T LTE ANTENNAS
(3) PROPOSED AT&T LTE TMA'S
● ELEVATION 95' AGL

- (12) EXISTING AT&T 7/8" COAX AND (1) EXISTING 3/8" RET CABLE ROUTED INSIDE OF EXISTING STEALTH POLE. INSTALL INSIDE OF EXISTING STEALTH POLE.
- (8) PROPOSED AT&T 7/8" COAX AND (5) PROPOSED RET CABLES ROUTED INSIDE EXISTING STEALTH POLE.

- EXISTING STEALTH POLE
- EXISTING BUILDING
- EXISTING ICE BRIDGE
- EXISTING VERIZON EQUIPMENT SHELTER
- EXISTING GENERATOR
- EXISTING CMU WALL
- PROPOSED AT&T ICE BRIDGE
- PROPOSED AT&T LTE GPS UNIT (TO BE PLACED 10' MINIMUM FROM ANY EXISTING ANTENNA)
- (3) PROPOSED RRU440M-700 AND (1) PROPOSED RAYCAP SURGE PROTECTOR MOUNTED TO PROPOSED H-FRAME
- PROPOSED AT&T LTE EQUIPMENT ON PROPOSED ELEVATED STEEL PLATFORM
- EXISTING AT&T GPS UNIT
- EXISTING AT&T ICE BRIDGE
- EXISTING AT&T EQUIPMENT ON ELEVATED STEEL PLATFORM
- EXISTING UTILITY H-FRAME (TYP)
- EXISTING AT&T CABLE TRAY

PROPOSED ELEVATION
SEE DRAWING C-1



B

1. ALL CABLES SHALL BE GROUNDED WITH COAXIAL CABLE GROUNDED KITS FOLLOW THE MANUFACTURER'S RECOMMENDATIONS.
 - A. GROUNDED AT THE ANTENNA LEVEL.
 - B. GROUNDED AT MID LEVEL TOWERS WHICH ARE OVER 200'-0" ADDITIONAL CABLE GROUNDED REQUIRED.
 - C. GROUNDED AT BASE OF TOWER PRIOR TO TURNING HORIZONTAL.
 - D. GROUNDED OUTSIDE THE EQUIPMENT SHELTER AT ENTRY PORT.
 - E. GROUNDED INSIDE THE EQUIPMENT SHELTER AT THE ENTRY PORT.
2. ALL PROPOSED GROUND BAR DOWNLOADS ARE TO BE TERMINATED TO THE EXISTING ADJACENT GROUND BAR DOWNLEADS A MINIMUM DISTANCE OF 4'-4" BELOW GROUND BAR. TERMINATIONS MAY BE EXOTHERMIC OR COMPRESSION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ANTENNA AND THE COAX CONFIGURATION IS THE CORRECT MAKE AND MODEL PRIOR TO INSTALLATION.
4. ALL CONNECTIONS FOR HANGERS, SUPPORTS, BRACING, ETC. SHALL BE INSTALLED PER TOWER MANUFACTURER'S SPECIFICATION & RECOMMENDATIONS.
5. CONTRACTOR SHALL REFERENCE THE TOWER STRUCTURAL ANALYSIS/DESIGN DRAWINGS FOR DIRECTIONS ON CABLE DISTRIBUTION/ROUTING.
6. STEALTH SHROUD NOT SHOWN FOR CLARITY.
7. CMU SCREEN WALL CUT AWAY FOR CLARITY.
8. CONTRACTOR TO ENSURE THAT PROPOSED GROUND EQUIPMENT IS INSTALLED BELOW TOP OF 10'-0" SCREEN WALL. NO GROUND EQUIPMENT SHALL BE VISIBLE FROM OUTSIDE SCREEN WALL.

GENERAL NOTES

THE PASSING STRUCTURAL OPINION LETTER FOR THE EXISTING TOWER AT THIS SITE WAS COMPLETED BY SSC ON DECEMBER 21, 2012 CONFORMING TO TA-222-G. ACCORDING TO THE SSC STRUCTURAL OPINION LETTER, THE TOWER HAS SUFFICIENT CAPACITY.

STRUCTURAL NOTE



7801 FARLEY
OVERLAND PARK, KS 66204



10930 GRANDVIEW DRIVE
OVERLAND PARK, KANSAS 66210
(913) 456-2000

PROJECT NO:	122041
DRAWN BY:	PRS
CHECKED BY:	GJS

REV	DATE	DESCRIPTION
1	02/27/13	ISSUED FOR PLANNING REVIEW

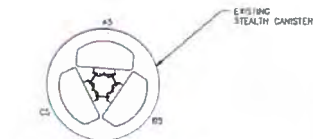
PRELIMINARY

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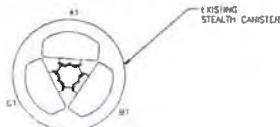
67TH & ROE
K55509
3921 WEST 63RD STREET
PRAIRIE VILLAGE, KS 66208
LTE

SHEET TITLE
SITE ELEVATIONS

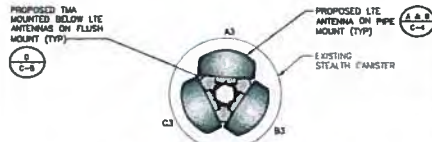
SHEET NUMBER
C-2



EXISTING ANTENNA LAYOUT
@ ELEVATION 125'-0"



EXISTING ANTENNA LAYOUT
@ ELEVATION 115'-0"



PROPOSED ANTENNA & TMA LAYOUT
@ ELEVATION 95'-0"

NOTE:
SEE ANTENNA CONFIGURATION FOR MODEL NUMBERS AND AZIMUTHS

EXISTING				FINAL			
SECTOR	ANTENNA MODEL NUMBER	TECHNOLOGY	AZIMUTH	ANTENNA MODEL NUMBER	TECHNOLOGY	AZIMUTH	
A1	POWERWAVE P85-15-XLH-RR	UMTS	4	POWERWAVE P85-15-XLH-RR	UMTS	4	
A2							
A3				ANDREW 8BRH-1D6865A	LTE	4	
A4							
A5	POWERWAVE P85-15-XLH-RR	GSM	4	POWERWAVE P85-15-XLH-RR	GSM	4	
B1	POWERWAVE P85-15-XLH-RR	UMTS	124	POWERWAVE P85-15-XLH-RR	UMTS	124	
B2							
B3				ANDREW 8BRH-1D6865A	LTE	124	
B4							
B5	POWERWAVE P85-15-XLH-RR	GSM	124	POWERWAVE P85-15-XLH-RR	GSM	124	
C1	POWERWAVE P85-15-XLH-RR	UMTS	244	POWERWAVE P85-15-XLH-RR	UMTS	244	
C2							
C3				ANDREW 8BRH-1D6865A	LTE	244	
C4							
C5	POWERWAVE P85-15-XLH-RR	GSM	244	POWERWAVE P85-15-XLH-RR	GSM	244	

ANTENNA CONFIGURATION

- DESIGN AND CONSTRUCTION OF ANTENNA SUPPORTS SHALL CONFORM TO CURRENT ANS/ISA-222 OR APPLICABLE LOCAL CODES
- ALL STEEL MATERIALS SHALL BE GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 "ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS", UNLESS NOTED OTHERWISE.
- ALL BOLTS, ANCHORS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 "ZINC-COATING (HOT-DIP) ON IRON AND STEEL HARDWARE", UNLESS NOTED OTHERWISE.
- DAMAGED GALVANIZED SURFACES SHALL BE REPAIRED BY COLD GALVANIZING IN ACCORDANCE WITH ASTM A780
- ALL ANTENNA MOUNTS SHALL BE INSTALLED WITH LOCK NUTS, DOUBLE NUTS AND SHALL BE TORQUED TO MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL INSTALL ANTENNA PER MANUFACTURER'S RECOMMENDATION FOR INSTALLATION AND GROUNDING
- ALL UNUSED PORTS ON ANY ANTENNAS SHALL BE TERMINATED WITH A 50-OHM LOAD TO ENSURE ANTENNAS PERFORM AS DESIGNED
- PRIOR TO SETTING ANTENNA AZIMUTHS AND DOWNTILTS, ANTENNA CONTRACTOR SHALL CHECK THE ANTENNA MOUNT FOR TIGHTNESS AND ENSURE THAT THEY ARE PLUMB. ANTENNA AZIMUTHS SHALL BE SET FROM TRUE NORTH AND BE ORIENTED WITHIN +/- .5% AS DEFINED BY THE RFDS. ANTENNA DOWNTILTS SHALL BE WITHIN +/- .05% AS DEFINED BY THE RFDS. REFER TO NO-00246
- JUMPERS FROM THE TMA'S MUST TERMINATE TO OPPOSITE POLARIZATIONS IN EACH SECTOR.
- CONTRACTOR SHALL RECORD THE SERIAL #, SECTOR, AND POSITION OF EACH ACTUATOR INSTALLED AT THE ANTENNAS AND PROVIDE THE INFORMATION TO AEA
- TMA'S SHALL BE MOUNTED ON PIPE DIRECTLY BEHIND ANTENNAS AS CLOSE TO ANTENNA AS FEASIBLE IN A VERTICAL POSITION
- ANTENNAS SHALL HAVE A 4'-0" MIN CENTER TO CENTER HORIZONTAL SEPARATION.

ANTENNA MOUNTING NOTES

- ALL RF CONNECTIONS SHALL BE TIGHTENED BY A TORQUE WRENCH.
- ALL RF CONNECTIONS, GROUNDING HARDWARE AND ANTENNA HARDWARE SHALL HAVE A TORQUE MARK INSTALLED IN A CONTINUOUS STRAIGHT LINE FROM BOTH SIDES OF THE CONNECTION.
 - A. RF CONNECTION BOTH SIDES OF THE CONNECTOR.
 - B. GROUNDING AND ANTENNA HARDWARE ON THE NUT SIDE STARTING FROM THE THREADS TO THE SOLID SURFACE. EXAMPLE OF SOLID SURFACE: GROUND BAR, ANTENNA BRACKET METAL.
- ALL 8MM ANTENNA HARDWARE SHALL BE TIGHTENED TO 9 LB-FT (12 NM)
- ALL 12M ANTENNA HARDWARE SHALL BE TIGHTENED TO 4.3 LB-FT (58 NM)
- ALL GROUNDING HARDWARE SHALL BE TIGHTENED UNTIL THE LOCK WASHER COLLAPSES AND THE GROUNDING HARDWARE IS NO LONGER LOOSE.
- ALL DIN TYPE CONNECTIONS SHALL BE TIGHTENED TO 16-22 LB-FT (24 - 29.8 NM)
- ALL N TYPE CONNECTIONS SHALL BE TIGHTENED TO 15-20 LB-IN (1.7 - 2.3 NM)

TORQUE REQUIREMENTS

- THE FIBER OPTIC TRUNK CABLES SHALL BE INSTALLED INTO CONDUITS, CHANNEL CABLE TRAYS, OR CABLE TRAY WHEN INSTALLING FIBER OPTIC TRUNK CABLES INTO A CABLE TRAY SYSTEM, THEY SHALL BE INSTALLED INTO AN INNER DUCT AND A PARTITION DIVIDER SHALL BE INSTALLED BETWEEN THE 800 VOLT CABLES AND THE INNER DUCT IN ORDER TO SEGREGATE CABLE TYPES. OPTIC FIBER TRUNK CABLES SHALL HAVE APPROVED CABLE RESTRAINTS EVERY (60) SIXTY FEET AND BE SECURELY FASTENED TO THE CABLE TRAY SYSTEM. NFPA 70 (NEC) ARTICLE 770 RULES SHALL APPLY.
- THE TYPE TC-ER CABLES SHALL BE INSTALLED INTO CONDUITS, CHANNEL CABLE TRAYS, OR CABLE TRAY AND SHALL BE SECURED AT INTERVALS NOT EXCEEDING (6) SIX FEET EXCEPT WHERE TYPE TC-ER CABLES ARE NOT SUBJECT TO PHYSICAL DAMAGE. CABLES SHALL BE PRINTED TO MAKE A TRANSITION BETWEEN CONDUITS, CHANNEL CABLE TRAYS, OR CABLE TRAY WHICH ARE SERVING UTILIZATION EQUIPMENT OR DEVICES. A DISTANCE (6) SIX FEET SHALL NOT BE EXCEEDED WITHOUT CONTINUOUS SUPPORTING. NFPA 70 (NEC) ARTICLES 336 AND 392 RULES SHALL APPLY.
- WHEN INSTALLING OPTIC FIBER TRUNK CABLES OR TYPE TC-ER CABLES INTO CONDUITS, NFPA 70 (NEC) ARTICLE 300 RULES SHALL APPLY.

FIBER & POWER CABLE MOUNTING NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ANTENNA, TMA'S, DEXLERS, AND COAX CONFIGURATION, MAKE AND MODELS PRIOR TO INSTALLATION.
- ALL CONNECTIONS FOR HANGERS, SUPPORTS, BRACING, ETC. SHALL BE INSTALLED PER TOWER MANUFACTURER'S RECOMMENDATIONS
- CONTRACTOR SHALL REFERENCE THE TOWER STRUCTURAL ANALYSIS/DESIGN DRAWINGS FOR DIRECTIONS ON CABLE DISTRIBUTION/ROUTING.
- ALL OUTDOOR RF CONNECTORS/TERMINATIONS, EXCEPT THE NET CONNECTORS, SHALL BE WEATHERPROOFED USING BUTYL TAPE. AFTER INSTALLATION AND FINAL CONNECTIONS ARE MADE, BUTYL TAPE SHALL HAVE A MINIMUM OF ONE-HALF TAPE WIDTH OVERLAP ON EACH TURN AND EACH LAYER SHALL BE WRAPPED THREE TIMES. WEATHERPROOFING SHALL BE SMOOTH WITHOUT BUCKLING BUTYL BLEEDING IS NOT ALLOWED.
- IF REQUIRED TO PAINT ANTENNAS AND/OR COAX:
 - A. TEMPERATURE SHALL BE ABOVE 50° F
 - B. PAINT COLOR MUST BE APPROVED BY BUILDING OWNER/LANDLORD
 - C. FOR REGULATED TOWERS, FAA/TCO APPROVED PAINT IS REQUIRED
 - D. DO NOT PAINT OVER COLOR CODING OR ON EQUIPMENT MODEL NUMBERS.

GENERAL NOTES

7801 FARLEY
OVERLAND PARK, KS 66204

10950 GRANDVIEW DRIVE
OVERLAND PARK, KANSAS 66210
(913) 456-2000

PROJECT NO: 122041
DRAWN BY: PRS
CHECKED BY: GJS

REV	DATE	DESCRIPTION
1	02/21/13	ISSUED FOR PLANNING REVIEW

PRELIMINARY

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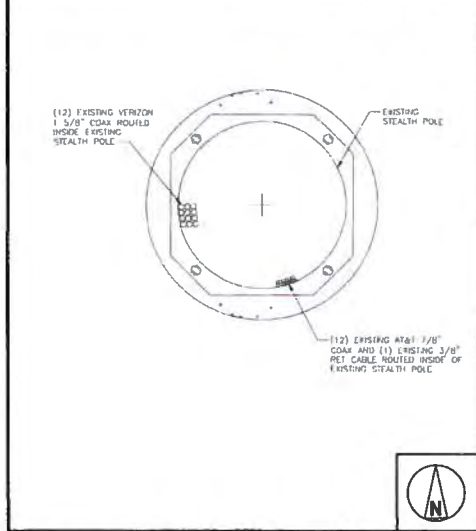
67TH & ROE
K55509
3921 WEST 63RD STREET
PRAIRIE VILLAGE, KS 66208
LTE

SHEET TITLE
ANTENNA LAYOUT
AND COAX ROUTING

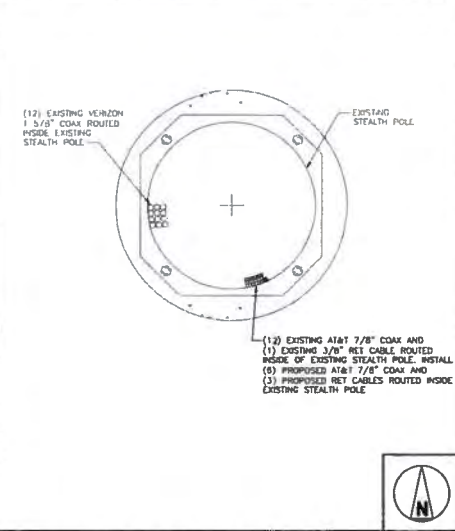
SHEET NUMBER
C-3

EXISTING ANTENNA LAYOUT NO SCALE A

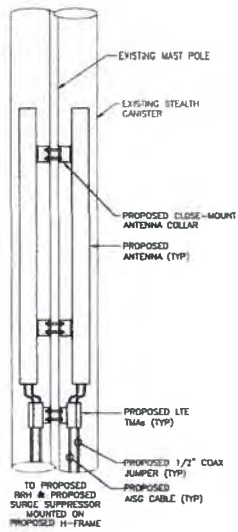
PROPOSED ANTENNA LAYOUT NO SCALE B



EXISTING COAX ROUTING LAYOUT NO SCALE C

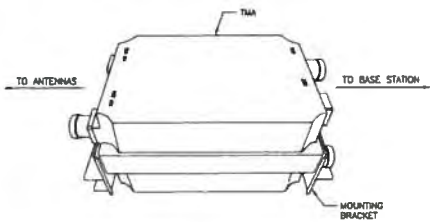


PROPOSED COAX ROUTING LAYOUT NO SCALE D



NOT USED NO SCALE B

ANDREW E15Z09P94
DIMENSIONS: WxDxH: 8.1"x4.3"x5.7" (155x108x220mm)
WEIGHT: 11.8 lbs
CONNECTOR: FEMALE 7/16 DIN, LONG NECK



TMA SPECIFICATIONS NO SCALE D

ALCATEL-LUCENT 9412 OUTDOOR COMPACT nNODEB CABINET
DIMENSIONS: WxDxH: 24"x20"x31"
TOTAL WEIGHT (FULLY EQUIPPED): 36.3 lbs (DC OPTION), 398 lbs (AC OPTION)
USED SPACE: 3U (DC OPTION), 1U (AC OPTION)
POWER SUPPLY NEEDED: -48V/+24VDC, AC (510W TYPICAL W/O HEATER, 160W MAX)
MOUNTING POSITIONS: FLOOR, WALL, OR POLE
HOUSES: BBU, POP, GPS, ALARM, AND DC-DC CONVERTER

OUTDOOR BBU CABINET NO SCALE C

ANTENNA MOUNTING DETAIL NO SCALE A

NOT USED NO SCALE F

NOT USED NO SCALE G

NOT USED NO SCALE H

7801 FARLEY
OVERLAND PARK, KS 66204

10850 GRANDVIEW DRIVE
OVERLAND PARK, KANSAS 66210
(913) 458-2000

PROJECT NO:	122041
DRAWN BY:	PRS
CHECKED BY:	GJS

REV	DATE	DESCRIPTION
1	02/22/13	ISSUED FOR PLANNING REVIEW

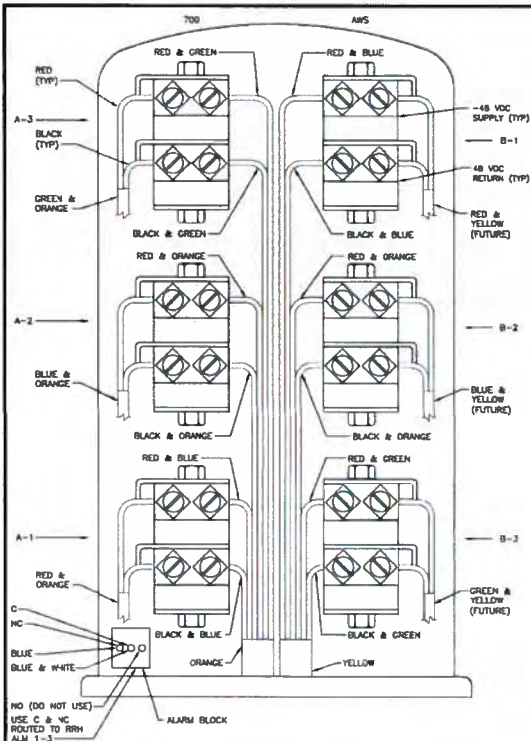
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67TH & ROE
KS5509
3921 WEST 63RD STREET
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LTE

SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER
C-5

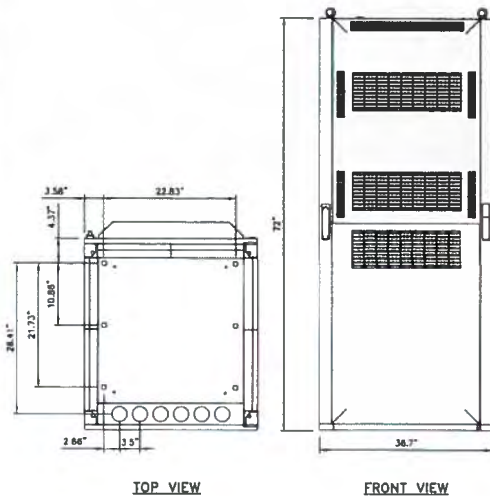


DC6-48-60-18-BF
DC SURGE SUPPRESSION SOLUTION

NO SCALE

A

EMERSON F2010398
DIMENSIONS, WxDxH: 72"x32"x36"
NOMINAL OPERATING VOLTAGE: -48 VDC
TOTAL WEIGHT (WITH BATTERIES): 2185.3 lbs

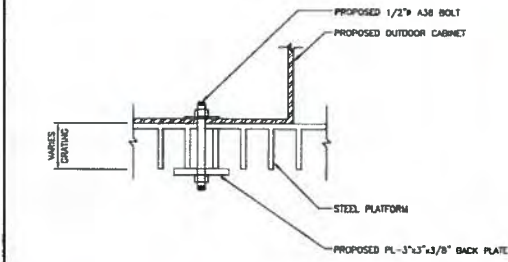


TOP VIEW

FRONT VIEW

NO SCALE

B



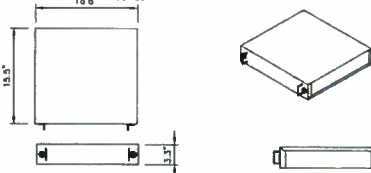
OUTDOOR EQUIPMENT TO GRATING ANCHORAGE

NO SCALE

C

RAYCAP DC6-48-60-RM

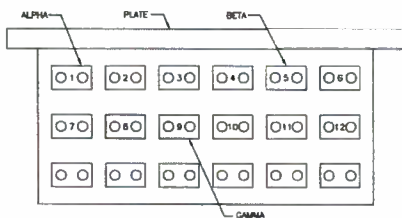
DIMENSIONS, WxDxH: 294x160x284mm (16.8"x15.5"x3.3")
NOMINAL OPERATING VOLTAGE: -48 VDC
NOMINAL DISCHARGE CURRENT: 20 mA @ 20ms
MAXIMUM DISCHARGE CURRENT: 60 mA @ 20ms
MAXIMUM CONTINUOUS OPERATING VOLTAGE: 75 VDC
VOLTAGE PROTECTION RATING: 400 V
TOTAL WEIGHT: 53 lbs



DC SURGE SUPPRESSOR DETAIL

NO SCALE

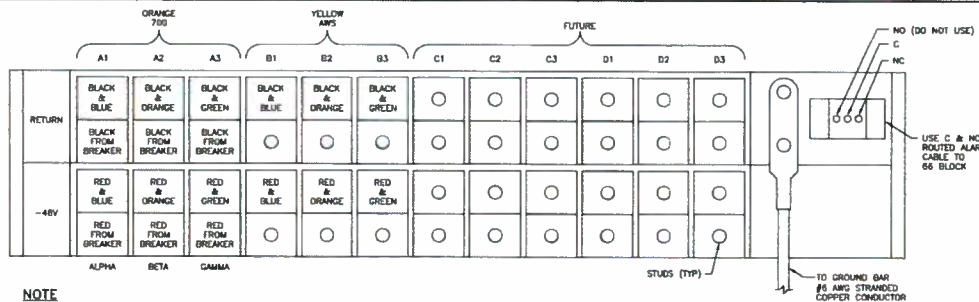
D



FIBER WIRE DIAGRAM

NO SCALE

E



NOTE

1. ALL WIRE CONNECTIONS SHALL BE HEAT SHRINK (SEE 0-2 DETAIL 0)

REAR VIEW OF DC6-48-60-RM DC SURGE SUPPRESSION SOLUTION WIRE DIAGRAM

NO SCALE

F



7801 FARLEY
OVERLAND PARK, KS 66204



10950 GRANDVIEW DRIVE
OVERLAND PARK, KANSAS 66210
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67TH & ROE
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3921 WEST 63RD STREET
PRAIRIE VILLAGE, KS 66208
LTE

SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER
C-6



7801 FARLEY
OVERLAND PARK, KS 66204



BLACK & VEATCH

10050 GRANDVIEW DRIVE
OVERLAND PARK, KANSAS 66210
(913) 458-2000

PROJECT NO: 122041
DRAWN BY: PRS
CHECKED BY: GJS

REV	DATE	DESCRIPTION
1	02/28/13	ISSUED FOR PLANNING REVIEW

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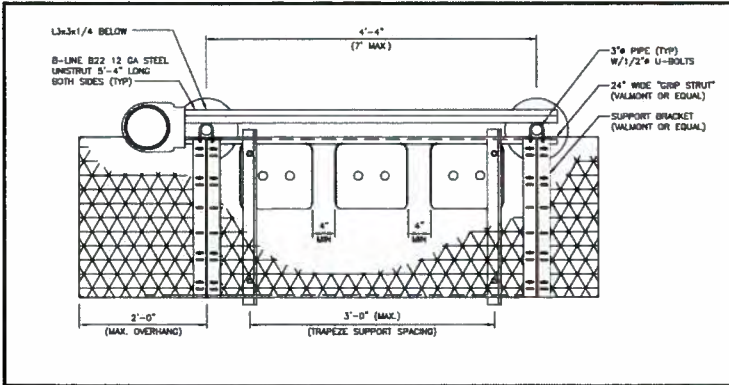
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3921 WEST 63RD STREET
PRAIRIE VILLAGE, KS 66208
LTE

SHEET TITLE
SITE DETAILS

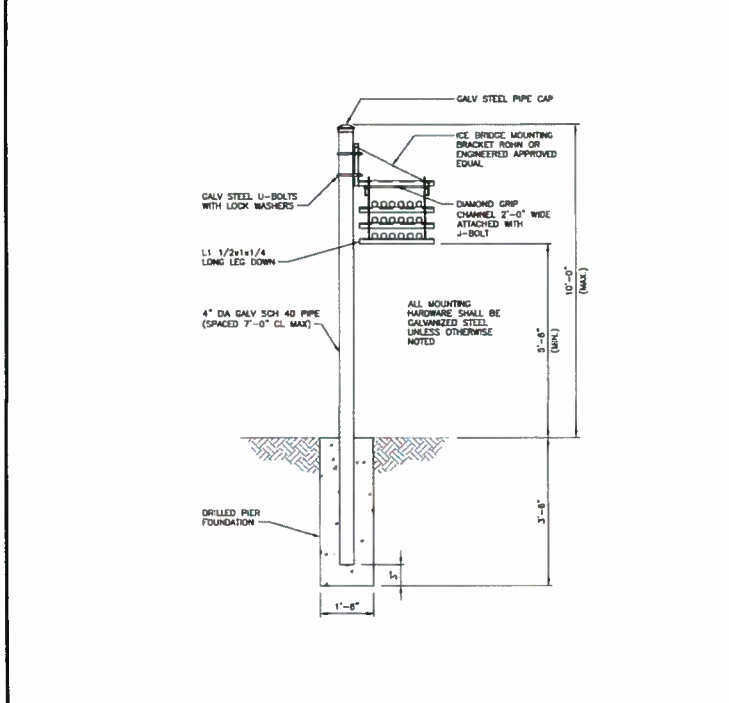
SHEET NUMBER
C-7

NOTE
1 POST FOUNDATIONS MUST BE FLUSH TO OR BELOW FINISHED GRADE. ALL POST MUST BE GROUNDING UTILIZING #2 THINNED SOLID TIED INTO HALF AND BE IN 1/2" NON-METALLIC LIQUID TIGHT CONDUIT FROM 24" BELOW GRADE TO WITHIN 8" OF THE GAD-WELD TERMINATION POINT ABOVE GRADE. THE EXPOSED END OF THE NON-METALLIC LIQUID TIGHT CONDUIT MUST BE SEALED WITH SILICONE GULK.



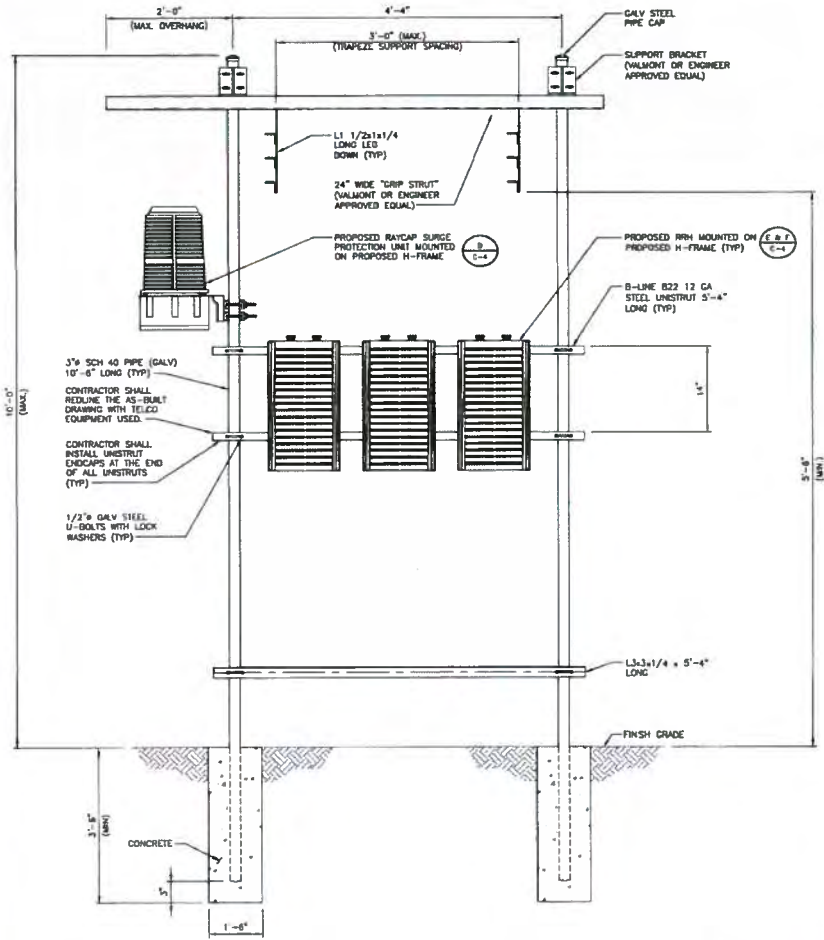
H-FRAME WITH ICE BRIDGE DETAIL - PLAN VIEW

NO SCALE A



ICE BRIDGE DETAIL - ELEVATION VIEW

NO SCALE B



H-FRAME WITH ICE BRIDGE DETAIL - ELEVATION VIEW

NO SCALE C

COAXIAL ANTENNA CABLE NOTES

1. TYPES AND SIZES OF THE ANTENNA CABLE ARE BASED ON ESTIMATED LENGTHS. PRIOR TO ORDERING CABLE, CONTRACTOR SHALL VERIFY ACTUAL LENGTH BASED ON CONSTRUCTION LAYOUT AND NOTIFY THE PROJECT MANAGER IF ACTUAL LENGTHS EXCEED ESTIMATED LENGTHS.
2. CONTRACTOR SHALL VERIFY THE DOWN-TILT OF EACH ANTENNA WITH A DIGITAL LEVEL.
3. CONTRACTOR TO CONFIRM COAX COLOR CODING PRIOR TO CONSTRUCTION. REFER TO "ANTENNA SYSTEM LABELING STANDARD" NO-00027 LATEST VERSION.
4. ALL JUMPERS TO THE ANTENNAS FROM THE MAIN TRANSMISSION LINE WILL BE 1/2" DIA. SUPPORT JUMPERS AT A MAXIMUM OF 3'-0" INTERVALS.
5. ALL COAXIAL CABLE WILL BE SECURED TO THE DESIGNED SUPPORT STRUCTURE STARTING AT 12" FROM THE CONNECTOR THEN AT DISTANCES NOT TO EXCEED 3'-0" OC.
6. CONTRACTOR MUST FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS REGARDING THE INSTALLATION OF COAXIAL CABLES, CONNECTORS, AND ANTENNAS.
7. AT CONNECTORS, COAX SHALL BE STRAIGHT A MINIMUM OF 6" FOR 1/2" CONNECTIONS, AND A MINIMUM OF 12" FOR CONNECTIONS >1/2".
8. WEATHERPROOF ALL ANTENNA CONNECTORS WITH BUTYL TAPE. BUTYL TAPE SHALL HAVE A MINIMUM OF ONE-HALF TAPE WIDTH OVERLAP ON EACH TURN. WEATHERPROOFING SHALL BE SMOOTH WITHOUT BUCKLING. NO BUTYL BLEEDING ALLOWED.
9. COAX SHALL NOT BE DAMAGED BY OVERBENDING. CONTRACTOR SHALL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR MAXIMUM SINGLE BEND RADII.
10. CONTRACTOR SHALL INSTALL DRP LOOPS TO PREVENT WATER MIGRATION TO THE EQUIPMENT.

TORQUE REQUIREMENTS

1. ALL RF CONNECTIONS SHALL BE TIGHTENED BY A TORQUE WRENCH.
2. ALL RF CONNECTIONS, GROUNDING HARDWARE AND ANTENNA HARDWARE SHALL HAVE A TORQUE MARK INSTALLED IN A CONTINUOUS STRAIGHT LINE FROM BOTH SIDES OF THE CONNECTION.
 - A. RF CONNECTION BOTH SIDES OF THE CONNECTOR.
 - B. GROUNDING AND ANTENNA HARDWARE ON THE HOT SIDE STARTING FROM THE THREADS TO THE SOLID SURFACE. EXAMPLE OF SOLID SURFACE: GROUND BAR, ANTENNA BRACKET METAL.
3. ALL 5M ANTENNA HARDWARE SHALL BE TIGHTENED TO 9 LB-FT (12 NM).
4. ALL 12M ANTENNA HARDWARE SHALL BE TIGHTENED TO 43 LB-FT (58 NM).
5. ALL GROUND GROUNDING HARDWARE SHALL BE TIGHTENED UNTIL THE LOCK WASHER COLLAPSES AND THE GROUNDING HARDWARE IS NO LONGER LOOSE.
6. ALL 0M TYPE CONNECTIONS SHALL BE TIGHTENED TO 18-22 LB-FT (24.4 - 29.8 NM).
7. ALL N TYPE CONNECTIONS SHALL BE TIGHTENED TO 15-20 LB-IN (1.7 - 2.3 NM).

ANTENNA NUMBER	TECHNOLOGY	FREQUENCY	JUMPER COLOR CODE			DC TRUNK COLOR CODE		MAIN COAX COLOR	ANTENNA MODEL NUMBER	AZIMUTH	DOWN TILT		RAD CENTER AGL	TMA MODEL NUMBER	RRH-AWS R051 MODEL NUMBER	MAIN LINE COAX		DIPLEXER
			COAXIAL	FIBER	DC	700	AWS				ELECTRICAL	MECHANICAL				FEEDER	LENGTH	
A-1	UMTS	-850	RB					RB	POWERWAVE P65-15-XLH-RR	4		115°				7/8" STD FOAM	135'	CM1007-DBPXBC
		-1900	RBW					RBW										
		+850	RB Y					RB Y										
		+1900	RB Y W					RB Y W										
A-3	LTE	-700	RO	R	RO	O			ANDREW SBNH-1D6566A	4	3	95°		**ALCATEL-LUCENT 9442 RRH2x40-07-L	7/8" STD FOAM	115'		
		+700	RO Y					RO Y										
		-AWS	RO Y W	RW	RY		Y											
		+AWS	RO Y W															
A-5	GSM	-850	RG					RG	POWERWAVE P65-15-XLH-RR	4		125°			7/8" STD FOAM	135'	CM1007-DBPXBC	
		-1900	RGW					RGW										
		+850	RG Y					RG Y										
		+1900	RG Y W					RG Y W										
B-1	UMTS	-550	BB					BB	POWERWAVE P65-15-XLH-RR	124		115°			7/8" STD FOAM	135'	CM1007-DBPXBC	
		-1900	BBW					BBW										
		+850	BB Y					BB Y										
		+1900	BB Y W					BB Y W										
B-3	LTE	-700	BO	B	BO	O			ANDREW SBNH-1D6566A	124	3	95°		**ALCATEL-LUCENT 9442 RRH2x40-07-L	7/8" STD FOAM	115'		
		+700	BO Y					BO Y										
		-AWS	BO Y W	BW	BY		Y											
		+AWS	BO Y W															
B-5	GSM	-550	BG					BG	POWERWAVE P65-15-XLH-RR	124		125°			7/8" STD FOAM	135'	CM1007-DBPXBC	
		-1900	BGW					BGW										
		+850	BG Y					BG Y										
		+1900	BG Y W					BG Y W										
C-1	UMTS	-850	GB					GB	POWERWAVE P65-15-XLH-RR	244		115°			7/8" STD FOAM	135'	CM1007-DBPXBC	
		-1900	GBW					GBW										
		+850	GB Y					GB Y										
		+1900	GB Y W					GB Y W										
C-3	LTE	-700	GO	G	GO	O			ANDREW SBNH-1D6566A	244	3	95°		**ALCATEL-LUCENT 9442 RRH2x40-07-L	7/8" STD FOAM	115'		
		+700	GO Y					GO Y										
		-AWS	GO Y W	BW	GY		Y											
		+AWS	GO Y W															
C-5	GSM	-850	GG					GG	POWERWAVE P65-15-XLH-RR	244		125°			7/8" STD FOAM	135'	CM1007-DBPXBC	
		-1900	GGW					GGW										
		+850	GG Y					GG Y										
		+1900	GG Y W					GG Y W										

RFDS VERSION. CONTRACTOR IS TO REFER TO AT&T'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFDS) PRIOR TO CONSTRUCTION.

- (1) FIBER TRUNK CABLE AND (2) DC TRUNK CABLE FEEDS ALL THREE (3) LTE ANTENNAS.
- SEE ANTENNA LAYOUT SHEET AND ANTENNA MOUNTING DETAIL FOR PLACEMENT OF THE RRH'S.



7801 FARLEY
OVERLAND PARK, KS 66204



BLACK & VEATCH

10950 GRANDVIEW DRIVE
OVERLAND PARK, KANSAS 66210
(913) 456-2000

PROJECT NO: 122043
DRAWN BY: PMS
CHECKED BY: GJS

REV	DATE	DESCRIPTION
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67TH & ROE
KS5509
3921 WEST 63RD STREET
PRAIRIE VILLAGE, KS 66208
LTE

SHEET TITLE
RF CONFIGURATION

SHEET NUMBER
RF-1



7801 FARLEY
OVERLAND PARK, KS 66204



BLACK & VEATCH

10950 GRANDVIEW DRIVE
OVERLAND PARK, KANSAS 66210
(913) 456-2000

PROJECT NO: 122041
DRAWN BY: PRS
CHECKED BY: GJS

REV	DATE	DESCRIPTION
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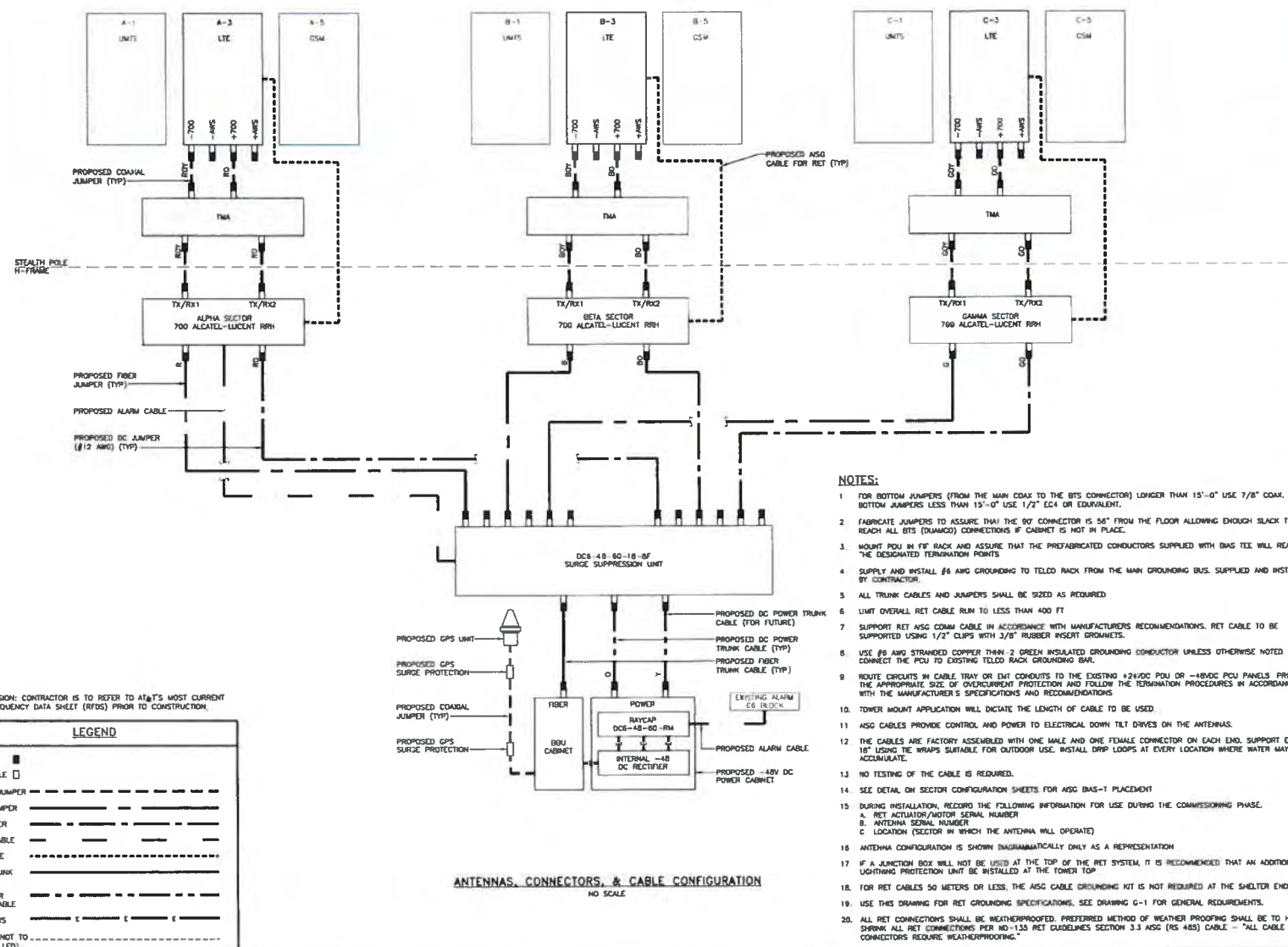
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PRAIRIE VILLAGE, KS 66208
LTE

SHEET TITLE
LTE CONFIGURATION

SHEET NUMBER
RF-2

CONFIGURATION AS VIEWED FROM REAR OF ANTENNA



NOTES:

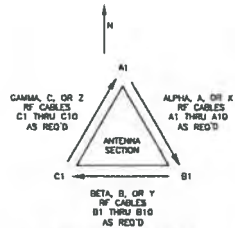
- FOR BOTTOM JUMPERS (FROM THE MAIN COAX TO THE BTS CONNECTOR) LONGER THAN 15'-0" USE 7/8" COAX. FOR BOTTOM JUMPERS LESS THAN 15'-0" USE 1/2" ECA OR EQUIVALENT.
- FABRICATE JUMPERS TO ASSURE THAT THE 90° CONNECTOR IS 56" FROM THE FLOOR ALLOWING ENOUGH SLACK TO REACH ALL BTS (DIAMOND) CONNECTIONS IF CABINET IS NOT IN PLACE.
- MOUNT PDU IN FT. RACK AND ASSURE THAT THE PREFABRICATED CONDUCTORS SUPPLIED WITH BIAS TIE WILL REACH THE DESIGNATED TERMINATION POINTS.
- SUPPLY AND INSTALL #6 AWG GROUNDING TO TOWER RACK FROM THE MAIN GROUNDING BUS. SUPPLIED AND INSTALLED BY CONTRACTOR.
- ALL TRUNK CABLES AND JUMPERS SHALL BE SIZED AS REQUIRED.
- LIMIT OVERALL RET CABLE RUN TO LESS THAN 400 FT.
- SUPPORT RET ASG COAX CABLE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. RET CABLE TO BE SUPPORTED USING 1/2" CLIPS WITH 3/8" RUBBER INSERT GROMMETS.
- USE #8 AWG STRANDED COPPER THIN-2 GREEN INSULATED GROUNDING CONDUCTOR UNLESS OTHERWISE NOTED. CONNECT THE PCU TO EXISTING TOWER RACK GROUNDING BAR.
- ROUTE CIRCUITS IN CABLE TRAY OR EXT. CONDUITS TO THE EXISTING +24VDC PDU OR +48VDC PCU PANELS. PROVIDE THE APPROPRIATE SIZE OF OVERCURRENT PROTECTION AND FOLLOW THE TERMINATION PROCEDURES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- TOWER MOUNT APPLICATION WILL DICTATE THE LENGTH OF CABLE TO BE USED.
- ASG CABLES PROVIDE CONTROL AND POWER TO ELECTRICAL DOWN TILT DRIVES ON THE ANTENNAS.
- THE CABLES ARE FACTORY ASSEMBLED WITH ONE MALE AND ONE FEMALE CONNECTOR ON EACH END. SUPPORT EVERY 18" USING TIE WRAPS SUITABLE FOR OUTDOOR USE. INSTALL DRIP LOOPS AT EVERY LOCATION WHERE WATER MAY ACCUMULATE.
- NO TESTING OF THE CABLE IS REQUIRED.
- SEE DETAIL ON SECTOR CONFIGURATION SHEETS FOR ASG BIAS-T PLACEMENT.
- DURING INSTALLATION, RECORD THE FOLLOWING INFORMATION FOR USE DURING THE COMMISSIONING PHASE.
A. RET ACTUATOR/MOTOR SERIAL NUMBER
B. ANTENNA SERIAL NUMBER
C. LOCATION (SECTOR IN WHICH THE ANTENNA WILL OPERATE)
- ANTENNA CONFIGURATION IS SHOWN DIAGRAMMATICALLY ONLY AS A REPRESENTATION.
- IF A JUNCTION BOX WILL NOT BE USED AT THE TOP OF THE RET SYSTEM, IT IS RECOMMENDED THAT AN ADDITIONAL LIGHTNING PROTECTION UNIT BE INSTALLED AT THE TOWER TOP.
- FOR RET CABLES 50 METERS OR LESS, THE ASG CABLE GROUNDING KIT IS NOT REQUIRED AT THE SHELTER END.
- USE THIS DRAWING FOR RET GROUNDING SPECIFICATIONS. SEE DRAWING G-1 FOR GENERAL REQUIREMENTS.
- ALL RET CONNECTIONS SHALL BE WEATHERPROOFED. PREFERRED METHOD OF WEATHER PROOFING SHALL BE TO HEAT SHRINK ALL RET CONNECTIONS PER MD-135 RET CLOSURES SECTION 3.3 ASG (RS-485) CABLE. *ALL CABLE CONNECTORS REQUIRE WEATHERPROOFING.*

ANTENNAS, CONNECTORS, & CABLE CONFIGURATION
NO SCALE

RFDS VERSION: CONTRACTOR IS TO REFER TO AT&T'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFDS) PRIOR TO CONSTRUCTION.

LEGEND

DN MALE	■
DN FEMALE	□
COAXIAL JUMPER	---
FIBER JUMPER	---
DC JUMPER	---
ALARM CABLE	---
RET CABLE	---
FIBER TRUNK CABLE	---
DC POWER TRUNK CABLE	---
BY OTHERS	---
FUTURE (NOT TO BE INSTALLED)	---



ANTENNA SECTOR & CABLE DEFINITION
NO SCALE



GSM, LTE & UMS LINE TAG
NO SCALE

CABLE PORT DIAGRAM

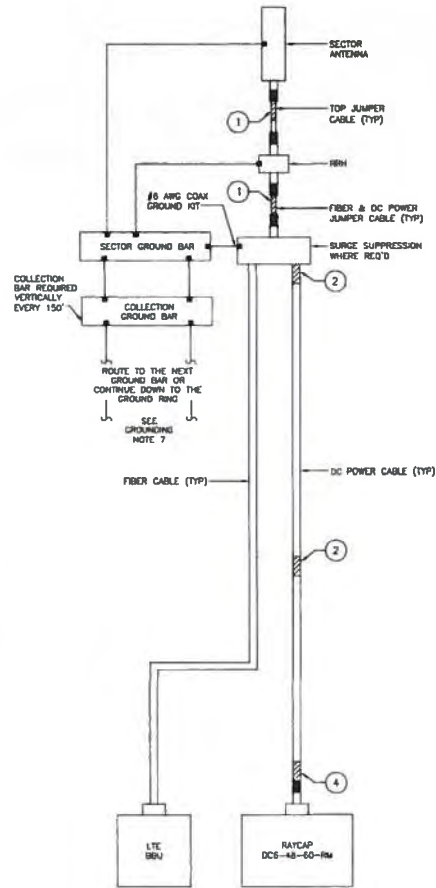
CAUTION: HAZARDOUS ENERGY EXISTS ON THESE LINES

SECTOR _____	SECTOR _____	SECTOR _____	SECTOR _____
CABLE _____	CABLE _____	CABLE _____	CABLE _____
CABLE HEIGHT _____	CABLE HEIGHT _____	CABLE HEIGHT _____	CABLE HEIGHT _____
Rx _____	Rx _____	Rx _____	Rx _____
Tx _____	Tx _____	Tx _____	Tx _____

SECTOR _____	SECTOR _____	SECTOR _____	SECTOR _____
CABLE _____	CABLE _____	CABLE _____	CABLE _____
CABLE HEIGHT _____	CABLE HEIGHT _____	CABLE HEIGHT _____	CABLE HEIGHT _____
Rx _____	Rx _____	Rx _____	Rx _____
Tx _____	Tx _____	Tx _____	Tx _____

SECTOR _____	SECTOR _____	SECTOR _____	SECTOR _____
CABLE _____	CABLE _____	CABLE _____	CABLE _____
CABLE HEIGHT _____	CABLE HEIGHT _____	CABLE HEIGHT _____	CABLE HEIGHT _____
Rx _____	Rx _____	Rx _____	Rx _____
Tx _____	Tx _____	Tx _____	Tx _____

SECTOR _____	SECTOR _____	SECTOR _____	SECTOR _____
CABLE _____	CABLE _____	CABLE _____	CABLE _____
CABLE HEIGHT _____	CABLE HEIGHT _____	CABLE HEIGHT _____	CABLE HEIGHT _____
Rx _____	Rx _____	Rx _____	Rx _____
Tx _____	Tx _____	Tx _____	Tx _____



LFE DIAGRAM
NO SCALE

NOTES

- CABLE PORT DIAGRAM ONLY REQUIRED FOR SHELTER SITES.
- CONTRACTOR SHALL FILL OUT THE CABLE PORT DIAGRAM UPON COAX INSTALLATION. CABLE PORT DIAGRAM WILL BE AFFIXED TO THE INTERIOR SHELTER WALL NEAR THE CABLE ENTRY PORT TO AID IN CABLE IDENTIFICATION. THE CHART IS INTENDED TO BE USED TO RECORD THE LINE AND CORRESPONDING ANTENNA POSITION ON THE TOWER AT THE TIME OF INSTALLATION.
- ONE COMPLETED COPY PLUS (2) TWO BLANK COPIES OF THE CHART SHOULD BE POSTED IN THE SHELTER IN A PROTECTIVE PLASTIC SLEEVE.
- SWEEP TEST EACH JUMPER AND DOCUMENT THE TEST IN ACCORDANCE WITH THE PROJECT PROCEDURES.
- USE THIS DRAWING FOR COAX CABLE GROUNDING SPECIFICATIONS. SEE DRAWING 0-1 FOR GENERAL REQUIREMENTS.
- INSTALL DRIP LOOPS AT EVERY LOCATION WHERE WATER MAY ACCUMULATE.
- HOME RUN GROUND LEADS ARE NOT ALLOWED ON CROWN CASTLE TOWERS. BUSS BARS ARE TO BE MECHANICALLY ATTACHED TO STEEL. CAD-WELDING IS NOT ALLOWED ON CROWN CASTLE TOWERS AND GROUNDING MUST BE ACCOMPLISHED MECHANICALLY. NO DRILLING OR MODIFICATION OF TOWER STRUCTURE STEEL IS PERMITTED.

COAX COLOR CODING & IDENTIFICATION NOTES

- SECTOR ORIENTATION/AZIMUTH WILL VARY FROM REGION TO REGION AND IS SITE SPECIFIC. REFER TO RF REPORT FOR EACH SITE TO DETERMINE THE ANTENNA LOCATION AND FUNCTION OF EACH TOWER SECTOR FACE.
- THE ANTENNA SYSTEM COAX SHALL BE LABELED WITH VINYL TAPE EXCEPT IN LOCATIONS WHERE ENVIRONMENTAL CONDITIONS CAUSE PHYSICAL DAMAGE, THEN PHYSICAL TAGS ARE REQUIRED.
- THE STANDARD IS BASED ON EIGHT COLORED TAPES—RED, BLUE, GREEN, YELLOW, ORANGE, BROWN, WHITE, AND VIOLET. THESE TAPES MUST BE 3/4" WIDE & UV RESISTANT SUCH AS SCOTCH 35 VINYL. ELECTRICAL COLOR CODING TAPE AND SHOULD BE READILY AVAILABLE TO THE ELECTRICIAN OR CONTRACTOR ON SITE.
- USING COLOR BANDS ON THE CABLES, MARK ALL RF CABLE BY SECTOR AND CABLE NUMBER AS SHOWN ON "CABLE MARKING LOCATIONS TABLE."
- WHEN AN EXISTING COAXIAL LINE THAT IS INTENDED TO BE A SHARED LINE BETWEEN GSM/3G AND IS-136/TDMA IS ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE EXISTING COLOR CODING AND REPLACE IT WITH THE COLOR CODING AND TAPING STANDARD THAT IS OUTLINED IN THE CURRENT VERSION OF H0-00017. IN THE ABSENCE OF AN EXISTING COLOR CODING AND TAPING SCHEME, OR WHEN INSTALLING PROPOSED COAXIAL CABLES, THIS GUIDELINE SHALL BE IMPLEMENTED AT THAT SITE REGARDLESS OF TECHNOLOGY.
- ALL COLOR CODE TAPE SHALL BE 3M-35 AND SHALL BE INSTALLED USING A MINIMUM OF (3) THREE WRAPS OF TAPE AND SHALL BE NEATLY TRIMMED AND SHEARED OFF SO AS TO AVOID UNWINDING.
- ALL COLOR BANDS INSTALLED AT THE TOP OF THE TOWER SHALL BE A MINIMUM OF 3" WIDE, AND SHALL HAVE A MINIMUM OF 1" OF SPACE BETWEEN EACH COLOR. ALL COLOR BANDS INSTALLED AT THE BASE OF THE TOWER SHALL BE A MINIMUM OF 3/4" WIDE, AND SHALL HAVE A MINIMUM OF 3/4" OF SPACE BETWEEN EACH COLOR.
- ALL COLOR CODES SHALL BE INSTALLED SO AS TO ALIGN NEATLY WITH ONE ANOTHER FROM SIDE-TO-SIDE.
- IF EXISTING CABLES AT THE SITE ALREADY HAVE A COLOR CODING SCHEME AND THEY ARE NOT INTENDED TO BE REUSED OR SHARED WITH THE GSM TECHNOLOGY, THE EXISTING COLOR CODING SCHEME SHALL REMAIN UNTOUCHED.

CABLE MARKING TAGS

WHEN USING THE ALTERNATIVE LABELING METHOD, EACH RF CABLE SHALL BE IDENTIFIED WITH A METAL TAG MADE OF STAINLESS STEEL OR BRASS. THE TAG SHALL BE 1 1/2" IN DIAMETER WITH 1/4" STAMPED LETTERS AND NUMBERS INDICATING THE SECTOR, ANTENNA POSITION, AND CABLE NUMBER. THE ID MARKING LOCATIONS SHOULD BE AS PER "CABLE MARKING LOCATIONS TABLE." THE TAG SHOULD BE ATTACHED WITH CORROSION PROOF WIRE AROUND THE CABLE AT THE SAME LOCATION AS DEFINED ABOVE. THE TAG SHOULD BE LABELED AS SHOWN ON THE "GSM, LTE AND UMS LINE TAG" DETAIL.

ALL RF CABLE SHALL BE MARKED AS PER CABLE MARKING LOCATIONS TABLE BELOW.

CABLE MARKING LOCATIONS TABLE	
ID	LOCATIONS
1	EACH TOP-JUMPER SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS.
2	EACH CABLE SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS NEAR THE TOP OF MAIN LINE AND WITH (1) SET OF 3/4" WIDE COLOR BANDS JUST PRIOR TO ENTERING THE SHELTER/OUTDOOR EQUIPMENT.
3	EACH CABLE SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS JUST WITHIN THE SHELTER NEAR THE WINDUP PLATE (ONLINE INSIDE SITE).
4	EACH CABLE SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS AT THE ENTRANCE OF THE EQUIPMENT.

CABLE MARKING LOCATIONS TABLE



7801 FARLEY
OVERLAND PARK, KS 66204



BLACK & VEATCH

10950 GRANDVIEW DRIVE
OVERLAND PARK, KANSAS 66210
(913) 458-2000

PROJECT NO. 122041
DRAWN BY: PRS
CHECKED BY: GJS

REV	DATE	DESCRIPTION
1	02/22/13	ISSUED FOR PLANNING REVIEW

PRELIMINARY

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

67TH & ROE
K55509
3921 WEST 63RD STREET
PRAIRIE VILLAGE, KS 66208
LTE

SHEET TITLE
COAX COLOR CODING

SHEET NUMBER
RF-3

NEWTON INSTRUMENT COMPANY, INC. BUTNER, N.C.		
NO	REQUIRED	PART NUMBER DESCRIPTION
1	1	1/4"x1"x30" SOLID GROUND BAR
2	2	A-6058 WALL MOUNTING BRACKET
3	2	3081-4 INSULATORS
4	4	3012-1 5/8"-11x1" H.H.C.S.
5	4	3015-8 5/8" LOCKWASHER

EACH GROUND CONDUCTOR TERMINATING ON ANY GROUND BAR SHALL HAVE AN IDENTIFICATION TAG ATTACHED AT EACH END THAT WILL IDENTIFY ITS ORIGIN AND DESTINATION

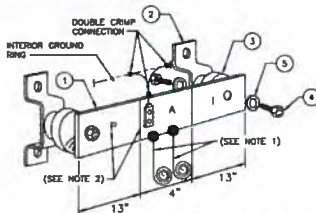
SECTION "B" - SURGE PROTECTORS
 (CC) CABLE ENTRY PORTS (HATCH PLATES) (#2)
 (CC) TELCO GROUND BAR (#2)
 (CC) COMMERCIAL POWER COMMON NEUTRAL/GROUND BOND (#2)
 (AT&T) CELL SITE +48V POWER SUPPLY RETURN BAR (#2)
 (AT&T) CELL SITE -48V POWER SUPPLY RETURN BAR (#2)
 (CC) GENERATOR FRAMEWORK (IF AVAILABLE) (#2)
 (AT&T) RECTIFIER FRAMES
 (AT&T) ANTENNA SUPPRESSION

SECTION "A" - SURGE ABSORBERS
 (CC) INTERIOR GROUND RING (#2)
 (CC) EXTERNAL EARTH GROUND FIELD (BURIED GROUND RING) (#2)
 (CC) METALLIC COLD WATER PIPE (IF AVAILABLE) (#2)
 (CC) BUILDING STEEL (IF AVAILABLE) (#2)

SECTION "I" - ISOLATED GROUNDING ZONE
 (AT&T) ALL CELL SITE COMMUNICATIONS EQUIPMENT FRAMES

DETAIL NOTES

- EXOTHERMICALLY WELD #2 AWG BARE THINNED SOLID COPPER CONDUCTOR TO GROUND BAR. ROUTE CONDUCTOR TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
- CC SHALL PERMANENTLY MARK THE LINES BETWEEN EACH SECTION AND LABEL EACH SECTION ("P", "X", "Y") WITH 1" HIGH LETTERS.
- GROUND BAR SHALL BE ENGRAVED PER AT&T SPECIFICATIONS TO PREVENT THEFT.

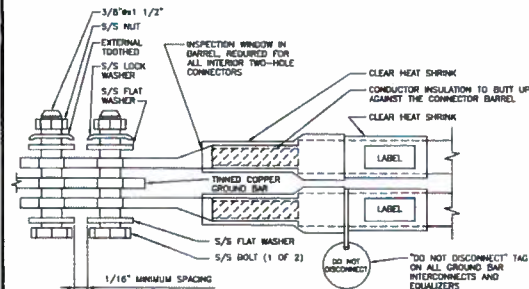


NOTES

- EXOTHERMIC WELD (2) TWO, #2 AWG BARE THINNED SOLID COPPER CONDUCTORS TO GROUND BAR. ROUTE CONDUCTORS TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
- ALL GROUND BARS SHALL BE STAMPED BY TO THE METAL "IF STOLEN DO NOT RECYCLE". THE CONTRACTOR SHALL USE PERMANENT MARKER TO DRAW THE LINES BETWEEN EACH SECTION AND LABEL EACH SECTION ("P", "X", "Y") WITH 1" HIGH LETTERS.
- ALL HARDWARE SHALL BE STAINLESS STEEL 3/8" INCH DIAMETER OR LARGER. ALL HARDWARE 1/8"-8 STAINLESS STEEL INCLUDING LOCK WASHERS. COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
- FOR GROUND BOND TO STEEL ONLY - INSERT A CADMIUM FLAT WASHER BETWEEN LUG AND STEEL. COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
- DO NOT INSTALL CABLE GROUNDING KIT AT A BEND AND ALWAYS DIRECT GROUNDING CONDUCTOR DOWN TO GROUNDING BUS.
- MUT & B WASHER SHALL BE PLACED ON THE FRONT SIDE OF THE GROUND BAR AND BOLTED ON THE BACK SIDE. INSTALL BLACK HEAT-SHRINKING TUBE, 600 VOLT INSULATION, ON ALL GROUNDING TERMINATIONS. THE INTENT IS TO WEATHERPROOF THE CONNECTION.
- SUPPLIED AND INSTALLED BY CONTRACTOR.
- GROUND LUGS SHALL BE TWO-HOLE, LONG BARREL, AND BE SIZED FOR GROUND WIRE. DO NOT BREAK WIRE STANDS OR DEEPLY NICK GROUND WIRE WHEN CRIMPING.
- ENSURE THE WIRE INSULATION TERMINATION IS WITHIN 1/8" OF THE BARREL (NO SHIMMERS).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ADDITIONAL GROUND BAR AS REQUIRED, PROVIDING SIZE SPIKE CONNECTION POINTS.

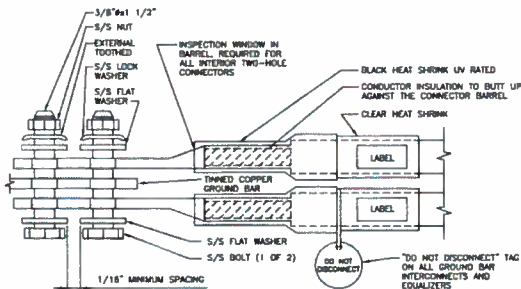
(CRGB) CELL REFERENCE GROUND BAR

NO SCALE A



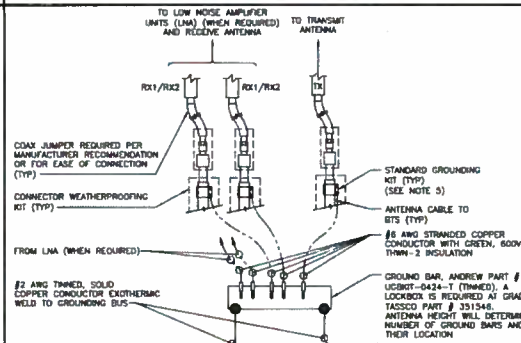
INTERIOR TWO HOLE LUG

NO SCALE B



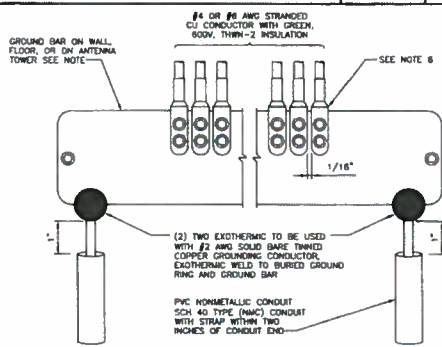
EXTERIOR TWO HOLE LUG

NO SCALE C



ANTENNA GROUND BAR

NO SCALE D



INSTALLATION OF GROUNDING CONDUCTOR TO GROUND BAR

NO SCALE E

NOT USED

NO SCALE F

NOT USED

NO SCALE G



7801 FARLEY
OVERLAND PARK, KS 66204



BLACK & VEATCH

10950 GRANDVIEW DRIVE
OVERLAND PARK, KANSAS 66210
(913) 438-2000

PROJECT NO. 122041
DRAWN BY: PFS
CHECKED BY: GJS

1 02/21/13 ISSUED FOR PLANNING REVIEW
REV DATE DESCRIPTION

PRELIMINARY

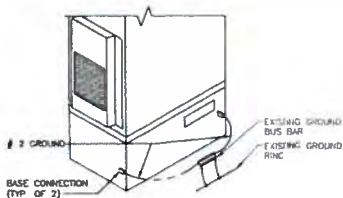
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67TH & ROE
K5509
3921 WEST 63RD STREET
PRAIRIE VILLAGE, KS 66208
LTE

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER

G-1













PROPOSED TYPICAL CABINET GROUNDING DETAIL

NO SCALE

A

NOTES

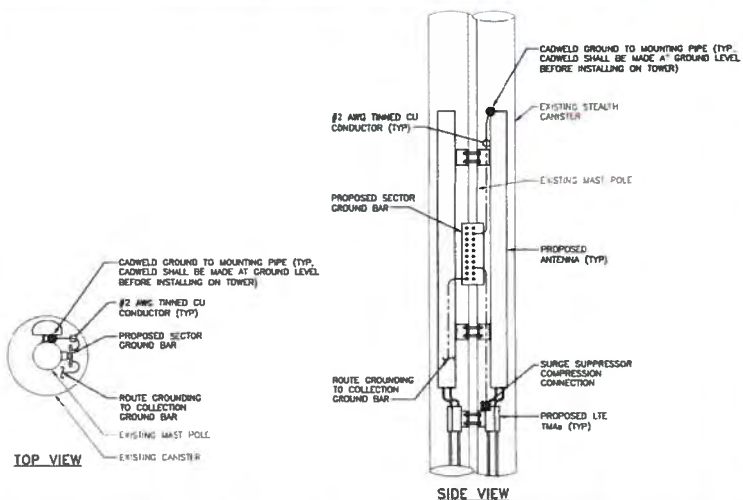
1. NUMBER OF GROUND BARS MAY VARY DEPENDING ON THE TYPE OF TOWER, ANTENNA LOCATION, AND CONNECTION ORIENTATION. PROVIDE AS REQUIRED.
2. DO NOT INSTALL CABLE GROUNDING KIT AT A BEND AND ALWAYS DIRECT GROUNDING CONDUCTOR DOWN TO GROUND BAR.
3. GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
4. WEATHER PROOFING SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
5. PROVIDE GROUNDING KIT 6" BEFORE TURN TRANSITION FROM TOWER TO ICE BRIDGE.
6. WHEN THE SCOPE OF WORK REQUIRES THE ADDITION OF A GROUND BAR TO AN EXISTING TOWER, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE TOWER OWNER PRIOR TO INSTALLING THE GROUND BAR TO THE TOWER.
7. THE CONTRACTOR SHALL SUPPLY AT&T WITH RESULTS FROM PRE-CONSTRUCTION AND POST-CONSTRUCTION OHM TESTING (GROUNDING) RESULTS.
8. THE INSPECTOR HAVING JURISDICTION SHALL INSPECT ALL GROUNDING CONNECTIONS FOR TIGHTNESS. EXTERIOR WELDED CONNECTIONS SHALL BE APPROVED BEFORE BEING PERMANENTLY CONCEALED.

BURIED CONNECTIONS OR APPROVED EQUAL	CADWELD CONNECTIONS OR APPROVED EQUAL			
 BOND JUMPER FIELD FABRICATED GREEN STRANDED INSULATED TYPE 2-YA-2	 HORIZONTAL SPLICE SPLICE OF HORIZONTAL CABLES TYPE SS	 PARALLEL HORIZONTAL CONDUCTORS PARALLEL THROUGH CONNECTION OF HORIZONTAL CABLES TYPE PT	 VERTICAL PIPE CABLE DOWN AT 45° TO RANGE OF VERTICAL PIPES TYPE VS	 HORIZONTAL TEE TEE OF HORIZONTAL RUN AND TAP CABLES TYPE TA
 COPPER LUGS TWO HOLE - LONG BARREL LENGTH TYPE TA-2	 HORIZONTAL STEEL SURFACE TO FLAT STEEL SURFACE OR HORIZONTAL PIPE TYPE HS	 PARALLEL HORIZONTAL CONDUCTORS PARALLEL DEAD END TAP OR HORIZONTAL THRU CONDUCTOR TYPE PC	 VERTICAL STEEL SURFACE CABLE DOWN AT 45° TO VERTICAL STEEL SURFACE INCLUDING PIPE TYPE VS	 THROUGH CABLE TO GROUND ROD THROUGH CABLE TO TOP OF GROUND ROD TYPE GT

GROUNDING CONNECTIONS

NO SCALE

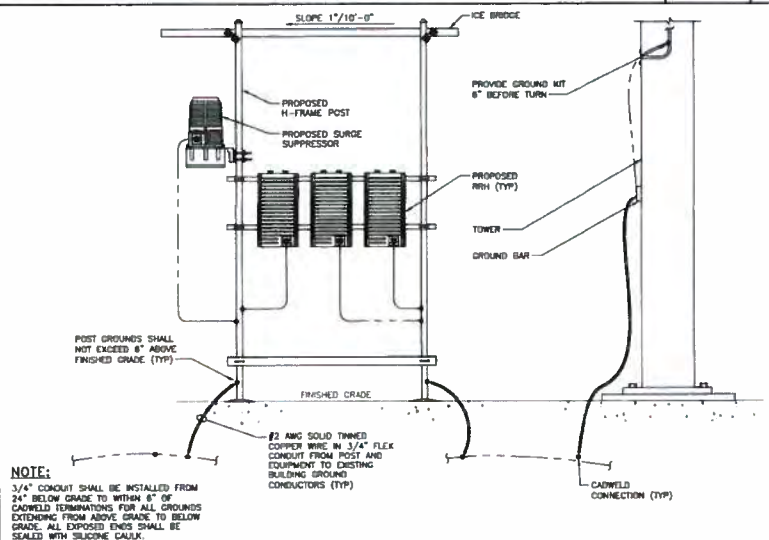
B



TYPICAL ANTENNA SECTOR GROUNDING DETAIL

NO SCALE

C



H-FRAME AND ICE BRIDGE GROUNDING DETAIL

NO SCALE

D



7801 FARLEY
OVERLAND PARK, KS 66204



BLACK & VEATCH

10950 GRANDVIEW DRIVE
OVERLAND PARK, KANSAS 66210
(913) 458-2000

PROJECT NO: 122041

DRAWN BY: PRS

CHECKED BY: GJS

1 02/22/13 ISSUED FOR PLANNING REVIEW

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67TH & ROE
KS5509
3921 WEST 63RD STREET
PRAIRIE VILLAGE, KS 66208
LTE

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-2

PRELIMINARY

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GENERAL SITE WORK & DRAINAGE NOTES

PART 1 - GENERAL

CLEARING, GRUBBING, STRIPPING, EROSION CONTROL, SURVEY, LAYOUT, SUBGRADE PREPARATION AND FINISH GRADING AS REQUIRED TO COMPLETE THE PROPOSED WORK SHOWN IN THESE PLANS.

1.1 REFERENCES:

- A. DOT (STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION-CURRENT EDITION).
 - B. ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS).
 - C. OSHA (OCCUPATION SAFETY AND HEALTH ADMINISTRATION).
- 1.2 INSPECTION AND TESTING:**
- A. FIELD TESTING OF EARTHWORK COMPACTION AND CONCRETE CYLINDERS SHALL BE PERFORMED BY CONTRACTOR'S INDEPENDENT TESTING LAB. THIS WORK TO BE COORDINATED BY THE CONTRACTOR.
 - B. ALL WORK SHALL BE INSPECTED AND RELEASED BY THE GENERAL CONTRACTOR WHO SHALL CARRY OUT THE GENERAL SUPERVISION OF THE WORK WITH SPECIFIC CONCERN TO PROPER PERFORMANCE OF THE WORK AS SPECIFIED AND/OR CALLED FOR ON THE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST TIMELY INSPECTIONS PRIOR TO PROCEEDING WITH FURTHER WORK THAT WOULD MAKE PARTS OF WORK UNACCESSIBLE OR DIFFICULT TO INSPECT.
- 1.3 SITE MAINTENANCE AND PROTECTION:**
- A. PROVIDE ALL NECESSARY JOB SITE MAINTENANCE FROM COMMENCEMENT OF WORK UNTIL COMPLETION OF THE SUBCONTRACT.
 - B. AVOID DAMAGE TO THE SITE AND TO EXISTING FACILITIES, STRUCTURES, TREES, AND SHRUBS DESIGNATED TO REMAIN. TAKE PROTECTIVE MEASURES TO PREVENT EXISTING FACILITIES THAT ARE NOT DESIGNATED FOR REMOVAL FROM BEING DAMAGED BY THE WORK.
 - C. KEEP SITE FREE OF ALL PONDING WATER.
 - D. PROVIDE EROSION CONTROL MEASURES IN ACCORDANCE WITH STATE DOT AND EPA REQUIREMENTS.
 - E. PROVIDE AND MAINTAIN ALL TEMPORARY FENCINGS, BARRIAGES, WARNING SIGNALS AND SIMILAR DEVICES NECESSARY TO PROTECT AGAINST THEFT FROM PROPERTY DURING THE ENTIRE PERIOD OF CONSTRUCTION. REMOVE ALL SUCH DEVICES UPON COMPLETION OF THE WORK.
 - F. EXISTING UTILITIES: DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE OWNER OR OTHERS. CHECK FOR WHEN NOTIFIED BY THE ENGINEER AND THEN ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICES HAVE BEEN PROVIDED.
 - 1. PROVIDE A MINIMUM 48-HOUR NOTICE TO THE ENGINEER AND RECEIVE WRITTEN NOTICE TO PROCEED BEFORE INTERRUPTING ANY UTILITY SERVICE.

PART 2 - PRODUCTS

- 2.1 SUITABLE BACKFILL: ASTM D2321 (CLASS I, II, III OR IV) FREE FROM FROZEN LUMPS, REFUSE, STONES OR ROCKS LARGER THAN 3 INCHES IN ANY DIMENSION OR OTHER MATERIAL THAT MAY MAKE THE HOMOGENEOUS MATERIAL UNSUITABLE FOR BACKFILL.
- 2.2 NON-POROUS GRANULAR EMBANKMENT AND BACKFILL: ASTM D2321 (CLASS III, IV OR V) COARSE AGGREGATE, FREE FROM FROZEN LUMPS, REFUSE, STONES OR ROCKS LARGER THAN 3 INCHES IN ANY DIMENSION OR OTHER MATERIAL THAT MAY MAKE THE HOMOGENEOUS MATERIAL UNSUITABLE FOR BACKFILL.
- 2.3 POROUS GRANULAR EMBANKMENT AND BACKFILL: ASTM D2321 (CLASS IA, IB OR I) COARSE AGGREGATE FREE FROM FROZEN LUMPS, REFUSE, STONES OR ROCKS LARGER THAN 3 INCHES IN ANY DIMENSION OR OTHER MATERIAL THAT MAY MAKE THE HOMOGENEOUS MATERIAL UNSUITABLE FOR BACKFILL.
- 2.4 SELECT STRUCTURAL FILL: GRANULAR FILL MATERIAL MEETING THE REQUIREMENTS OF ASTM D2050-95. FOR USE AROUND AND UNDER STRUCTURES WHERE STRUCTURAL FILL MATERIAL IS REQUIRED.
- 2.5 GRANULAR BEDDING AND TRENCH BACKFILL: WELL-GRADED SAND MEETING THE GRADATION REQUIREMENTS OF ASTM D2487 (SE OR SW-SM).
- 2.6 COARSE AGGREGATE FOR ACCESS ROAD SUBBASE COURSE SHALL CONFORM TO ASTM D2840.
- 2.7 UNSUITABLE MATERIAL: HIGH AND MODERATELY PLASTIC SILTS AND CLAYS (LL>45) MATERIAL CONTAINING REFUSE, FROZEN LUMPS, DENATUURED BITUMINOUS MATERIAL, VEGETATIVE MATTER, WOOD, STONES IN EXCESS OF 3 INCHES IN ANY DIMENSION, AND DEBRIS AS DETERMINED BY THE CONSTRUCTION MANAGER. TYPICAL THESE WILL BE SOILS CLASSIFIED BY ASTM AS PT. MH, CH, OH, ML, AND OL.
- 2.8 GEOTEXTILE FABRIC: MIRAF 500X OR ENGINEERED APPROVED EQUAL.
- 2.9 PLASTIC MARKING TAPE SHALL BE ACID AND ALKALI RESISTANT POLYETHYLENE FILM SPECIFICALLY MANUFACTURED FOR MARKING AND LOCATING UNDERGROUND UTILITIES. 8 INCHES WIDE WITH A MINIMUM THICKNESS OF 0.004 INCH. TAPE SHALL HAVE MINIMUM STRENGTH OF 1500 PSI IN BOTH DIRECTIONS AND MANUFACTURED WITH INTEGRAL CONDUCTORS, FOL BACKING OR OTHER MEANS TO ENABLE DETECTION BY A METAL DETECTOR WHEN BURIED UP TO 3 FEET DEEP. THE METALLIC CORE OF THE TAPE SHALL BE ENCASED IN A PROTECTIVE JACKET OR PROVIDED WITH OTHER MEANS TO PROTECT IT FROM CORROSION. TAPE COLOR SHALL BE RED FOR ELECTRIC UTILITIES AND ORANGE FOR TELECOMMUNICATION UTILITIES.

PART 3 - EXECUTION

- 3.1 GENERAL**
 - A. BEFORE STARTING GENERAL SITE PREPARATION ACTIVITIES, INSTALL EROSION AND SEDIMENT CONTROL MEASURES. THE WORK AREA SHALL BE CONSTRUCTED AND MAINTAINED IN SUCH CONDITION THAT IN THE EVENT OF RAIN THE SITE WILL BE GRABBED AT ANY TIME.
 - B. BEFORE ALL SURVEY, LAYOUT, STAKING, AND MARKING, ESTABLISH AND MAINTAIN ALL LINES, GRADES, ELEVATIONS AND BENCHMARKS NEEDED FOR EXECUTION OF THE WORK.
 - C. CLEAR AND GRUB THE AREA WITHIN THE LIMITS OF THE SITE. REMOVE TREES, BRUSH, STUMPS, RUBBISH AND OTHER DEBRIS AND VEGETATION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE SITE AREA TO BE CLEARED.
 - 1. REMOVE THE FOLLOWING MATERIALS TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE ORIGINAL GROUND SURFACE: ROOTS, STUMPS, AND OTHER REMNANTS, BRUSH, AND REFUSE EMBEDDED IN OR PROTRUDING THROUGH THE GROUND SURFACE. RAKE, DISK OR PLOW THE AREA TO A DEPTH OF NO LESS THAN 6 INCHES, AND REMOVE TO A DEPTH OF 12 INCHES ALL ROOTS AND OTHER DEBRIS THEREBY EXPOSED.

- 2. REMOVE TOPSOIL MATERIAL COMPLETELY FROM THE SURFACE UNTIL THE SOIL NO LONGER MEETS THE DEFINITION OF TOPSOIL. AVOID MIXING TOPSOIL WITH SUBSOIL OR OTHER UNSUITABLE MATERIALS.
 - 3. EXCEPT WHERE EXCAVATION TO GREATER DEPTH IS INDICATED, FILL DEPRESSIONS RESULTING FROM CLEARING, GRUBBING AND DEMOLITION WORK COMPLETELY WITH SUITABLE FILL.
 - D. REMOVE FROM THE SITE AND DISPOSE IN AN AUTHORIZED LANDFILL ALL DEBRIS RESULTING FROM CLEARING AND GRUBBING OPERATIONS. BURNING WILL NOT BE PERMITTED.
 - E. PRIOR TO EXCAVATING, THOROUGHLY EXAMINE THE AREA TO BE EXCAVATED AND/OR TRENCHED TO VERIFY THE LOCATIONS OF FEATURES INDICATED ON THE DRAWINGS AND TO DETERMINE THE EXISTENCE AND LOCATION OF ANY STRUCTURE, UNDERGROUND STRUCTURE, OR OTHER ITEM NOT SHOWN THAT MIGHT INTERFERE WITH THE PROPOSED CONSTRUCTION. NOTIFY THE CONSTRUCTION MANAGER OF ANY OBSTRUCTIONS THAT WILL PREVENT ACCOMPLISHMENT OF THE WORK AS INDICATED ON THE DRAWINGS.
 - F. SEPARATE AND STOCK PILE ALL EXCAVATED MATERIALS SUITABLE FOR BACKFILL. ALL EXCESS EXCAVATED AND UNSUITABLE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- 3.2 BACKFILL:**
- A. AS SOON AS PRACTICAL, AFTER COMPLETING CONSTRUCTION OF THE RELATED STRUCTURE, INCLUDING EXPIRATION OF THE SPECIFIED MINIMUM CURING PERIOD FOR CAST-IN-PLACE CONCRETE, BACKFILL THE EXCAVATION WITH APPROVED MATERIAL TO RESTORE THE REQUIRED FINISHED GRADE.
 - 1. PRIOR TO PLACING BACKFILL AROUND STRUCTURES, ALL FORMS SHALL BE REMOVED AND THE EXCAVATION CLEARED OF ALL TRASH, DEBRIS, AND UNSUITABLE MATERIALS.
 - 2. BACKFILL BY PLACING AND COMPACTING SUITABLE BACKFILL MATERIAL OR SELECT GRANULAR BACKFILL MATERIAL, WHEN REQUIRED IN UNIFORM HORIZONTAL LAYERS OF NO GREATER THAN 8-INCHES LOOSE THICKNESS AND COMPACTED WHERE HAND OPERATED COMPACTORS ARE USED, THE FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 4 INCHES IN LOOSE BENCH AND COMPACTED.
 - 3. WHENEVER THE DENSITY TESTING INDICATES THAT THE CONTRACTOR HAS NOT OBTAINED THE SPECIFIED DENSITY, THE SUCCEEDING LAYER SHALL NOT BE PLACED UNTIL THE SPECIFICATION REQUIREMENTS ARE MET UNLESS OTHERWISE AUTHORIZED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL TAKE WHATEVER APPROPRIATE ACTION IS NECESSARY, SUCH AS REDRY AND DRYING, ADDING WATER, OR INCREASING THE COMPACTIVE EFFORT TO MEET THE MINIMUM COMPACTION REQUIREMENTS.
 - B. THOROUGHLY COMPACT EACH LAYER OF BACKFILL TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE STANDARD PROCTOR TEST, ASTM D 698.

- 3.3 TRENCH EXCAVATION:**
 - A. UTILITY TRENCHES SHALL BE EXCAVATED TO THE LINES AND GRADES SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE GENERAL CONTRACTOR. PROVIDE SHORING, SHEETING AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF THE TRENCH WALLS.
 - B. EXTEND THE TRENCH WIDTH A MINIMUM OF 6 INCHES BEYOND THE OUTSIDE EDGE OF THE OUTSIDE CONDUIT.
 - C. WHEN SOFT, YIELDING, OR OTHERWISE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, BACKFILL AT THE REQUIRED TRENCH TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE REQUIRED ELEVATION AND BACKFILL WITH GRANULAR BEDDING MATERIAL.
- 3.4 TRENCH BACKFILL:**
 - A. PROVIDE GRANULAR BEDDING MATERIAL IN ACCORDANCE WITH THE DRAWINGS AND THE UTILITY REQUIREMENTS.
 - B. NOTIFY THE GENERAL CONTRACTOR 24 HOURS IN ADVANCE OF BACKFILLING.
 - C. CONDUCT UTILITY CHECK TESTS BEFORE BACKFILLING. BACKFILL AND COMPACT TRENCH BEFORE ACCEPTANCE TESTING.
 - D. PLACE GRANULAR TRENCH BACKFILL UNIFORMLY ON BOTH SIDES OF THE CONDUITS IN 6-INCH UNCOMPACTED LIFTS UNTIL 12 INCHES OVER THE CONDUITS. SOLIDLY RAM AND TAMP BACKFILL INTO SPACE AROUND CONDUITS.
 - E. PROTECT CONDUIT FROM LATERAL MOVEMENT, IMPACT DAMAGE, OR UNBALANCED LOADING.
 - F. ABOVE THE CONDUIT EMBEDMENT ZONE, PLACE AND COMPACT SATISFACTORY BACKFILL MATERIAL IN 8-INCH MAXIMUM LOOSE THICKNESS LIFTS TO RESTORE THE REQUIRED FINISHED SURFACE GRADE.
 - G. COMPACT FINAL TRENCH BACKFILL TO A DENSITY EQUAL TO OR GREATER THAN THAT OF THE EXISTING UNDISTURBED MATERIAL IMMEDIATELY ADJACENT TO THE TRENCH BUT NO LESS THAN A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE STANDARD PROCTOR TEST, ASTM D 698.

- 3.5 AGGREGATE ACCESS ROAD:**
 - A. CLEAR, GRUB, STRIP AND EXCAVATE FOR THE ACCESS ROAD TO THE LINES AND GRADES INDICATED ON THE DRAWINGS. SCARIFY TO A DEPTH OF 6 INCHES AND PROOF-ROLL. ALL HOLDS, RUTS, SOFT PLACES AND OTHER DEFECTS SHALL BE CORRECTED.
 - B. THE ENTIRE SUBGRADE SHALL BE COMPACTED TO NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE MODIFIED PROCTOR TEST, ASTM D 1557.
 - C. AFTER PREPARATION OF THE SUBGRADE IS COMPLETE, THE GEOTEXTILE FABRIC (MIRAF 500X) SHALL BE INSTALLED TO THE LIMITS INDICATED ON THE DRAWINGS BY ROLLING THE FABRIC OUT LONGITUDINALLY ALONG THE ROADWAY. THE FABRIC SHALL NOT BE DRAGGED ACROSS THE SUBGRADE. PLACE THE ENTIRE ROLL IN A SINGLE OPERATION, ROLLING OUT AS QUICKLY AS POSSIBLE.
 - 1. OVERLAPS PARALLEL TO THE ROADWAY WILL BE PERMITTED AT THE CENTERLINE AND AT LOCATIONS BEYOND THE ROADWAY SURFACE WIDTH (I.E. WITHIN THE SHOULDER WIDTH) ONLY. NO LONGITUDINAL OVERLAPS SHALL BE LOCATED BETWEEN THE CENTERLINE AND THE SHOULDER. PARALLEL OVERLAPS SHALL BE A MINIMUM OF 3 FEET WIDE.
 - 2. TRANSVERSE (PERPENDICULAR TO THE ROADWAY) OVERLAPS AT THE END OF A ROLL SHALL OVERLAP IN THE DIRECTION OF THE AGGREGATE PLACEMENT (PREVIOUS ROLL ON TOP) AND SHALL HAVE A MINIMUM LENGTH OF 3 FEET.
 - 3. ALL OVERLAPS SHALL BE FINISHED WITH STAPLES OR NAILS A MINIMUM OF 10 INCHES LONG TO INSURE POSITIONING DURING PLACEMENT OF AGGREGATE. PIN LONGITUDINAL SEAMS AT 25 FOOT CENTERS AND TRANSVERSE SEAMS EVERY 5 FEET.

- D. THE AGGREGATE BASE AND SURFACE COURSES SHALL BE CONSTRUCTED IN LAYERS NOT MORE THAN 4 INCH (COMPACTED) THICKNESS. AGGREGATE TO BE PLACED OR GEOTEXTILE FABRIC SHALL BE END-DUMPED ON THE FABRIC FROM THE FREE END OF THE FABRIC OR OVER PREVIOUSLY PLACED AGGREGATE. THE FIRST LIFT SHALL BE BLADED DOWN TO A THICKNESS OF 8 INCHES PRIOR TO COMPACTION. AT NO TIME SHALL EQUIPMENT, EITHER TRANSPORTING THE AGGREGATE OR GRADING THE AGGREGATE, BE PERMITTED ON THE ROADWAY WITH LESS THAN 4 INCHES OF MATERIAL COVERING THE FABRIC.
- E. THE AGGREGATE SHALL BE IMMEDIATELY COMPACTED TO NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE MODIFIED PROCTOR TEST, ASTM D 1557 WITH A TAMING ROLLER, OR WITH A PNEUMATIC-TIRED ROLLER, OR WITH A VIBRATORY MACHINE OR ANY COMBINATION OF THE ABOVE. THE TOP LAYER SHALL BE GIVEN A FINAL ROLLING WITH A THREE-WHEEL OR TAMING ROLLER.
- 3.6 FINISH GRADING:**
 - A. PERFORM ALL GRADING TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SMOOTH, EVEN SURFACE DRAINAGE OF THE ENTIRE AREA WITHIN THE LIMITS OF CONSTRUCTION. GRADING SHALL BE COMPATIBLE WITH ALL SURROUNDING TOPOGRAPHY AND STRUCTURES.
 - B. UTILIZE SATISFACTORY FILL MATERIAL RESULTING FROM THE EXCAVATION WORK IN THE CONSTRUCTION OF FILLS, EMBANKMENTS AND FOR REPLACEMENT OF REMOVED UNSUITABLE MATERIALS.
 - C. ACHIEVE FINISHED GRADE BY PLACING A MINIMUM OF 4 INCHES OF 1/2" - 3/4" CRUSHED STONE ON TOP SOIL STABILIZER FABRIC.
 - D. REPAIR ALL ACCESS ROADS AND SURROUNDING AREAS USED DURING THE COURSE OF THIS WORK TO THEIR ORIGINAL CONDITION.
- 3.7 ASPHALT PAVING ROAD:**
 - A. DIVISION 600 - 100T FLEXIBLE PAVEMENT.
 - B. SECTION 403 - 1000T ASPHALT CONCRETE PAVEMENT.



PROJECT NO: 122041
 DRAWN BY: PRS
 CHECKED BY: GJS

REV	DATE	DESCRIPTION
1	04/28/13	ISSUED FOR PLANNING REVIEW

PRELIMINARY

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SHEET TITLE
 GENERAL SITE WORK
 AND DRAINAGE NOTES

SHEET NUMBER
GN-2

GENERAL CONCRETE WORK NOTES

PART 1 - GENERAL

1.1 SCOPE:

- A. FORM WORK, REINFORCING STEEL, ACCESSORIES, CAST-IN PLACE CONCRETE, FINISHING, CURING AND TESTING FOR STRUCTURAL CONCRETE FOUNDATIONS.

1.2 REFERENCES:

- A. ACI (AMERICAN CONCRETE INSTITUTE)
 - 1. ACI 301 SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS
 - 2. ACI 304 RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE.
 - 3. ACI 305 RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING.
 - 4. ACI 306 RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING.
 - 5. ACI 308 STANDARD PRACTICE FOR CURING CONCRETING.
 - 6. ACI 309 STANDARD PRACTICE FOR CONSOLIDATION OF CONCRETE.
 - 7. ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
 - 8. ACI 347 RECOMMENDED PRACTICE FOR CONCRETE FORMWORK.
- B. ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS), THE APPLICABLE STANDARDS OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS ARE LISTED IN THE ACI STANDARDS AND ARE A PART OF THIS SPECIFICATION.

PART 2 - PRODUCTS

2.1 REINFORCING MATERIALS

- A. REINFORCING BARS: ASTM A615, GRADE 60, PROPOSED DEFORMED BUILT-STEEL BARS, PLAIN FRESH
- B. FURNISH CHAIRS, BOLSTERS, BAR SUPPORTS, SPACERS AS REQUIRED FOR SUPPORT OF REINFORCING STEEL AND WIRE FABRIC.

2.2 CONCRETE MATERIALS

- A. PORTLAND CEMENT SHALL BE TYPE II, CONFORMING TO ASTM C-150
- B. AGGREGATE SHALL CONFORM TO ASTM C-33
 - 1. FINE AGGREGATE SHALL BE UNIFORMLY GRADED, CLEAN, SHARP, WASHED, NATURAL, OR CRUSHED SAND, FREE FROM ORGANIC IMPURITIES.
 - 2. COARSE AGGREGATE SHALL BE NATURAL WASHED GRAVEL OR WASHED CRUSHED ROCK HAVING HARD, STRONG, DURABLE PIECES, FREE FROM ADHESIVE COATINGS.
 - 3. MAXIMUM SIZE OF COARSE AGGREGATE SHALL BE 3/4 INCH IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM C-33 GRADATION SIZE NO. 87.
- C. WATER USED IN CONCRETE MIX SHALL BE POTABLE, CLEAN, AND FREE FROM OILS, ACIDS, SALTS, CHLORIDES, ALKALI, SUGAR, VEGETABLE, OR OTHER HARMFUL SUBSTANCES.
- D. THE CONCRETE SHALL CONTAIN AN AIR-ENTRAPPING ADMIXTURE COMPLYING WITH THE REQUIREMENTS OF ASTM C-260 AND ACI 212.1R AND A WATER-REDUCING ADMIXTURE COMPLYING WITH THE REQUIREMENTS OF ASTM C-494 AND ACI 212.1R. ADMIXTURES SHALL BE PURCHASED AND BATCHED IN LIQUID SOLUTION. THE USE OF CALCIUM CHLORIDE OR AN ADMIXTURE CONTAINING CALCIUM CHLORIDE IS PROHIBITED. ADMIXTURES SHALL BE OF THE SAME MANUFACTURER TO ASSURE COMPATIBILITY. ACCEPTABLE MANUFACTURERS ARE:
 - 1. W.R. GRACE
 - 2. SAKA CORP
 - 3. MASTER BUILDERS
 - 4. EUCRID CHEMICAL CO.
- E. CURING COMPOUND SHALL CONFORM TO ASTM C309, TYPE I, III, CLASS A AND B AND ASTM C171 AS APPLICABLE.

2.3 CONCRETE MIX

- A. HIGH-STRENGTH CONCRETE MIX IN ACCORDANCE WITH REQUIREMENTS OF ACI 301 THE STRENGTH OF CONCRETE SHALL BE AS INDICATED ON THE DRAWINGS. WHERE STRENGTH IS NOT CLEARLY INDICATED, CONCRETE OF MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 P.S.I. SHALL BE USED.
- B. THE CONCRETE MIX SHALL BE DESIGNED FOR A MAXIMUM SLUMP OF THREE INCHES AT THE POINT OF DISCHARGE. MIXES OF THE STIFFEST CONSISTENCY THAT CAN BE EFFICIENTLY PLACED SHALL BE USED.
- C. ALL CONCRETE SHALL HAVE (3) TO FIVE (5) PERCENT ENTRAINED AIR.
- D. ALL STRUCTURAL CONCRETE SHALL CONTAIN A WATER-REDUCING AGENT.

PART 3 - EXECUTION

3.1 GENERAL

- A. CONSTRUCT AND ERECT THE FORM WORK IN ACCORDANCE WITH ACI 301 AND ACI 347.
- B. COLD-WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 306.
- C. HOT-WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 305.

3.2 INSERTS, EMBEDDED COMPONENTS AND OPENINGS:

- A. CONTRACTOR SHALL CHECK ALL CIVIL, ARCHITECTURAL, STRUCTURAL AND ELECTRICAL DRAWINGS FOR OPENINGS, SLEEVES, ANCHOR BOLTS, INSERTS AND OTHER ITEMS TO BE BUILT INTO THE CONCRETE WORK.
- B. COORDINATE THE WORK OF OTHER SECTION IN FORMING AND SETTING OPENINGS, RECESSES, SLOTS, CHASES, ANCHORS, INSERTS AND OTHER ITEMS TO BE EMBEDDED.
- C. EMBEDDED ITEMS SHALL BE SET ACCURATELY IN LOCATION, ALIGNMENT, ELEVATION AND PLUMBNESS, LOCATE AND MEASURE FROM ESTABLISHED SURVEYED REFERENCE BENCHMARKS.

- D. EMBEDDED ITEMS SHALL BE ANCHORED INTO PLACE IN A MANNER TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT AND CONSOLIDATION. COMPONENTS FORMING A PART OF A COMPLETE ASSEMBLY SHALL BE ALIGNED BEFORE ANCHORING INTO PLACE. PROVIDE TEMPORARY BRACING, ANCHORAGE, AND TEMPLATES AS REQUIRED TO MAINTAIN THE SETTING AND ALIGNMENT.

3.3 REINFORCEMENT PLACEMENT:

- A. PLACE REINFORCEMENT ACCORDING TO CHECKED AND RELEASED DRAWINGS AND IN ACCORDANCE WITH ACI 301 AND ACI 318.
- B. ACCURATELY POSITION, SUPPORT AND SECURE REINFORCEMENT AGAINST DISPLACEMENT FROM FORM WORK CONSTRUCTION OR CONCRETE PLACEMENT AND CONSOLIDATION. SUPPORT REINFORCING ON METAL CHAIRS, RUNGERS, BOLSTERS, SPACERS AND HANGERS.
- C. SPLICES OF REINFORCING BARS SHALL BE CLASS B UNLESS SHOWN OTHERWISE ON THE DRAWINGS. SPLICES SHALL BE STAGGERED. FULL DEVELOPMENT LENGTH SHALL BE PROVIDED ACROSS JOINTS.
- D. LOCATE REINFORCING TO PROVIDE CONCRETE COVER AND SPACING SHOWN ON THE DRAWINGS. MINIMUM COVER SHALL BE AS REQUIRED BY ACI 318.
- E. WELDING OF AND TO ANY REINFORCING MATERIALS INCLUDING TACK WELDING OF CROSSING BARS IS STRICTLY PROHIBITED.

3.4 CONCRETE PLACEMENT:

- A. PRIOR TO PLACING CONCRETE, THE FORMS AND REINFORCEMENT SHALL BE THOROUGHLY INSPECTED; ALL TEMPORARY BRACKING, TIES AND CHAIRS REMOVED. ALL OPENINGS FOR UTILITIES PROPERLY BOXED; ALL FORMS PROPERLY SECURED IN THEIR CORRECT POSITION AND MADE TIGHT. ALL REINFORCEMENT AND EMBEDDED ITEMS SHALL BE SECURED IN THEIR PROPER LOCATIONS. ALL OLD AND DRY CONCRETE AND DIRT SHALL BE CLEANED OFF AND ALL STANDING WATER AND OTHER FOREIGN MATERIAL REMOVED.
- B. PLACING CONCRETE SHALL BE IN ACCORDANCE WITH ACI 301 AND ACI 304 AND SHALL BE CARRIED OUT IN SUCH A MANNER THAT THE CONCRETE PREVIOUSLY PLACED IS STILL PLASTIC AND INTEGRATED WITH THE FRESHLY PLACED CONCRETE. CONCRETING ONCE STARTED, SHALL BE CARRIED ON AS A CONTINUOUS OPERATION UNTIL THE SECTION IS COMPLETED. NO COLD JOINTS SHALL BE ALLOWED.
- C. ALL CONCRETE SHALL BE THOROUGHLY CONSOLIDATED AND COMPACTED BY VIBRATION SPACING, RODDING, OR FORGING DURING THE OPERATION OF PLACING AND DEPOSITING IN ACCORDANCE WITH ACI 309. THE CONCRETE SHALL BE THOROUGHLY WORKED AROUND REINFORCEMENT, EMBEDDED ITEMS, AND INTO THE CORNER OF THE FORMS SO AS TO ELIMINATE ALL AIR AND STONE POCKETS.

3.5 FINISHING

- A. FINISHING OF THE FLOOR SLABS SHALL BE IN ACCORDANCE WITH ACI 302.1 SECTION 7.2 WITH A MINIMUM OF THREE THROWLINES. THE SLAB FINISH TOLERANCE AS MEASURED IN ACCORDANCE WITH ASTM E 1155 SHALL HAVE AN OVERALL TEST NUMBER FOR FLATNESS, FF=20 AND FOR LEVEL, FL=15. THE MINIMUM LOCAL NUMBER FOR FLATNESS, FF=15 AND FOR LEVEL, FL=10.
- B. SURFACE OF FLOOR SLAB SHALL RECEIVE TWO COATS OF CLEAR SEALER/HARDENER.
- C. ABOVE GRADE WALL SURFACES SHALL HAVE A SMOOTH FORM FINISH AS DEFINED IN CHAPTER 10 OF ACI 301.

3.6 CURING:

- A. FRESHLY DEPOSITED CONCRETE SHALL BE PROTECTED FROM PREMATURE DRYING AND EXCESSIVELY HOT AND COLD TEMPERATURES AND SHALL BE MAINTAINED WITH MINIMUM MOISTURE LOSS AT A RELATIVELY CONSTANT TEMPERATURE FOR A PERIOD OF TIME NECESSARY FOR THE HYDRATION OF THE CEMENT AND PROPER HARDENING OF THE CONCRETE.
- B. CONCRETE SHALL BE KEPT CONTINUOUSLY MOIST AT LEAST OVERNIGHT. IMMEDIATELY FOLLOWING THE INITIAL CURING, BEFORE THE CONCRETE HAS DRIED, ADDITIONAL CURING SHALL BE ACCOMPLISHED BY ONE OF THE FOLLOWING MATERIALS OR METHODS:
 - 1. PONDING OR CONTINUOUS SPRINKLING.
 - 2. ABSORPTIVE MAT OR FABRIC KEPT CONTINUOUSLY WET.
 - 3. NON-ABSORPTIVE FILM (POLYETHYLENE) OVER PREVIOUSLY SPRINKLED SURFACE
 - 4. SAND OR OTHER COVERING KEPT CONTINUOUSLY WET.
 - 5. CONTINUOUS STEAM (NOT EXCEEDING 100 F) OR VAPOR MIST BATH
 - 6. SPRAYED-ON CURING COMPOUND APPLIED IN TWO COATS, SPRAYED IN PERPENDICULAR DIRECTION
- C. THE FINAL CURING SHALL CONTINUE UNTIL THE CUMULATIVE NUMBER OF DAYS OR FRACTION THEREOF, NOT NECESSARILY CONSECUTIVE, DURING WHICH TEMPERATURE OF THE AIR IN CONTACT WITH CONCRETE IS ABOVE 50F HAS TOTALLED SEVEN (7) DAYS. CONCRETE SHALL NOT BE PERMITTED TO FREEZE DURING THE CURING PERIOD. RAPID DRYING AT THE END OF THE CURING PERIOD SHALL BE PREVENTED.



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PROJECT NO:	122041
DRAWN BY:	PRS
CHECKED BY:	GJS

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1	02/22/13	ISSUED FOR PLANNING REVIEW

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**GENERAL
CONCRETE WORK NOTES**

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