

The public may attend the meeting in person or view it online at
<http://pvkansas.com/livestreaming>.

**BOARD OF ZONING APPEALS
CITY OF PRAIRIE VILLAGE
TUESDAY, MARCH 5, 2024
7700 MISSION ROAD
COUNCIL CHAMBERS
6:30 P.M.**

I. ROLL CALL

II. APPROVAL OF BZA MINUTES - July 11, 2023

III. PUBLIC HEARINGS

BZA2024-01 Variance of required side setback
4519 W. 74th Place
Zoning: R-1B
Applicant: Dan Wessel / John and Nancy Falk

BZA2024-02 Variance of required side setback
7328 Cherokee Drive
Zoning: R-1B
Applicant: Garry Calvin / Mary Burger

IV. OTHER BUSINESS

Election of Chair, Vice-Chair and Secretary

V. ADJOURNMENT

Plans available at City Hall if applicable
If you cannot be present, comments can be made by e-mail to
cityclerk@pvkansas.com

***Any Commission members having a conflict of interest, shall acknowledge that conflict prior to the hearing of an application, shall not participate in the hearing or discussion, shall not vote on the issue and shall vacate their position at the table until the conclusion of the hearing.**

**BOARD OF ZONING APPEALS
CITY OF PRAIRIE VILLAGE, KANSAS
MINUTES
TUESDAY, JULY 11, 2023**

ROLL CALL

The meeting of the Board of Zoning Appeals of the City of Prairie Village, Kansas was held on Tuesday, July 11, 2023, at 6:30 p.m. in the Council Chambers of the Municipal Building at 7700 Mission Road. Chair Patrick Lenahan called the meeting to order at 6:30 p.m. with the following members present: Jonathan Birkel, James Breneman, Gregory Wolf, Melissa Brown, Nancy Wallerstein, and Jeffrey Valentino.

The following individuals were present in their advisory capacity to the Board of Zoning Appeals: Graham Smith, Multistudio; Nickie Lee, Deputy City Administrator; Greg Shelton, Council Liaison; Adam Geffert, City Clerk/Board Secretary.

APPROVAL OF MINUTES

Mr. Breneman moved for the approval of the minutes of the May 2, 2023, Board of Zoning Appeals meeting as presented. Mr. Wolf seconded the motion, which passed unanimously.

PUBLIC HEARINGS

BZA2023-02 Variance of Required Front Setback for Garage Addition
 2216 W. 71st Terrace
 Zoning: R-1B
 Applicant: Gary and Cindy Wainscott

Mr. Smith stated that the applicant was requesting a variance of 6.58' to allow a garage to be built 23.42' from the front setback, rather than the required 30'. The lot also includes a platted front building line of 35'. The existing building is located at 23.42', and it is unclear whether there was any record of a variance or platted building line modification. AIMS records indicate the building was constructed in 1956, which predates the zoning ordinance.

Mr. Smith said the building is at its location due to a drainage culvert that crosses the property, entering the lot on the west side approximately 20' from the front lot line, going north for approximately 60' and then east across the lot near the midpoint of the property, 80' from the front line. This results in a small buildable area towards the front portion of the lot, and a rear yard section across the drainage culvert on the back 45' of the lot. The property is zoned R-1B, which requires a front setback that is at least 30' from the front lot line.

The applicant has placed a garage addition on the east side of the building along the existing front building line; however, this does not comply with the required front setback. The plat also includes a platted front building line of 35'. Typically, modification of the front building line is done through an exception granted by the Planning Commission. However, since this request would also be in excess of the zone district setback, a variance is required.

Mr. Smith noted that Section 19.54.030 of the zoning regulations required the Board to find that all five of the following "golden factors" be met to grant a variance:

1. Uniqueness - That the variance requested arises from such condition which is unique to the property in question, and which is not ordinarily found in the same zone or district and is not created by an action or actions of the property owner or the applicant.
2. Adjacent Property - That the granting of the permit for the variance would not adversely affect the rights of adjacent property owners or residents.
3. Hardship - That the strict application of the provisions of these regulations from which a variance is requested will constitute an unnecessary hardship upon the property owner represented in the application.
4. Public Interest - That the variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare.
5. Spirit and Intent of the Regulation - That the granting of the variance desired would not be opposed to the general spirit and intent of these regulations.

He added that if the Board did approve the variance, it should be subject to the following conditions:

1. That the variance be granted only to the extent shown with the submitted application, sufficient improve the existing structure at its current location and not encroach further into the front setback.
2. The variance, if approved, be recorded with the County Register of Deeds within one year of approval.

Applicants and property owners Gary and Cindy Wainscott were present to discuss the variance. Mr. Wainscott stated that the new garage was in the same location as the previous garage, and that due to the drainage culvert, there was no available space to push the garage further back in the yard.

Ms. Brown asked if the garage had already been constructed. Mrs. Wainscott indicated that construction had begun but was currently stopped pending a decision from the Board

of Zoning Appeals. She added that surrounding neighbors were very supportive of the new construction.

Mr. Lenahan opened the public hearing at 6:45 p.m. With no one present to speak, Mr. Lenahan closed the hearing at 6:46 p.m.

Board members reviewed the golden factors and determined that the proposal met all requirements.

Mr. Wolf made a motion to approve the variance with the conditions recommended by staff. Ms. Brown seconded the motion, which passed unanimously.

OTHER BUSINESS

None

ADJOURNMENT

Chair Patrick Lenahan adjourned the meeting of the Board of Zoning Appeals at 6:47 p.m.

Adam Geffert
City Clerk/Board Secretary

STAFF REPORT

TO: Prairie Village Board of Zoning Appeals
FROM: Chris Brewster, Multistudio, Planning Consultant
DATE: March 5, 2024 Board of Zoning Adjustment Meeting

Application: BZA 2024-01

Request: Variance of 3 feet to the side setback, to allow a garage addition and 0.54 feet to the side setback to allow a great room addition.

Action: *A variance request requires the Board of Zoning Appeals to evaluate facts and weigh evidence, and a majority of the Board must find that all 5 criteria for a variance have been met in order to approve the request.*

Property Address: 4519 W. 74th Place

Applicant: Dan Wessel; Falk Family Revocable Trust, owner

Current Zoning & Use: R-1B Single-Family Residential - Single-Family Dwelling

Surrounding Zoning & Use: **North:** R-1B Single-Family Residential – Single-Family Dwellings
East: R-1B Single-Family Residential - Single-Family Dwellings
South: R-1B Single-Family Residential - Single-Family Dwellings
West: R-1B Single-Family Residential – Single-Family Dwellings

Legal Description: PRAIRIE VILLAGE LOT 24 BLK 33 PVC-1362

Property Area: 0.2 acres (8,747.50 s.f.)

Related Case Files: None

Attachments: Application, variance request form, lot and building plans, elevations.

General Location – Map



Aerial Map



Aerial Site



Birdseye View



Birdseye View



Street View



Looking southwest on West 74th Place – Subject property on the right

SUMMARY:

This application requests a variance from 6 feet to 3 feet, on the east side yard lot line to allow the expansion of an existing garage, and a variance from 6 feet to 5.44 feet in the rear portion of the same side to allow the expansion of a great room. This requires approval of the Board of Zoning Appeals according to the variance criteria.

DETAILS:

The applicant is requesting a variance from [Section 19.08.015](#) to allow a garage addition to be built 3 feet from the front setback, rather than the required 6 feet, and to allow a great room to be expanded and built 5.44 feet from the side lot line rather than the required 6 feet.

The property is zoned R-1B which requires the following for side setbacks:

- 6' minimum on each side
- 20% of lot width minimum between both sides;
- At least 12' between adjacent buildings.

[Section 19.08.015; Table 19.08A](#)

The garage addition would extend for approximately 20 feet along the side setback line and has a 1.5 story gabled elevation. The proposal adds approximately 4.5 feet from the exterior of the current building, but would extend 3 feet over the required 6 feet side setback. It would change the interior garage space width from approximately 9.5 feet to approximately 14.5 feet.

The great room addition would extend for approximately 18 feet along the side setback line and has a 1.5 story gabled elevation. This portion is located to the rear of the home and is a separate wall plane from the garage addition. The proposal adds approximately 7 feet to the current structure, but would extend 0.56 feet over the required 6 feet side setback.

In each case the addition would be more than the required 12 feet from the adjacent structure (17.1 feet and 19.5 feet respectively). The house on the adjacent lot is approximately 14.1 feet from the side lot line. The subject house would also meet the required 20% cumulative setbacks as it is 14.3 feet from the side setback on the opposite side lot line. (17.3 feet total side setbacks is 24.71% of the 70-foot lot width).

The applicant had a neighborhood meeting on February 15 as required by the Prairie Village Resident Participation Policy and has supplemented the application with background on that meeting.

VARIANCE ANALYSIS (BOARD OF ZONING APPEALS):

[Section 19.54.030](#) of the Zoning Ordinance requires the Board to find that **all five** of the following conditions are met in order to grant a variance. If the Board finds that even one of these conditions is not met, a variance should not be granted:

A. Uniqueness

That the variance requested arises from such condition which is unique to the property in question and which is not ordinarily found in the same zone or district; and is not created by an action or actions of the property owner or the applicant.

In order for the property to meet the condition of uniqueness, it must have some peculiar physical surroundings, shape, or topographical condition that would result in a practical difficulty as distinguished from a mere inconvenience to utilize the property without granting the variance.

The property was platted in 1948 and the structure was built in 1950. It is one of several 70-foot wide lots that fronts on West 74th Place. The street runs in a northwest to southeast direction creating an irregular shaped block that includes a cul-de-sac on the west side accessing lots to the rear of this lot. The lot is one lot from the corner to the northwest. Most lots fronting West 74th Place are 70 feet by 125 feet. The houses all sit slightly off center on the lots, with the garage-sides having a smaller setback, and the non-garage sides having a larger setback.

B. Adjacent Property

That the granting of the permit for the variance would not adversely affect the rights of adjacent property owners or residents.

The existing house has a 1.5 story profile on the side, and the proposed additions maintain this profile, which is under the building height which would otherwise be allowed to be built at the side setback. Additionally, the elevation is broken into two main wall planes, one of which has a lessor encroachment into the side setback. The property on the lot adjacent to the requested variance is 14.1 feet from the side setback. By current standards it could generally build to 6 feet from the property line, assuming the other side maintained at least an 8 feet setback; however, if the variance is granted it would only allow the building to expand to the 9 feet from the property line to maintain the required 12-foot separation (unless a future variance is granted).

C. Hardship

That the strict application of the provisions of these regulations from which a variance is requested will constitute an unnecessary hardship upon the property owner represented in the application.

The existing house has a single-car garage, and an expansion that is compliant with the ordinance would only allow 1.5 feet of additional width (to comply with the 6 feet side setback). While the proposal retains a single-car garage the expansion does allow for additional maneuvering space and storage (interior width of approximately 9.5 feet to approximately 14.5 feet). The rear portion of the requested variance is a minor encroachment (0.56 feet) and would be a lessor encroachment than the proposed garage. Compliance with the requirements would mean a lessor offset of this rear massing from the primary building (currently 2 feet off set from the side entry).

D. Public Interest

That the variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare.

The proposed addition is maintaining the scale and character of the existing house, and of other similar homes in the area. The proposal will still maintain the minimum separation of buildings (17.1 feet where 12 feet is required); however, it could constrain potential expansions of the adjacent house if the required separation is maintained (i.e. only allow expansion to 9 feet from side lot line rather than the required 6 feet.)

E. Spirit and Intent of the Regulation

That the granting of the variance desired would not be opposed to the general spirit and intent of these regulations.

Side setbacks are intended to manage the relationship of adjacent buildings. In this case the buildings will remain separated by the minimum required separation, despite the proposed addition extending over the minimum required setback. Additionally, the building is maintaining the current 1.5 story side elevations, which reduces the potential impact on adjacent property more than what could otherwise be built within the required setbacks (29 feet height limit at the 6 feet side setback). While the variance may impact potential future expansion plans on the adjacent property (if the required building separation is maintained), most homes on this street exhibit a pattern of having larger side setbacks on the “living area” side, and smaller side setbacks on the non-living area side.

EFFECT OF DECISION:

After reviewing the information submitted and considering the testimony during the public hearing, if the Board finds that **all five conditions** can be met as required by state statutes and [Section 19.54.030](#) of the Prairie Village Zoning Ordinance, then it may grant the variance. If the Board does approve the variance, it should be subject to the following conditions:

1. That the variance be granted only to the extent shown with the submitted application and based on submitted plans and elevations.
2. The variance, if approved, be recorded with the County Register of Deeds within 1 year of approval.

Cust# 022816
App# 0030552

VARIANCE APPLICATION
BOARD OF ZONING APPEALS

CITY OF PRAIRIE VILLAGE, KANSAS

For Office Use Only
Case No: 127A2024-01
Filing Fee: \$75.00
Deposit:
Date Advertised:
Public Hearing Date:

DANN376@GMAIL.COM
APPLICANT: DAN WESSEL PHONE: 816-786-6298
ADDRESS: 7244 WARD PKWY, K.C., MO. ZIP: 64114
OWNER: JOHN & NANCY FALK PHONE: 816-807-4456
ADDRESS: 4519 W. 74th PLACE, P.V. KS ZIP: 66208
LOCATION OF PROPERTY: 4519 W. 74th PLACE, P.V. KS.
LEGAL DESCRIPTION: PRAIRIE VILLAGE LOT 24 BLK 33 P.V.C-1362

Variance Requested PV19.06A DEVELOPMENT STANDARD 6' MIN.
(SIDE LOT ROAD 1) 3' SETBACK @ GARAGE 2) 5.44' SETBACK @ GREAT RM.

ADJACENT ZONING AND LAND USE:

	Land Use	Zoning
North	<u>RESIDENTIAL</u>	<u>R-1B</u>
South	<u>"</u>	<u>"</u>
East	<u>"</u>	<u>"</u>
West	<u>"</u>	<u>"</u>

Present use of Property: SINGLE FAMILY RESIDENCE
" " "
Proposed Use of Property:

Utility lines or easements that would restrict proposed development:
N/A

Please complete both pages of the form and return to:

City Clerk
City of Prairie Village
7700 Mission Road
Prairie Village, Kansas 66208

Please indicate below the extent to which the following standards are met, in the applicant's opinion. *Provide an explanation on a separate sheet for each standard which is found to be met.*

1. *UNIQUENESS*

Yes ___ No

The variance requested arises from conditions which are unique to the property in question, which are not ordinarily found in the same zoning district, and which are not caused by actions of the property owners or applicant. Such conditions include the peculiar physical surroundings, shape, or topographical condition of the specific property involved which would result in a practical difficulty or unnecessary hardship for the applicant, as distinguished from a mere inconvenience, if the requested variance was not granted.

2. *ADJACENT PROPERTY*

Yes ___ No

The granting of the variance will not be materially detrimental of adversely affect the rights of adjacent property owners or residents.

3. *HARDSHIP*

Yes ___ No

The strict application of the provision of the zoning regulations from which a variance is requested will constitute an unnecessary hardship upon the applicant. Although the desire to increase the profitability of the property may be an indication of hardship, it shall not be sufficient reason by itself to justify the variance.

4. *PUBLIC INTEREST*

Yes ___ No

The variance desired will not adversely affect the public health, safety, morals, order, convenience, or general welfare of the community. The proposed variance shall not impair an adequate supply of light or air to adjacent property, substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety, or substantially diminish or impair property values within the neighborhood.

5. *SPIRIT AND INTENT*

Yes ___ No

Granting the requested variance will not be opposed to the general spirit and intent of the zoning regulations.

6. *MINIMUM VARIANCE*

Yes ___ No

The variance requested is the minimum variance that will make possible the reasonable use of the land or structure.

SIGNATURE: _____

DATE

01/30/2024

BY: _____

DAN WESSEL

TITLE: _____

DATE: January 30, 2024

TO: CITY OF PRAIRIE VILLAGE, KANSAS

VARIANCE APPLICATION – BOARD OF ZONING APPEALS

RE: John & Nancy Falk Residence, 4519 W. 74th Place, Prairie Village, KS

SUBJ: Responses to standards questions

1) **UNIQUENESS:** The need for a side lot setback variance arises from the proximity of the existing structure to the property line as determined by the original builder.

2) **ADJACENT PROPERTY:** The requested side lot setback variance respects the zoning requirement of 12' minimum between structures. The proposed garage expansion will be 17.1' from the adjacent house and the great room expansion will be 19.54' from the adjacent house.

3) **HARDSHIP:** Strict application of the zoning regulation will continue to prevent the applicant from using the garage for its intended purpose of housing an automobile because the existing structure is effectively too narrow. It will also prevent the applicant from being able to reasonably accommodate their growing extended family in their own home when they gather as a family.

4) **PUBLIC INTEREST:** The granting of this variance will not adversely affect public health, safety, morals, order, convenience, or the general welfare of the community. It will not noticeably or significantly alter natural light or air movement to or around adjacent property. Nothing in this request affects, traffic, fire danger, or public safety.

5) **SPIRIT AND INTENT:** This request fully respects the spirit and intent of the zoning regulations.

6) **MINIMUM VARIANCE:** The variance requested represents the minimum amount needed to meet the practical and reasonable improvements of the structure.

Mitch Dringman commented on Building Official Plan Review:

"City of Prairie Village Building Code Department Preliminary design review

3535 Somerset Drive PV Kansas 66208 Customer Service 913-385-4604

Address: 4519 w 74th Place PV KS Zoned R1B

Date: 1-22-2024

Status or review: Disapproved

Reviewed by: Mitch Dringman BOPV 913-385-

4687 mdringman@pvkansas.com

The following are items found non-compliant

with City of Prairie Village zoning code and 2018 building codes:

1. The proposed addition along the southeast side (left elevation) are too close to the side lot line new walls noted between 5.44' and 3' require a minimum of 6 feet side setback. This is a violation of PVZC Table 19.06 A Development standard. To build this configuration, it will require Board of Zoning Appeal review. (BZA)

2. The side wall of the newly proposed garage extension is within 5

feet to the side lot line, design requires 1 hour fire rating of the wall per IRC 2018 Table R302.1(1).

Message:

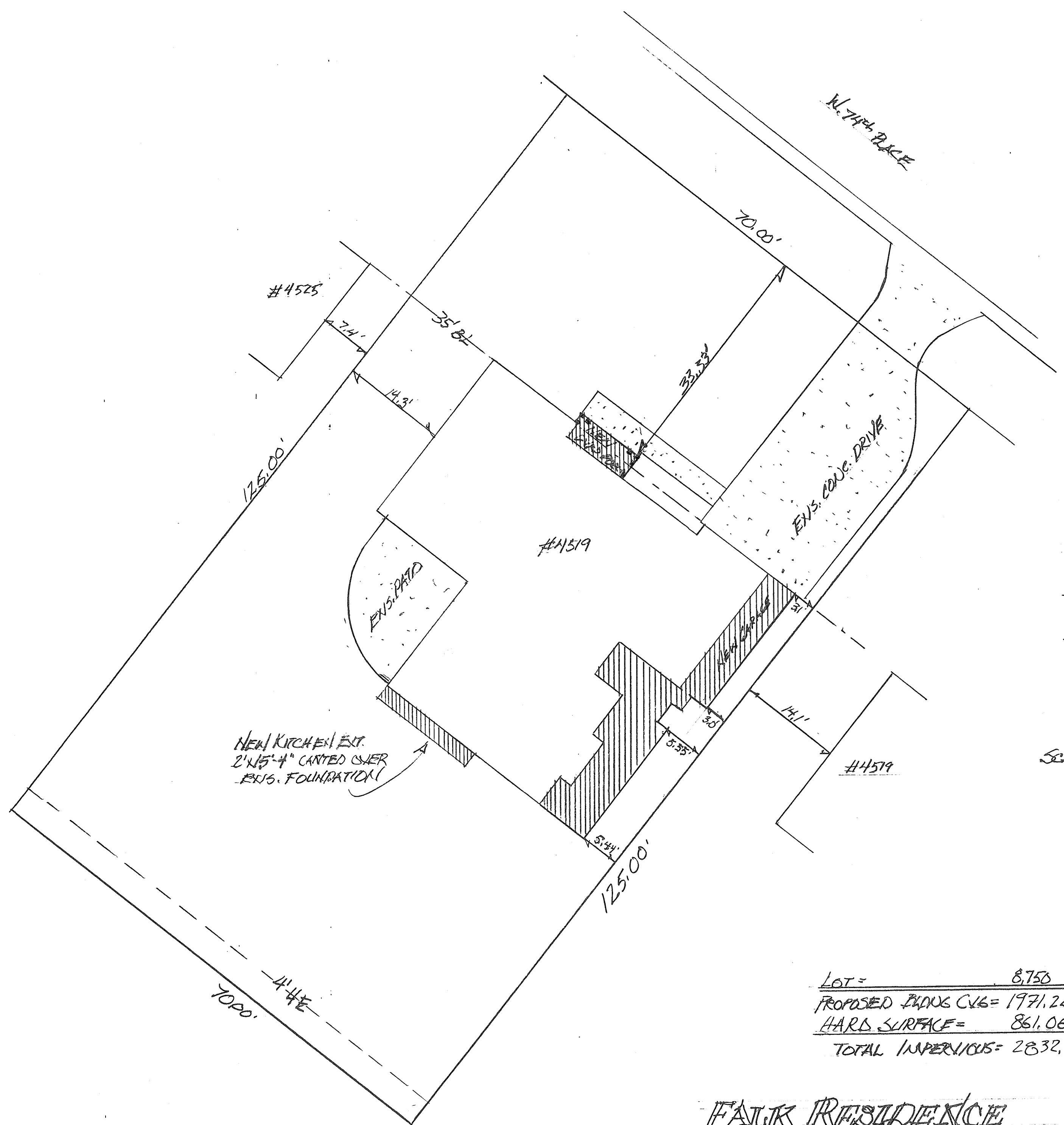
- General notation overall architectural design complies with Design guidelines per chapter 19.06 PVZC except distance to side lot line.
- No boundary survey information has been provided for this review, for the real plan submittal a topographical boundary survey is required.
- Applicants would also be required to submit a drainage permit application to the public works department.
- This review is limited to architectural review and is not a reflection of full building code review. Plans shall include energy compliance information.

"

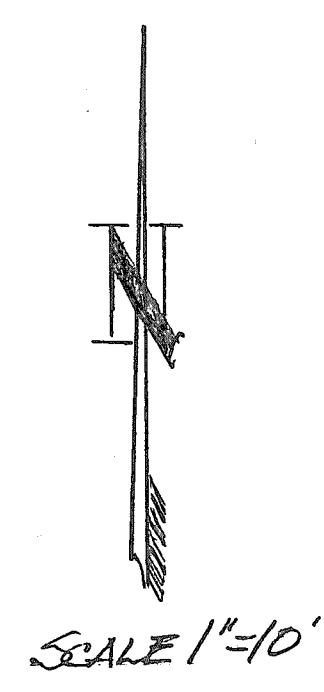
Where: 4519 W 74TH PL

Type: Preliminary Plan Review

Number: 3

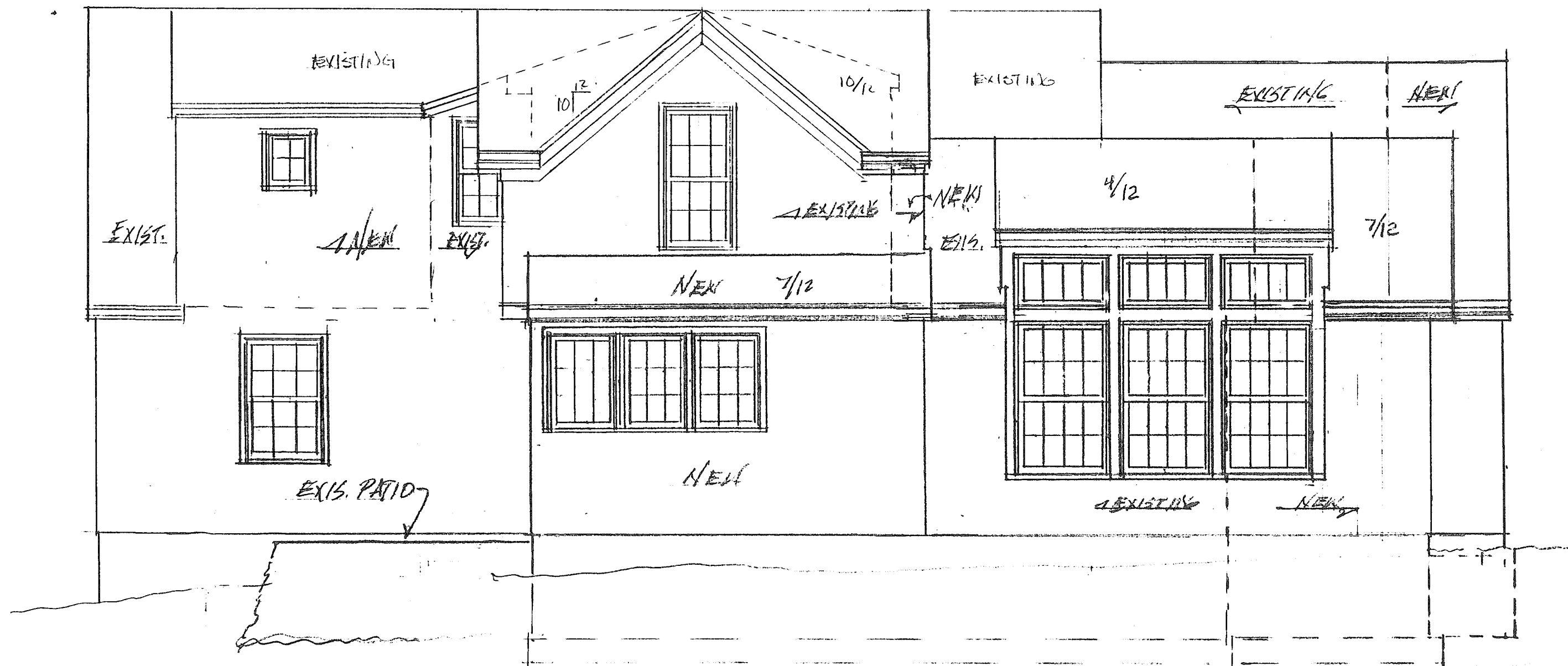


NEW KITCHEN EXIT
 2'x15'-4" CANTILEVER
 EXS. FOUNDATION

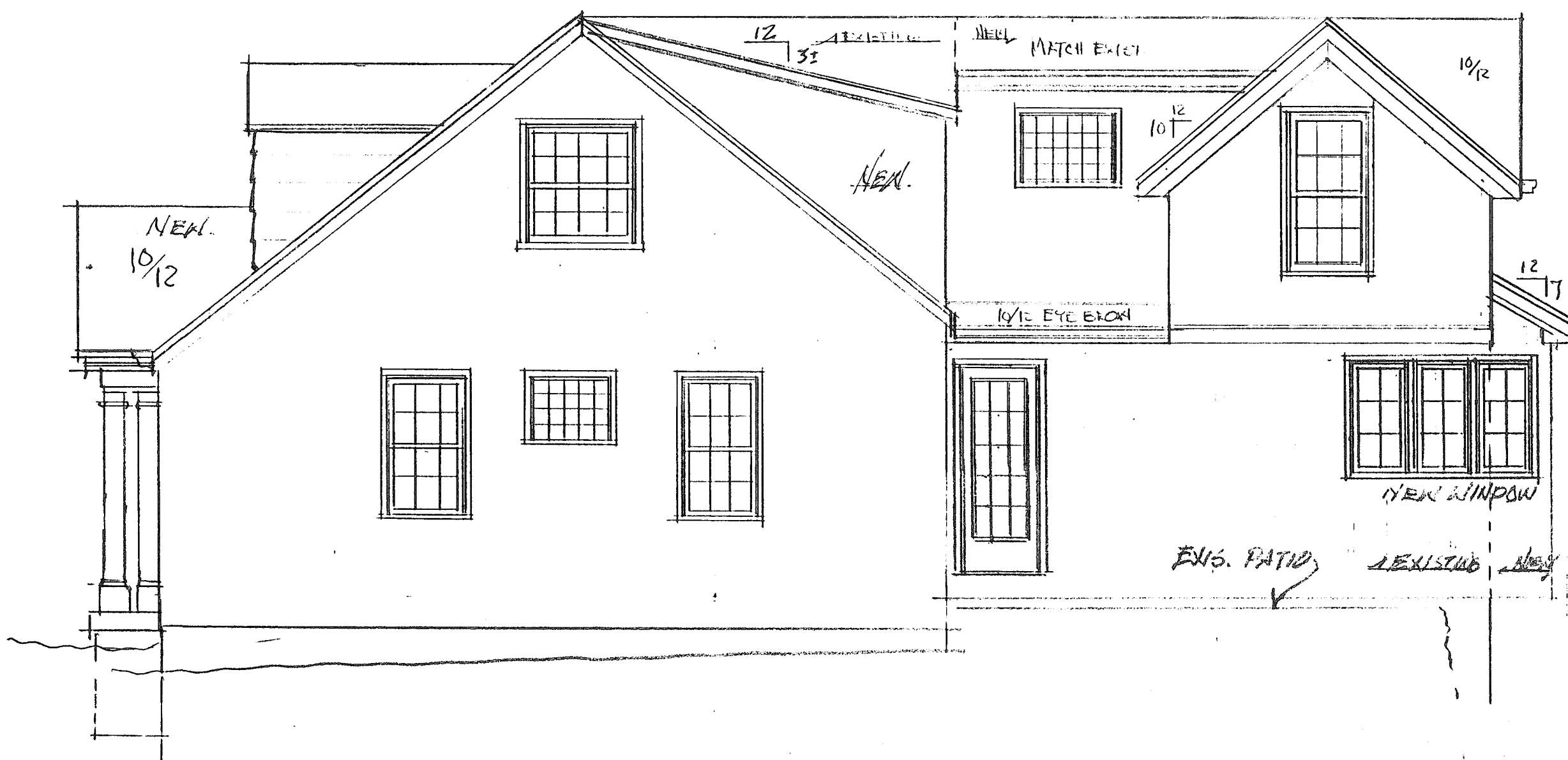


LOT = 8,750 SQ. FT.
 PROPOSED PAVING CV6 = 1,971.22 SQ. FT.
 HARD SURFACE = 861.06 SQ. FT.
 TOTAL IMPERVIOUS = 2,832.28 SQ. FT.

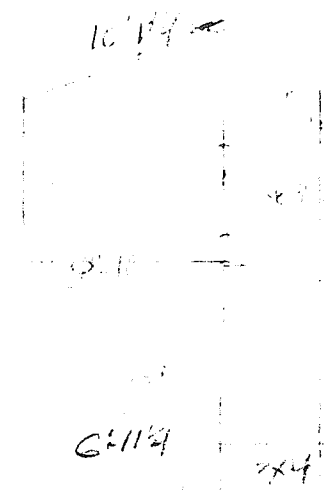
FALK RESIDENCE
 4510 W. 74th PLACE,
 PRAIRIE VILLAGE, ILL.



SOUTH ELEVATION
SCALE 1/4" = 1'-0"

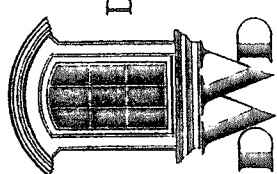


WEST ELEVATION
SCALE 1/4" = 1'-0"



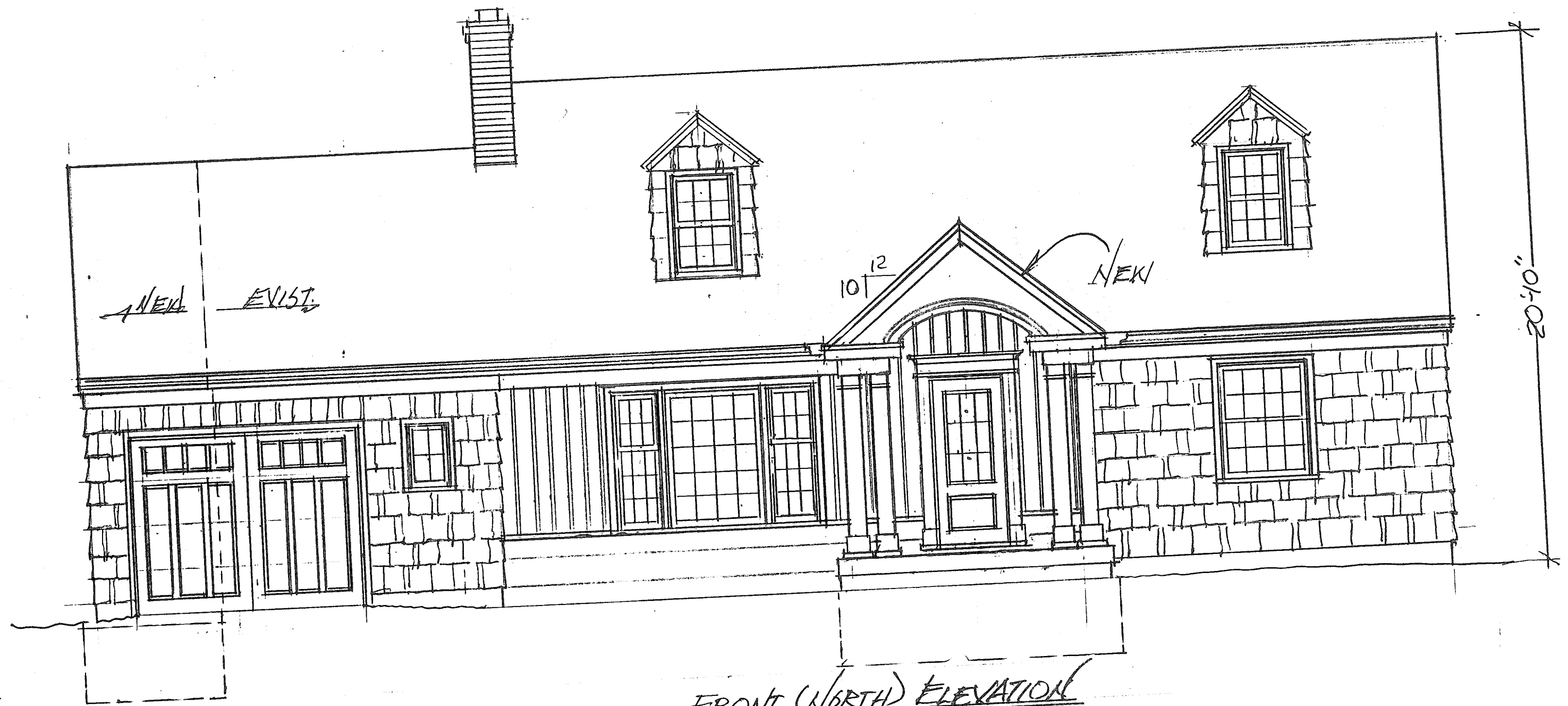
FAMILY RESIDENCE - ADDITIONS/REMODEL
1519 W. 74th PLACE, PRAIRIE VILLAGE, ILL.

10/30/03

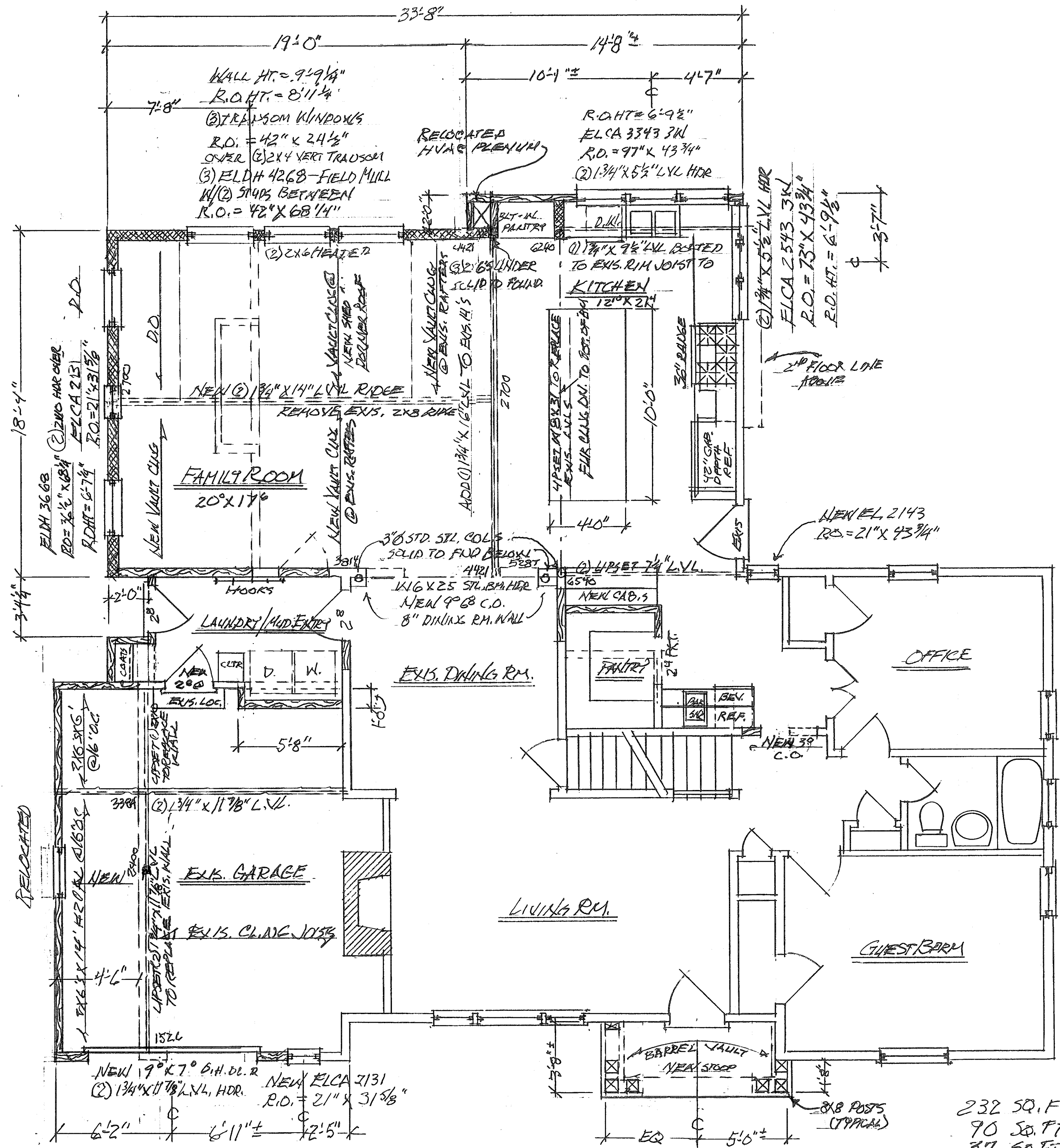
DAN WESSEL DESIGN, INC.

 (816) 363-8808
 danwesi@gmail.com



LEFT SIDE (EAST) ELEVATION
SCALE 1/4" = 1'-0"

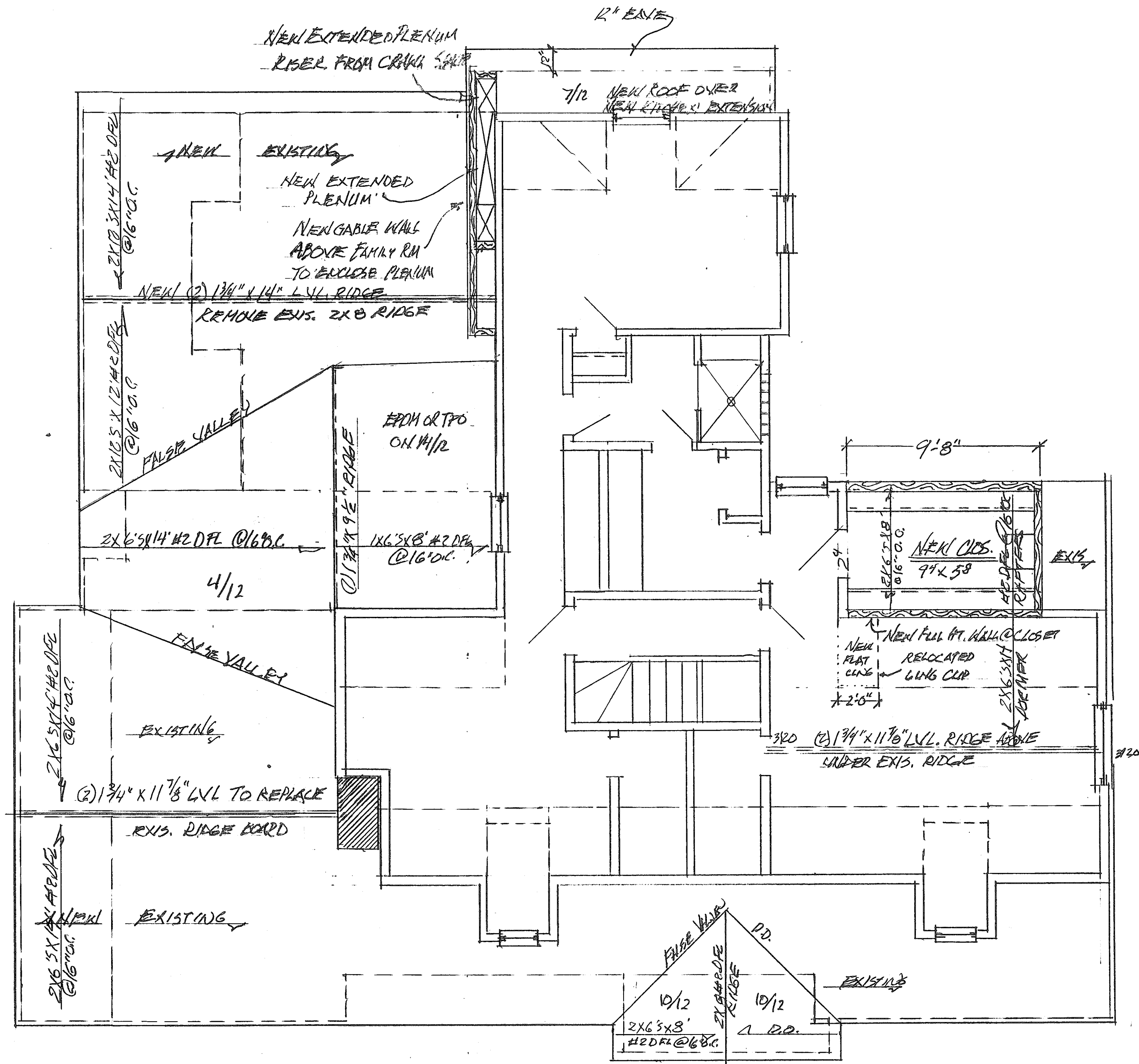


FRONT (NORTH) ELEVATION
SCALE 1/4" = 1'-0"

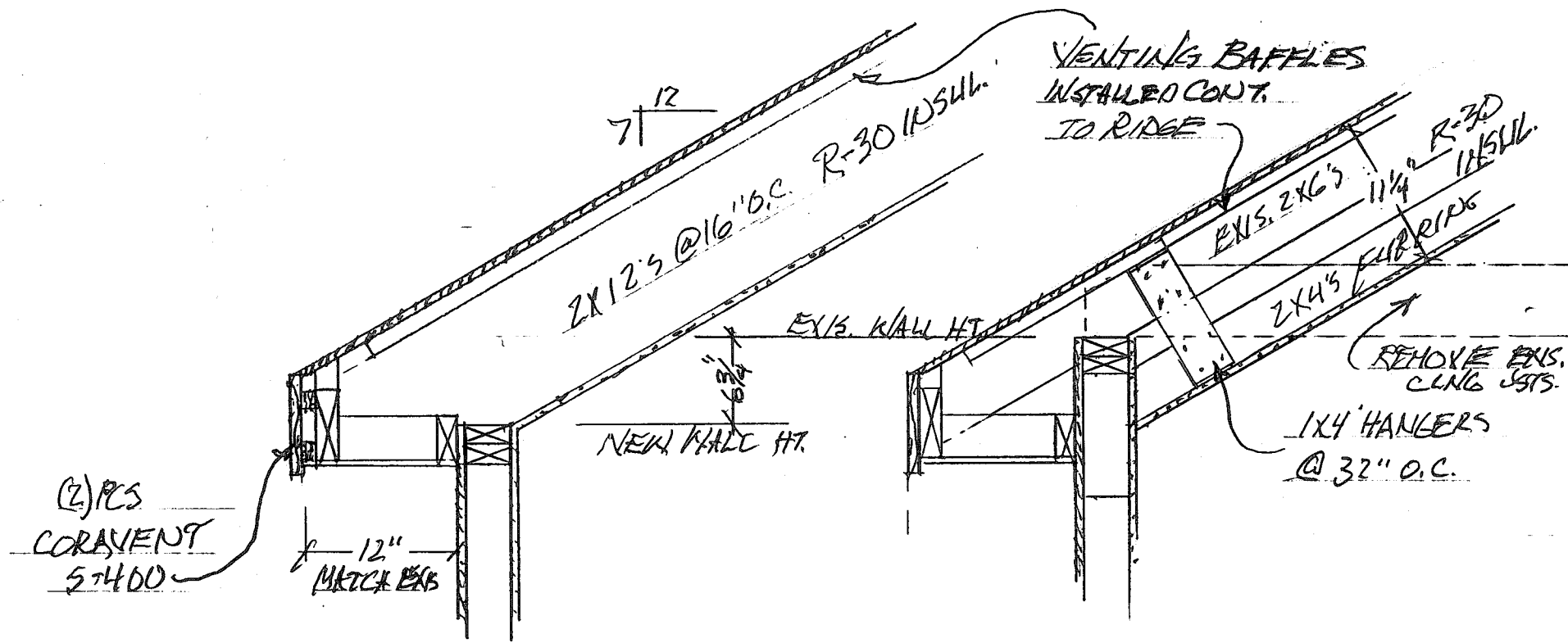
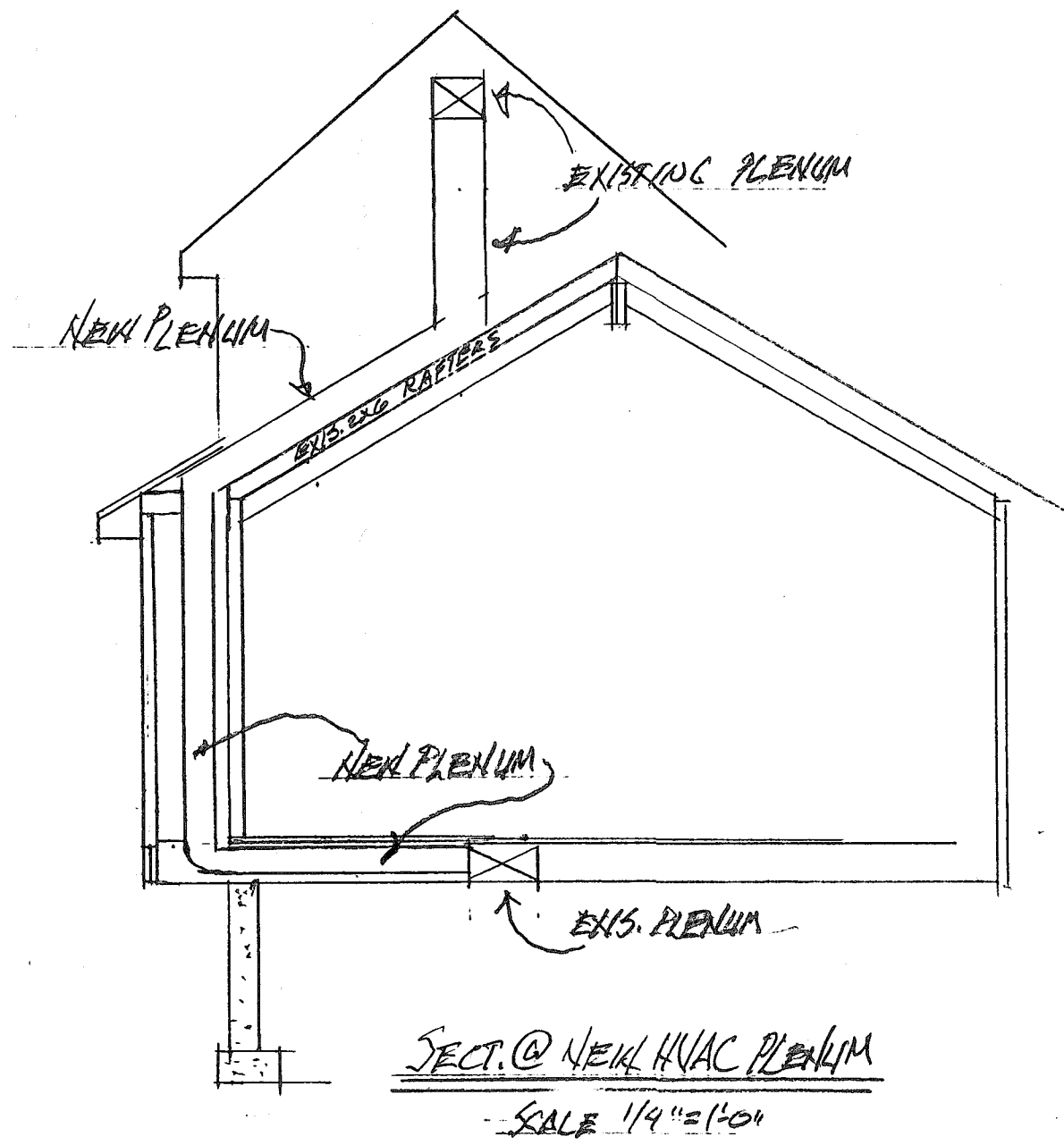


232 SQ. FT. NEW LIVING SPACE
 90 SQ. FT. NEW GARAGE
 37 SQ. FT. NEW COVERED PORCH
 * 359 SQ. FT. TOTAL NEW BUILDING *

REMODEL PLAN 1ST FLOOR
 SCALE 1/4" = 1'-0"

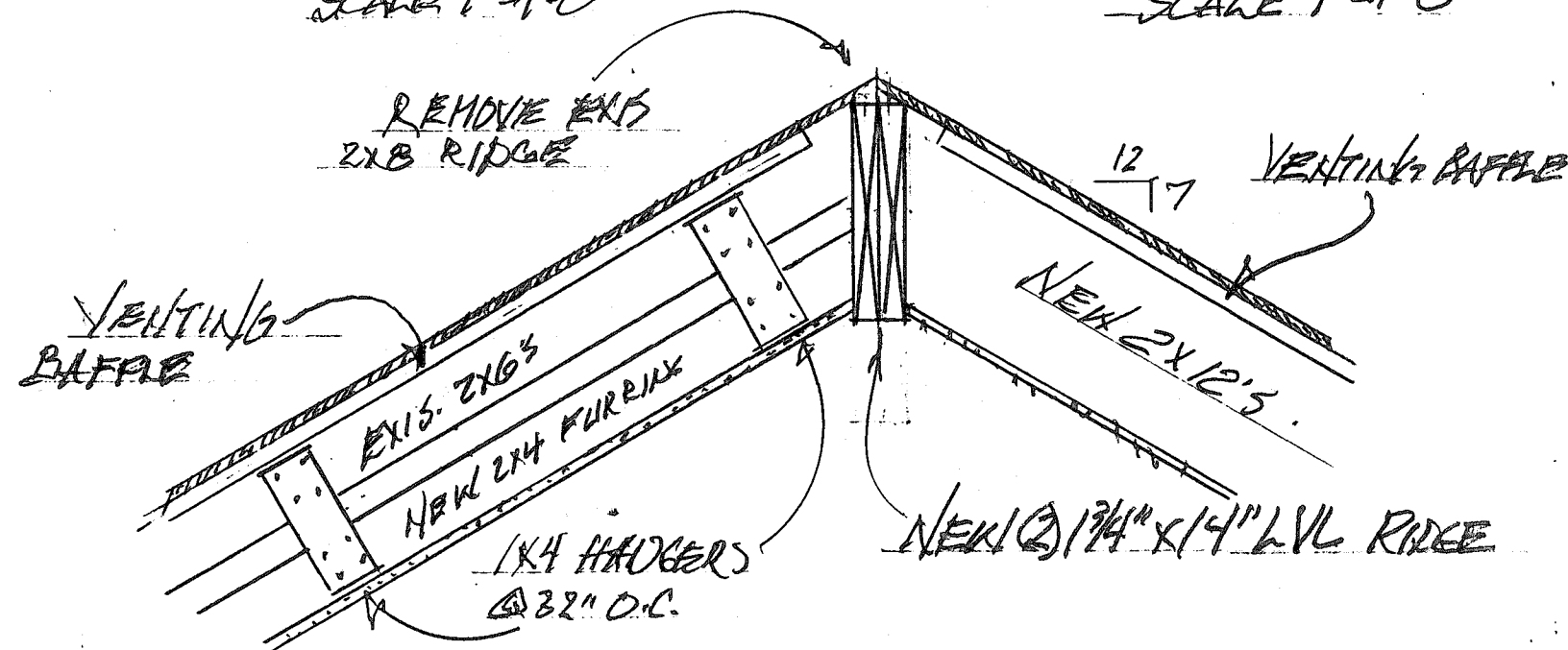


SECOND FLOOR / ROOF PLAN
 SCALE 1/4" = 1'-0"

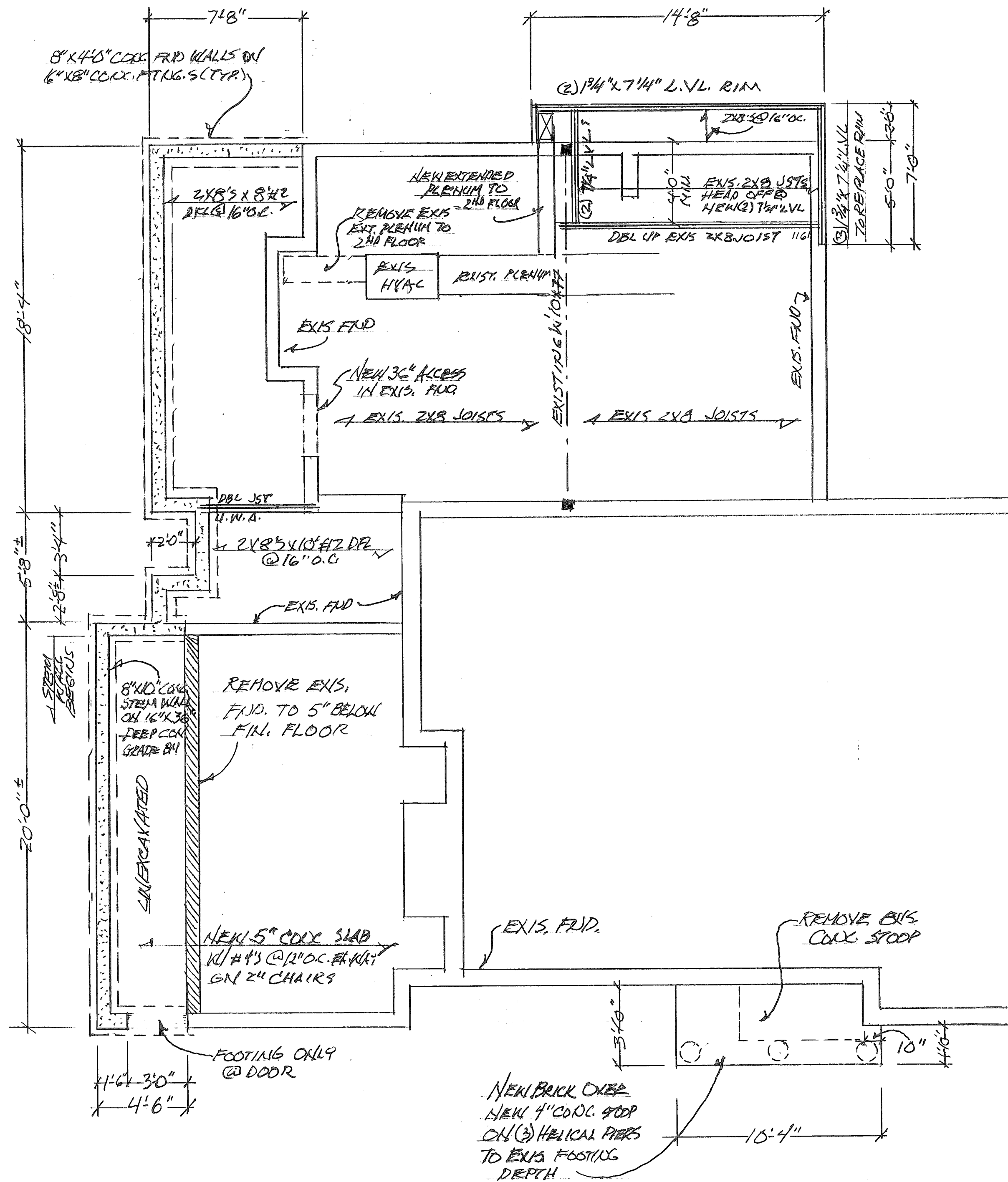


NEW EAVE SECTION
SCALE 1" = 1'-0"

EXIST. EAVE SECT. W/ VAULT FURRING
SCALE 1" = 1'-0"



RIDGE SECT.
SCALE 1 1/2" = 1'-0"



FOUNDATION/PIER PLAN
SCALE 1/4" = 1'-0"

February 5, 2024

FALK FAMILY REVOCABLE TRUST
4519 W 74TH PL
PRAIRIE VILLAGE, KS 66208

Dear Neighbors,

We are writing to make you aware of our plans to expand our family room and our garage on our home at 4519 W 74th Place. We are requesting a variance from the City of Prairie Village Board of Zoning Appeals to locate the expansions closer to the side property line than what is proscribed by the zoning regulations. The regulations stipulate that structures be no closer to the property line than 6 feet and that there be a minimum of 12 feet to neighboring structures. We are asking to expand our garage 4.5 feet which will put it at 3 feet from the property line, although it will be 17.1 feet from the neighboring structure. The expansion of the family room will put it at 5.44 feet from the property line and 19.54 feet from the neighboring structure.

As required by the Board of Zoning Appeals we are providing our neighbors with an opportunity to raise any questions or concerns regarding our request for this variance. Accordingly, we are holding a meeting on the driveway of our home at 4519 W. 74th Place for you to express those concerns and to answer your questions regarding our request. You are invited but not required to attend. We will submit a record of this meeting to the PVBZA identifying attendees and describing any concerns expressed.

The meeting will be held on Thursday, February 15, 2024, at 5:00 p.m.

Thank you,

John & Nancy Falk
4519 W. 74th Place
Prairie Village, KS 66208

Hi Adam,

I am writing to inform you of the outcome of the Neighborhood Meeting we held on Thursday 15-Feb-24 at 5:00 p.m.

We mailed letters via USPS to the 23 neighbors within 200' of our property on Monday 05-Feb-24, as were represented on the list you supplied.

Attached is a copy of the letter we mailed to ourselves to gauge the receipt time by our neighbors. We received on Wednesday 07-Feb-24, eight (8) days prior to the meeting.

We had one (1) neighbor attend the meeting that evening. The neighbor was Lynn Terry, who resides at 4518 W 74th Place (across the street from our residence).

We informed her of our proposed plans (including the requested variance), she reviewed the proposed drawings, and she had no objections to our intentions.

Please let us know if you have any further questions.

Best regards,

John and Nancy Falk
E john.k.falk@gmail.com
C 913-34-7216

STAFF REPORT

TO: Prairie Village Board of Zoning Appeals
FROM: Chris Brewster, Multistudio, Planning Consultant
DATE: March 5, 2024 Board of Zoning Adjustment Meeting

Application: BZA 2024-02

Request: Variance of 0.83 feet to the side setback, to allow a garage addition.

Action: *A variance request requires the Board of Zoning Appeals to evaluate facts and weigh evidence, and a majority of the Board must find that all 5 criteria for a variance have been met in order to approve the request.*

Property Address: 7328 Cherokee Drive

Applicant: Gary Calvin; Mary Burger, owner

Current Zoning & Use: R-1B Single-Family Residential - Single-Family Dwelling

Surrounding Zoning & Use: **North:** R-1B Single-Family Residential – Single-Family Dwellings
East: R-1B Single-Family Residential - Single-Family Dwellings
South: R-1B Single-Family Residential - Single-Family Dwellings
West: R-1B Single-Family Residential – Single-Family Dwellings

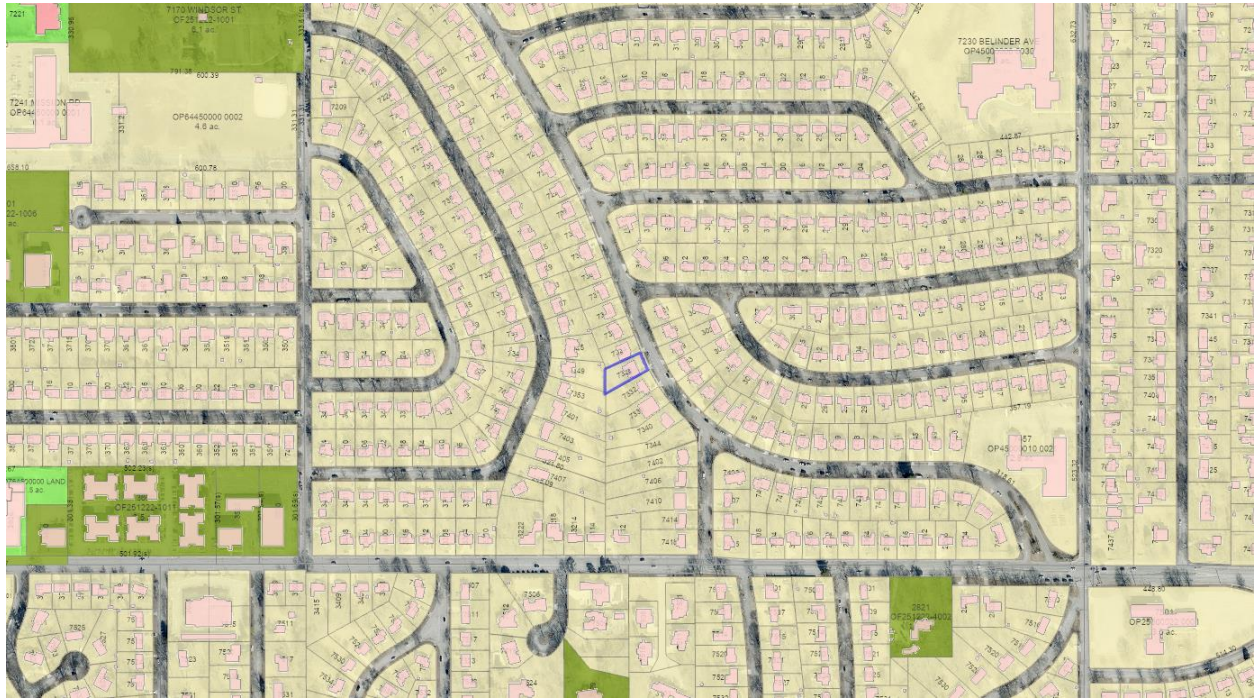
Legal Description: PRAIRIE HILLS LOT 36, BLK 12

Property Area: 0.24 acres (10,357.07 s.f.)

Related Case Files: None

Attachments: Application, variance request form, lot and building plans

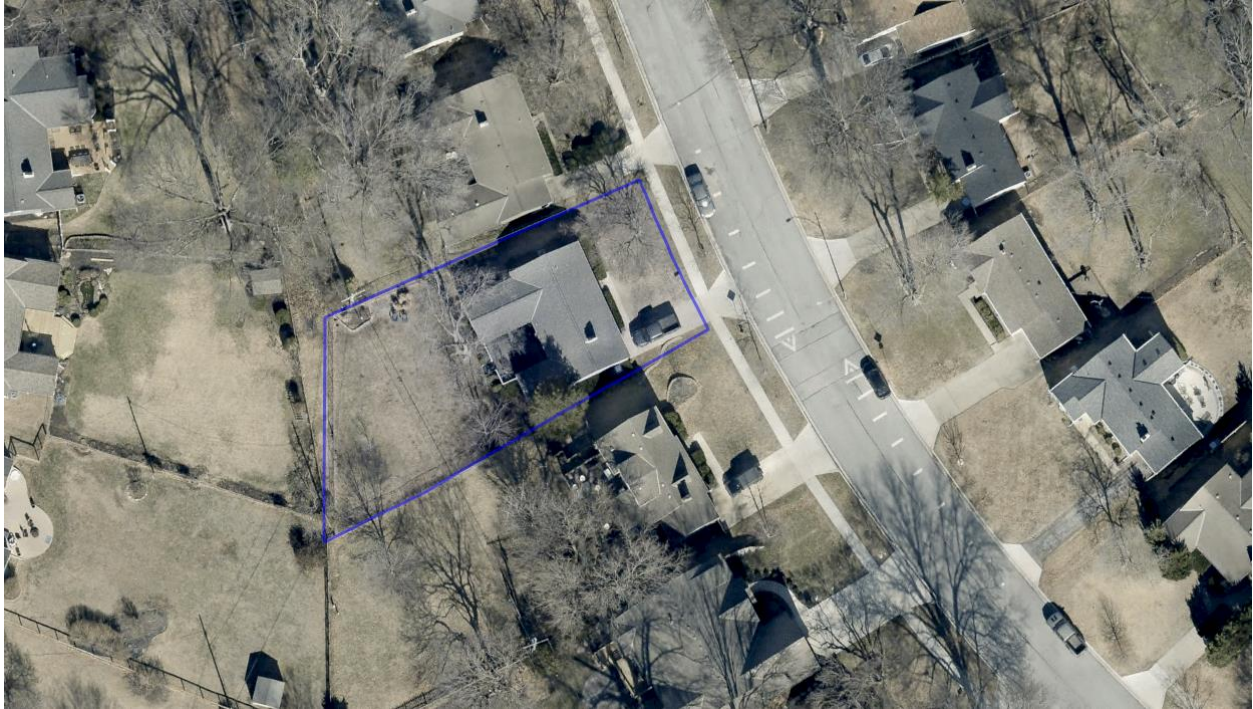
General Location – Map



Aerial Map



Aerial Site



Birdseye View



Birdseye View



Street View



Looking southwest on Cherokee – Subject property on the right

SUMMARY:

This application requests a variance from 6 feet to 5.17 feet, on the south side yard lot line to allow the expansion of an existing garage. The expansion is associated with a 4 feet expansion of the rear living space, which complies with the side setback on the rear lot line. However the front portion where the garage is located would extend 0.83 feet into the side setback due to the skew of the house on the lot. This requires approval of the Board of Zoning Appeals according to the variance criteria.

DETAILS:

The applicant is requesting a variance from [Section 19.08.015](#) to allow a garage addition to be built 5.13 feet from the front setback, rather than the required 6 feet.

The property is zoned R-1B which requires the following for side setbacks:

- 6' minimum on each side
- 20% of lot width minimum between both sides;
- At least 12' between adjacent buildings.

[Section 19.08.015; Table 19.08A](#)

The garage addition would extend for approximately 20 feet along the side setback line and has a 1.5 story gabled elevation. The proposal adds approximately 4 feet from the exterior of the current building, and is associated with an expansion of the rear living space. This complies with the required side setback at the rear of the building, due to the skew of the house on the lot. However, when extending the 4 feet at the garage, it results in a 0.83 feet encroachment into the side setback at the front lot line. It would change the interior garage space width from approximately 10 feet to approximately 14.5 feet.

The addition would be more than the required 12 feet from the adjacent structure (17.25). The house on the adjacent lot is approximately 12.17 feet from the side lot line. The subject house would also meet the required 20% cumulative setbacks as it is 9.83 feet from the side setback on the opposite side lot line. (15 feet total side setbacks is 23.08% of the 65-foot lot width).

The applicant had a neighborhood meeting on February 22, 2024 as required by the Prairie Village Resident Participation Policy and has supplemented the application with background on that meeting.

VARIANCE ANALYSIS (BOARD OF ZONING APPEALS):

[Section 19.54.030](#) of the Zoning Ordinance requires the Board to find that **all five** of the following conditions are met in order to grant a variance. If the Board finds that even one of these conditions is not met, a variance should not be granted:

A. Uniqueness

That the variance requested arises from such condition which is unique to the property in question and which is not ordinarily found in the same zone or

district; and is not created by an action or actions of the property owner or the applicant.

In order for the property to meet the condition of uniqueness, it must have some peculiar physical surroundings, shape, or topographical condition that would result in a practical difficulty as distinguished from a mere inconvenience to utilize the property without granting the variance.

The property was platted and the structure was built in 1950. It is one of several 65 feet wide lots that fronts on Cherokee Drive. Most other lots on the street are either 67 feet wide (opposite side) or are between 67 and 70 feet (north and south of this lot.) The curve of Cherokee Drive to the south causes some slight irregularities in the lots moving south – on the west side (subject lot) they are slightly narrower at the front and wider at the back; on the east side (opposite) they are slightly wider at the front and narrower at the back. The houses all sit slightly off center on the lots, with the garage-sides having a smaller setback, and the non-garage sides having a larger setback.

B. Adjacent Property

That the granting of the permit for the variance would not adversely affect the rights of adjacent property owners or residents.

The existing house has a 1.5 story profile on the side, and the proposed addition maintains this profile, which is under the building height which would otherwise be allowed to be built at the side setback. The property on the lot adjacent to the requested variance is 12.25 feet from the side setback. Based on current standards it could generally build to 6 feet from the property line; however, if the variance is granted it would reduce this by approximately 0.83 feet to maintain the required 12-foot separation (unless a future variance is granted).

C. Hardship

That the strict application of the provisions of these regulations from which a variance is requested will constitute an unnecessary hardship upon the property owner represented in the application.

The existing house has a single-car garage, and an expansion that is compliant with the ordinance would mean a slight reduction in the allowable garage expansion. Additionally, by maintaining the proposed wall plane for the entire length of the expansion would result in the rear addition not extending to the allowed setback. While the proposal retains a single-car garage the expansion does allow for additional maneuvering space and storage (interior width of approximately 10 feet expanded to approximately 14.5 feet).

D. Public Interest

That the variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare.

The proposed addition is maintaining the scale and character of the existing house, and of other similar homes in the area. The proposal will still maintain the minimum separation of buildings (17.25 feet where 12 feet is required); however, it could slightly impact potential expansions of the adjacent house if the required separation

is maintained (i.e. allow expansion could be 0.83 feet less than is otherwise permitted.)

E. Spirit and Intent of the Regulation

That the granting of the variance desired would not be opposed to the general spirit and intent of these regulations.

Side setbacks are intended to manage the relationship of adjacent buildings. In this case the buildings will remain separated by the minimum required separation, despite the proposed addition extending over the minimum required setback. Additionally, the building is maintaining the current 1.5 story side elevations, which reduces the potential impact on adjacent property more than what could otherwise be built within the required setbacks (29 feet height limit at the 6 feet side setback). While the variance may impact potential future expansion plans on the adjacent property (if the required building separation is maintained), most homes on this street exhibit a pattern of having larger side setbacks on the “living area” side, and smaller side setbacks on the non-living area side.

EFFECT OF DECISION:

After reviewing the information submitted and considering the testimony during the public hearing, if the Board finds that **all five conditions** can be met as required by state statutes and [Section 19.54.030](#) of the Prairie Village Zoning Ordinance, then it may grant the variance. If the Board does approve the variance, it should be subject to the following conditions:

1. That the variance be granted only to the extent shown with the submitted application and based on submitted plans and elevations.
2. The variance, if approved, be recorded with the County Register of Deeds within 1 year of approval.

Please indicate below the extent to which the following standards are met, in the applicant's opinion. Provide an explanation on a separate sheet for each standard which is found to be met.

1. UNIQUENESS

Yes ___ No

The variance requested arises from conditions which are unique to the property in question, which are not ordinarily found in the same zoning district, and which are not caused by actions of the property owners or applicant. Such conditions include the peculiar physical surroundings, shape, or topographical condition of the specific property involved which would result in a practical difficulty or unnecessary hardship for the applicant, as distinguished from a mere inconvenience, if the requested variance was not granted.

2. ADJACENT PROPERTY

Yes ___ No

The granting of the variance will not be materially detrimental of adversely affect the rights of adjacent property owners or residents.

3. HARDSHIP

Yes ___ No

The strict application of the provision of the zoning regulations from which a variance is requested will constitute an unnecessary hardship upon the applicant. Although the desire to increase the profitability of the property may be an indication of hardship, it shall not be sufficient reason by itself to justify the variance.

4. PUBLIC INTEREST

Yes ___ No

The variance desired will not adversely affect the public health, safety, morals, order, convenience, or general welfare of the community. The proposed variance shall not impair an adequate supply of light or air to adjacent property, substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety, or substantially diminish or impair property values within the neighborhood.

5. SPIRIT AND INTENT

Yes ___ No

Granting the requested variance will not be opposed to the general spirit and intent of the zoning regulations.

6. MINIMUM VARIANCE

Yes ___ No

The variance requested is the minimum variance that will make possible the reasonable use of the land or structure.

SIGNATURE: Garry Calvin DATE 2-7-2024

BY: GARRY CALVIN
TITLE: AGENT
GENERAL CONTRACTOR

Application for Board of Zoning Appeals.

Standards:

1. **UNIQUENESS:** Home is typical Prairie Village ranch with one car garage. Proposed addition will allow the homeowner(s) to park a pickup truck in the garage and have storage for lawn equipment. Homeowner suffered vehicle damage recently when a motorist collided with the homeowner's car parked on the street. Two people live in this house and need parking for two vehicles off the street. Homeowner is desirous of increasing the size of an existing family room addition. Adding 4' to the family room does not exceed the current sideline set back, but because the side lot lines are not parallel, extending a 4' addition crosses the setback line by less than 1' at the front of the home. Please see design plans. Side walls and roof lines are lined up in an appealing manner.
2. **ADJACENT PROPERTY:** The house on the adjacent property is 12' from the common property line. The addition of 4' to the homeowner's existing garage will place the new garage wall 5' 2" from the common property line. Walls of the two homes will be 17' 2" apart. It is not uncommon for homes in this area to have two homes closer together than 17' 2". No additional noise or visual effect will occur by the construction of the garage addition.
3. **HARDSHIP:** Inability to use a garage is a hardship. Vehicle is necessary for the homeowner's chosen hobby.
4. **PUBLIC INTEREST:** Keeping cars parked on private property is a benefit to the neighborhood. No adverse effects will occur with 4' addition to an existing house.
5. **SPIRIT AND INTENT:** Residential zoning and side lot line setbacks create needed space to enjoy the benefits of homeownership and visually appealing neighborhoods. The scope of this project will not materially affect the needed visual separation of two houses on the same street.
6. **MINIMUM VARIANCE:** As stated above the design shows a straight wall that adds 4' of width to a 10' wide existing family room and a 12' wide garage. The design when the addition is completed will look as if the home were built from original plans including the additional space that this construction will provide. Designers feel that this addition is the minimum amount that will provide a true benefit to the homeowner both in the garage and the family room.

GARRY CALVIN, AGENT
Garry Calvin

The Board may grant a variance only upon finding that the requirements of PVMC 19.44.070 have been met. The following is intended as a simplified discussion of the criteria considered in the request for a variance and is provided for your convenience and assistance in making your request. While this discussion is intended to be helpful, the Board is governed by its interpretation of PVMC 19.44.070 as applied to the facts and circumstances of your case and the following simplified discussion is not intended to be an exhaustive analysis of all applicable principles.

Criteria #1 – That the variance requested arises from such condition which is unique to the property in question and which is not ordinarily found in the same zone or district, and is not created by an action or actions of the property owner or applicant.

The variance must arise from a condition of the property. That condition must be unique to the property. That does not mean that the condition is “unique” but rather that it is “unique to the property;” that is, the condition relates solely to the property and not to external factors, structures, etc. The condition must not be ordinarily found in the zone or district; i.e., the condition must not exist with respect to a number of properties. Its occurrence must be infrequent. The owner/applicant cannot have done anything to the property which caused the condition. This does not refer to what the owner proposes with the variance, but some act done with the property; for example, subdividing a lot that causes the condition from which relief is sought.

Criteria #2 – That the granting of the permit for the variance will not adversely affect the rights of adjacent property owners or residents.

The variance may not adversely affect the rights of adjacent property owners. The crucial terms here are “adversely” and “rights”. While objections of adjacent property holders will be heard and considered, the variance proceeding is not a plebiscite. The Board will consider whether or not any impact on adjacent property holders constitutes an adverse affect on their rights.

Criteria #3 – That the strict application of the provisions of this title of which variance is requested will constitute unnecessary hardship upon the property owner represented in the application.

A variance may be granted where strict application will result in unnecessary hardship. Unnecessary hardship shall be considered to mean that the property owner cannot do with his property that which others can ordinarily do and/or that which is a reasonable expectation for a similar property owner and /or where special circumstances of the particular property exist.

Criteria #4 – That the variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare.

The variance may not adversely affect the public interest. The Board shall consider the impact of the requested variance upon the concerns of the public; such as fire protection, environmental impact, police protection, vision, safety and morals.

Criteria #5 – That granting the variance desired will not be opposed to the general spirit and intent of this title.

The variance must not conflict with the intent and spirit of the zoning regulation. The Board shall consider that the zoning regulation was adopted for a purpose; such as, green space, traffic safety, light and air, neighborhood conformity, etc. Therefore, the Board will evaluate whether or not the variance requested will conflict with that purpose.

Please indicate below the extent to which the following standards are met, in the applicant's opinion. Provide an explanation on a separate sheet for each standard which is found to be met.

1. **UNIQUENESS** Yes No

The variance requested arises from conditions which are unique to the property in question, which are not ordinarily found in the same zoning district, and which are not caused by actions of the property owners or applicant. Such conditions include the peculiar physical surroundings, shape, or topographical condition of the specific property involved which would result in a practical difficulty or unnecessary hardship for the applicant, as distinguished from a mere inconvenience, if the requested variance was not granted.

2. **ADJACENT PROPERTY** Yes No

The granting of the variance will not be materially detrimental of adversely affect the rights of adjacent property owners or residents.

3. **HARDSHIP** Yes No

The strict application of the provision of the zoning regulations from which a variance is requested will constitute an unnecessary hardship upon the applicant. Although the desire to increase the profitability of the property may be an indication of hardship, it shall not be sufficient reason by itself to justify the variance.

4. **PUBLIC INTEREST** Yes No

The variance desired will not adversely affect the public health, safety, morals, order, convenience, or general welfare of the community. The proposed variance shall not impair an adequate supply of light or air to adjacent property, substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety, or substantially diminish or impair property values within the neighborhood.

5. **SPIRIT AND INTENT** Yes No

Granting the requested variance will not be opposed to the general spirit and intent of the zoning regulations.

6. **MINIMUM VARIANCE** Yes No

The variance requested is the minimum variance that will make possible the reasonable use of the land or structure.

SIGNATURE: Mani Bueger DATE 4/23/24

BY: _____
TITLE: _____

The 7328 Cherokee Drive property is on a pie-shaped lot, precluding a 4' increase in width from front to back. The south side of the property's distance from the adjacent house is more than adequate to allow the 1' or less setback as required by code for the garage portion. The owners would like a 4' addition from the garage back to the end of the family room.

Thank you,

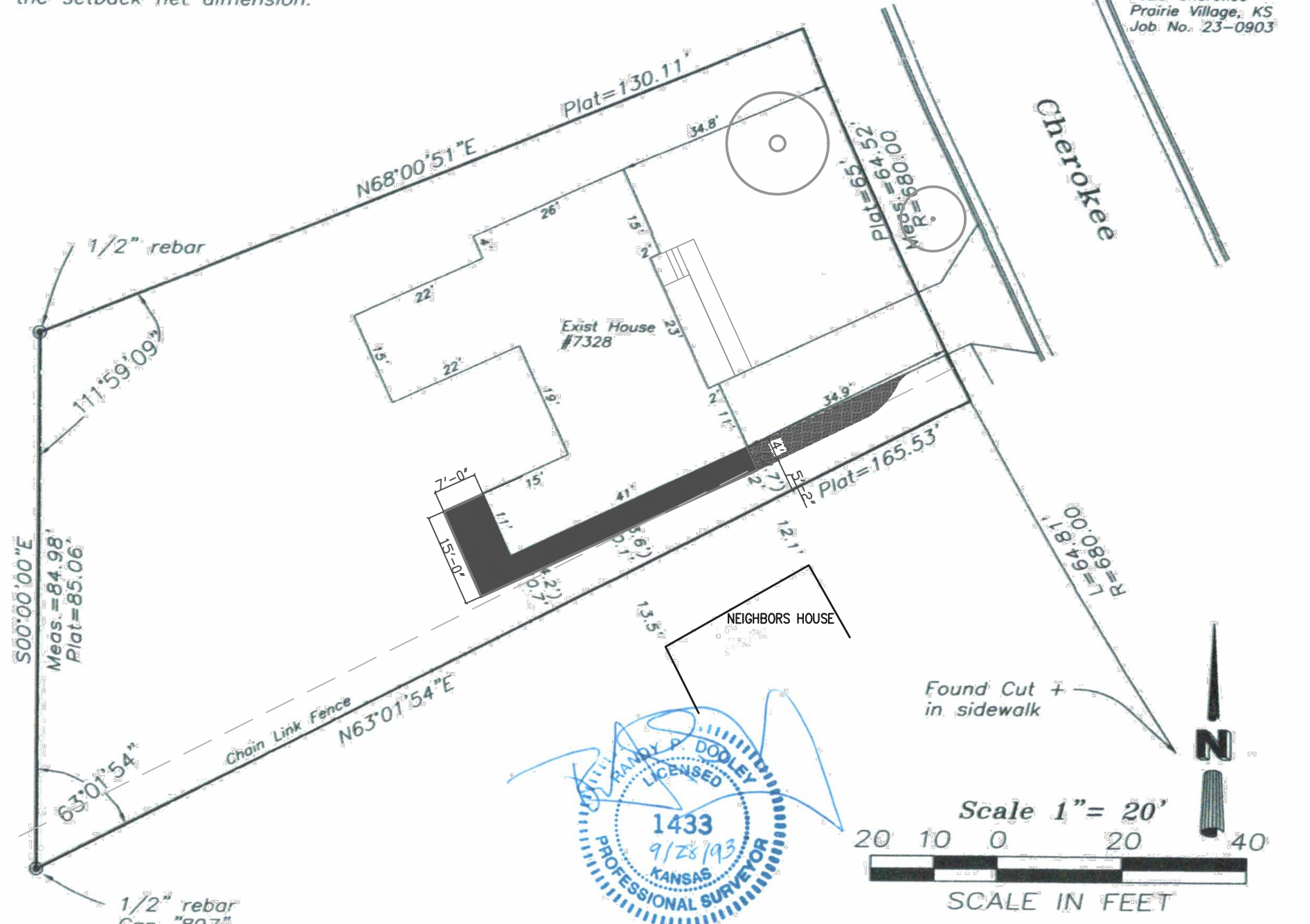
Mary Burger

FASTENING SCHEDULE <small>(FOR PNEUMATIC NAILER SIZES SEE NAIL SIZE SCHEDULE BELOW)</small>		
COMPONENT	MATERIAL	FASTENERS
ROOF SHEATHING	7/16" APA RATED PLYWOOD	16 GA x 1 3/4" STAPLES OR 8d COMMON NAILS @ 6" O.C. EDGES AND 12" O.C. IN FIELD
	1x4 #3 FURRING	1/2" CROWN STAPLES
FLOOR SHEATHING	3/4" APA RATED TONGUE AND GROOVE PLYWOOD	8d COMMON NAILS @ 6" O.C. EDGES AND 12" O.C. IN FIELD
		14 GA. x 1 3/4" STAPLES @ 16" O.C. EDGES AND 12" O.C. IN FIELD
CEILING COVERING	1/2" GYPSUM WALL BOARD	12.5 GA. 1 1/2" RING OR SCREW SHANK NAILS @ 6" O.C. EDGES AND 12" O.C. IN FIELD
		5d COOLER NAIL (.086 DIA., 1 5/8" LONG, 15/64" HEAD) OR GYPSUM BOARD NAILS (.086 DIA., 1 5/8" LONG, 15/64" HEAD) @ 7" O.C.
INTERIOR WALL COVERING (NON-BRACED WALLS)	1/2" GYPSUM WALL BOARD	5d COOLER NAIL (.086 DIA., 1 5/8" LONG, 15/64" HEAD) OR GYPSUM BOARD NAILS (.086 DIA., 1 5/8" LONG, 15/64" HEAD) @ 7" O.C.
		13 GA. (1 3/8" LONG, 19/64" HEAD) OR 1 1/4" ANNULAR RINGED (.098 DIA.) @ 12" O.C.
EXTERIOR WALL COVERING	MINIMUM 3/8" WOOD STRUCTURAL PANEL SHEATHING. RECOMMENDED 7/16" WOOD STRUCTURAL PANEL SHEATHING	6d COMMON NAILS @ 6" O.C. EDGES AND 12" O.C. IN THE FIELD.
		15 GA. STAPLES @ 4" O.C. EDGES AND 8" O.C. IN THE FIELD
CONVENTIONAL WOOD FRAMED WALLS	SUPPORTING ONE FLOOR ROOF AND CEILING <12'-0" TALL: 2x4'S @ 16" O.C. GRADE #3, STANDARD OR STUD GRADE DOUG.-FIR.	-TOE NAIL STUD TO SOLE PLATE W/ (3) 8d OR (2) 16d NAILS -END NAIL TOP PLATE AND SOLE PLATE TO STUD W/ (2) 16d NAILS -FACE NAIL DBL. STUDS W/ 10d NAILS @ 24" O.C. -FACE NAIL JACK STUDS/TRIMMERS TO SUPPORTING HEADERS W/ 10d NAILS @ 6" O.C. -FACE NAIL DBL. TOP PLATES W/ 10d NAILS @ 16" O.C.
	SUPPORTING TWO FLOOR ROOF AND CEILING <10'-0" TALL: 2x4'S @ 16" O.C. GRADE #3, STANDARD OR STUD GRADE DOUG.-FIR.	-FACE NAIL MIN. 48" OFFSET OF DBL. TOP PLATES W/ (8) 16d NAILS -FACE NAIL DBL. TOP PLATES @ CORNERS & INTERSECTIONS W/ (2) 10d NAILS -FACE NAIL SOLE PLATE TO FLOOR FRAMING W/ 16d NAILS @ 16" O.C. -FACE NAIL BRACED WALL PANEL SOLE PLATE TO FLOOR FRAMING W/ (3) 16d NAILS @ 16" O.C.
CONVENTIONAL WOOD HEADERS	SEE PLANS FOR SIZE AND LOCATION	-TOE NAIL HEADERS TO WALL STUDS W/ (4) 8d NAILS @ EACH END -FACE NAIL DOUBLE OR TRIPLE PIECE HEADERS W/ 16d NAILS @ 16" O.C. ALONG EACH EDGE
RAFTER TIES	MIN 2x4'S @ EACH RAFTER SEE PLANS FOR SIZE AND LOCATION	FACE NAIL TO RAFTERS IN LOWER 1/3 OF ATTIC SPACE W/ (3) 8d NAILS EACH END.
COLLAR TIES	MIN. 1x4'S @ 48" O.C.	FACE NAIL TO RAFTERS IN UPPER 1/3 OF ATTIC SPACE W/ (3) 10d NAILS EACH END
A) ALL STRUCTURAL PANEL SHEATHING TO BE APPLIED PERPENDICULAR TO JOISTS W/ STAGGERED ENDS. B) RAFTER TIES SHALL NOT BE REQUIRED WHEN A STRUCTURAL RIDGE HAS BEEN PROVIDED AND ADEQUATELY DESIGNED (AS IN A FULLY VAULTED ROOM). SEE PLANS FOR SIZES AND LOCATIONS.		
COMPONENT	FASTEN TO	FASTENERS
RAFTERS	RIDGE/ HIP/ VALLEY	TOENAIL W/ (4) 16d NAILS AND FACE NAIL W/ (3) 16d NAILS
	TOP PLATE	TOENAIL W/ (3) 16d NAILS
CEILING JOISTS	TOP PLATE	TOENAIL W/ (3) 8d NAILS EA. END
FLOOR JOISTS	WHERE PARALLEL TO RAFTERS	FACE NAIL W/ (3) 10d NAILS
	TO BEARING	TOENAIL W/ (2) 16d NAILS EA. END
INTERIOR BRACED WALL PANELS	PERPENDICULAR TO FRAMING: ATTACH TO FRAMING MEMBERS & SOLID BLOCKING BETWEEN FRAMING MEMBERS ABOVE & BELOW	(3) 16d NAILS @ 16" O.C.
	PARALLEL TO FRAMING: ATTACH TO FRAMING MEMBER ABOVE & BELOW	

NAIL SIZE SCHEDULE									
TYPE	DIMENSION	6d NAIL	7d NAIL	8d NAIL	10d NAIL	12d NAIL	16d NAIL	20d NAIL	30d NAIL
COMMON	LENGTH	2"	2 1/4"	2 1/2"	3"	3 1/4"	3 1/2"	4"	4 1/2"
	DIAMETER	.113"	.113"	.131"	.148"	.148"	.162"	.192"	.207"
	HEAD DIA.	.266"	.266"	.281"	.312"	.312"	.344"	.406"	.438"
BOX	LENGTH	2"	2 1/4"	2 1/2"	3"	3 1/4"	3 1/2"	4"	4 1/2"
	DIAMETER	.099"	.099"	.133"	.128"	.128"	.135"	.148"	.148"
	HEAD DIA.	.266"	.266"	.297"	.312"	.312"	.344"	.375"	.375"
SINKER	LENGTH	1 7/8"	2 1/8"	2 3/8"	2 7/8"	3 1/8"	3 1/4"	3 3/4"	4 1/4"
	DIAMETER	.092"	.099"	.133"	.12"	.135"	.148"	.177"	.192"
	HEAD DIA.	.234"	.250"	.266"	.281"	.312"	.344"	.375"	.406"

Results of Survey.
Per zoning your side yard setback is 6.5'. The dimension in (xx.x) is the setback net dimension.

PRUITT AND DOOLEY SURVEYING, LLC
7912 Elm Ave., Roytown, MO 64138
Tele. -913-652-9002
EXHIBIT



7328 Cherokee
Lot 36, Block 12, PRAIRIE HILLS, Prairie village, KS
Mary Burger
7328 Cherokee
Prairie Village, KS
Job No. 23-0903



BURGER RESIDENCE

DESIGNED BY CARRIE CRAIG
3519 W. 63rd St. Mission Hills, Ks. 66208 913-706-5757
AN ADDITION FOR:

7328 CHEROKEE DR PRAIRIE VILLAGE, Ks. 66208

LOAD AND DEFLECTION LIMITATIONS						
AREA	CONDITION	MIN. LOADS (PSF) (A)		DEFLECTIONS (B)		NOTES
		LIVE	DEAD	LIVE	TOTAL	
DECKS		40 (G)	10	L/240	L/180	USE WET FACTOR
EXTERIOR BALCONIES	CANTILEVER FLOOR EXCEEDING 3 FEET	40 (G)	10	L/240	L/120	
CEILING JOISTS	WITH LIMITED STORAGE (A,H,I)	20	10	L/240	L/180	LL/360 TL/240 FOR PLASTER CLGS.
	WITHOUT STORAGE (A)	10	5			
FLOORS	NON-SLEEPING	40	10	L/360	L/240	LL/720 FOR 2" MUDBASE TILE.
	SLEEPING AREAS	30	10	L/360	L/240	
ROOFS	LIGHT COVERING	20	10(20 IN LEAWOOD)			GROUND SNOW LOAD 20 PSF
	HEAVY COVERING (C)	20	20			
	NO CEILING-SLOPE>5:12			L/180	L/120	WITH CEILINGS
	NO CEILING-SLOPE<5:12			L/240	L/180	LL/240-TL/180
STAIRS		40 (F)	10			
PASSENGER VEHICLE GAR.		50 (D)				
EXTERIOR WALLS-WIND	BRITTLE FINISH(STUCCO/PLAS) (J)			L/360		
	BRITTLE FINISH(OTHER)			L/240		
	FLEXIBLE FINISH			L/120(K)		
LINTELS	SUPPORTING MASONRY WALLS (L)			L/600		
HAND RAIL/GUARDRAIL		200 LBS. IN ANY DIRECTION				

LOT SIZE IS 10,357 SQUARE FEET
EXISTING FOOTPRINT IS 1723 SQUARE FEET
PROPOSED ADDITION IS 271 SQUARE FEET
EXISTING DECK IS 295 SQUARE FEET
EXISTING CONCRETE DRIVE, SIDEWALK AND PORCH IS 496 SQUARE FEET
ADDITION TO CONC. DRIVE IS 96 SQUARE FEET
TOTAL IMPERVIOUS LOT COVERAGE IS 2881 SQUARE FEET
THE IMPERVIOUS SURFACE IS 27.8% OF THE LOT

- (A) LOAD VALUES FROM 2018 IRC TABLE R301.5, R301.6 AND R301.7
- (B) ALLOWABLE DEFLECTIONS ARE FROM 2018 IRC TABLE R301.7
- (C) HEAVY ROOF COVERING WILL NOT BE INSTALLED OR USED IN THE DESIGN CALCULATIONS UNLESS ITS SPECIFICALLY NOTED ON THE PLANS THAT THE DESIGN IS FOR A HEAVY ROOF COVERING
- (D) ELEVATED GARAGE FLOORS SHALL BE CAPABLE OF SUPPORTING A 2000 POUND LOAD APPLIED OVER A 20 SQ. IN. AREA
- (E) ATTICS WITHOUT STORAGE ARE THOSE ATTIC AREAS THAT ARE NOT ACCESSED BY A PULL DOWN STAIR, OR A SCUTTLE WITH A DIMENSION OF LESS THAN OR EQUAL TO 30" HIGH BY 24" WIDE.
- (F) INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300 POUND CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQ. INCHES WHICHEVER PRODUCES THE GREATER STRESSES.
- (G) SEE SECTION R502.2.2 FOR DECKS ATTACHED TO EXTERIOR WALLS
- (H) FOR ATTICS WITH LIMTED STORAGE ARE THOSE WHERE THE MAXIMUM CLEAR HEIGHT BETWEEN JOIST AND RAFTERS IS 42" OR GREATER, OR CONSTRUCTED WITH TRUSSES, THIS LIVE LOAD NEED BE APPLIED ONLY TO THOSE PORTIONS OF THE BOTTOM CHORD WHERE THERE ARE TWO OR MORE ADJACENT TRUSSES WITH SAME WEB CONFIGURATION CAPABLE OF A RECTANGLE 42" BY 24" WIDE OR GREATER, LOCATED WITHIN A PLANE OF THE TRUSSES. THE RECTANGLE SHALL FIT BETWEEN THE TOP OF THE BOTTOM CHORD AND THE BOTTOM OF AN OTHER TRUSS MEMBER.
- (I) ATTIC SPACES SERVED BY A FIXED STAIR SHALL BE DESIGNED TO SUPPORT THE MINIMUM LIVE LOAD SPECIFIED FOR SLEEPING ROOMS.
- (J) THE WIND LOAD SHALL BE PERMITTED TO BE TAKEN AS 0.7 TIMES THE COMPONENT AND CLADDING LOADS FOR THE PURPOSE OR THE DETERMINING DEFLECTION LIMITS HEREIN.
- (K) DEFLECTION FOR EXTERIOR WALLS WITH INTERIOR GYPSUM FINISH SHALL BE LIMITED TO AN ALLOWABLE DEFLECTION OF L/180 OR THE DETERMINING DEFLECTION LIMITS HEREIN.
- (L) REFER TO SECTION R703.7.2.

REVISIONS

DATE
1-30-2024
JOB No.

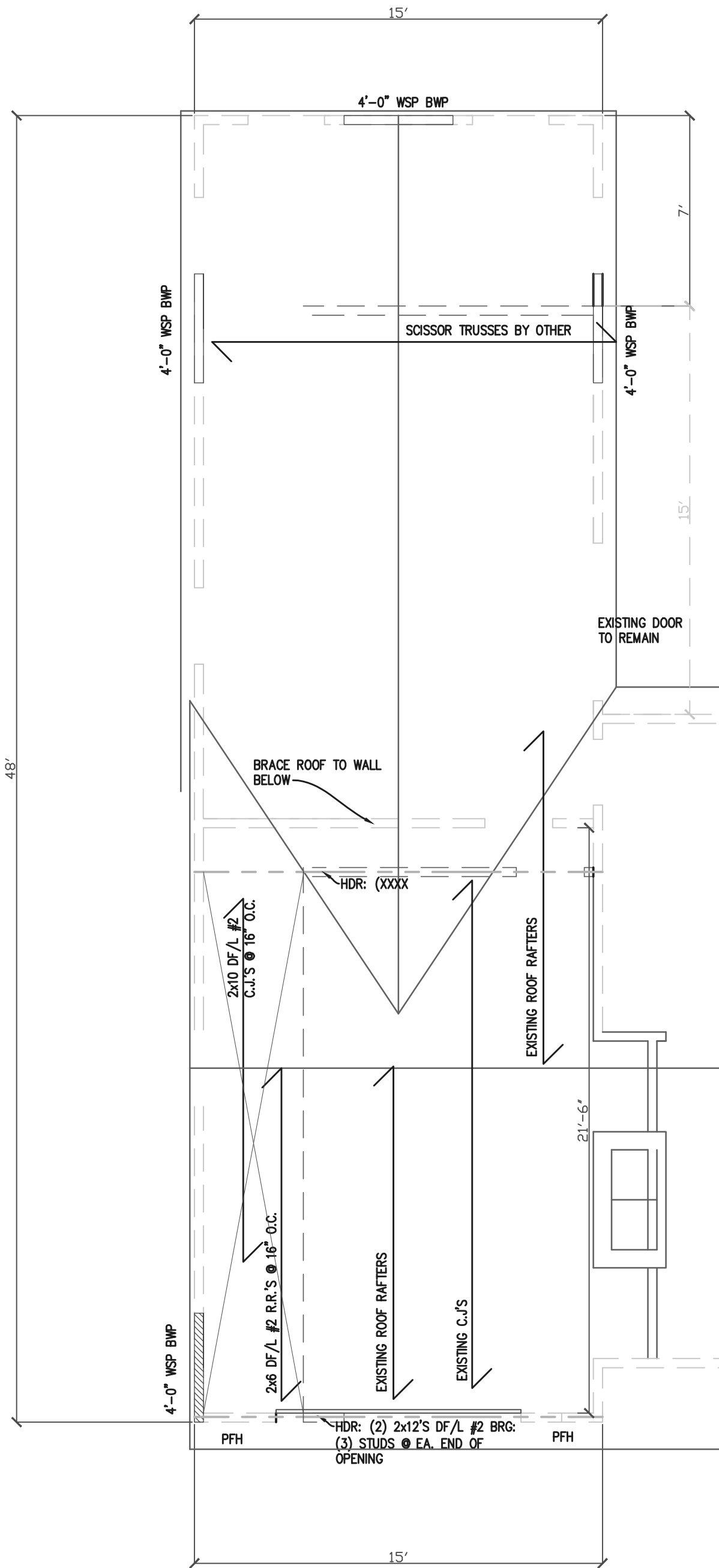
SHEET No.
1 OF 5

GENERAL NOTES:

- CONSTRUCTION AND PLANS SHALL COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE WITH AMENDMENTS AS ADOPTED BY THE GOVERNING JURISDICTION. IF ANY CHANGES OR DEVIATIONS FROM THE PLANS ARE MADE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE AUTHORITY AND THE ARCHITECT/ENGINEER OF RECORD, EITHER OR BOTH OF WHOM MAY REQUIRE REVISED DRAWINGS OR CALCULATIONS AT ITS DISCRETION.
- WHERE DISCREPANCIES EXIST BETWEEN THE STANDARD COMMENTS, NOTES FROM THE DESIGN PROFESSIONAL OR THE CODE, THE MOST RESTRICTIVE SHALL APPLY.
- SQUARE FOOTAGE:**
 "LIVING SPACE" CALCULATIONS INCLUDE ALL CONDITIONED SPACE MEASURED AT THE FLOOR LEVEL TO THE OUTSIDE FRAMING DIMENSION. THE SPACE OF STAIR TREADS AND LANDINGS ARE ASSIGNED TO THE LEVEL FROM WHICH THE STAIR ASCENDS. AREAS EXCLUDED INCLUDE GARAGES, UNCONDITIONED PORCHES, SPACES OPEN TO THE LEVEL BELOW (AS DEFINED ABOVE), AREAS WITH CEILING HEIGHTS LESS THAN 5'-0" AND CHIMNEYS AND WINDOWS THAT PROTRUDE BEYOND THE OUTSIDE FRAMING DIMENSION AND DO NOT HAVE A FLOOR ON THE SAME LEVEL.
- PROVIDE SAFETY GLAZING IN ACCORDANCE W/ 2018 IRC SEC. R308.4 (HAZARDOUS LOCATIONS.)
- MAXIMUM RISER AT STAIRWAYS IS 7 3/4" AND MINIMUM TREAD IS 10" WITH A MINIMUM 6'-8" HEADROOM, PER 2018 IRC SEC. R311.7.
- THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH AN AIR BARRIER PER 2018 IRC. SEC. N1102.4.
- RECESSED LIGHTING SHALL BE SEALED TO PREVENT LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACE.
- ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED PER 2018 IRC. SEC. N1103.3
- MINIMUM MECHANICAL EFFICIENCY RATING FOR AC EQUIPMENT IS 13 SEER AS REQUIRED PER 2018 IRC.
- MINIMUM MECHANICAL EFFICIENCY RATING FOR FORCED AIR FURNACE IS 78% AS REQUIRED PER 2018 IRC.
- GARAGE FLOORS SHALL SLOPE TOWARDS THE GARAGE DOORWAYS.
- DOORS BETWEEN THE GARAGE AND THE DWELLING SHALL BE A MINIMUM 1 3/8" SOLID CORE OR HONEY COMBED STEEL DOOR OR A 20 MINUTE FIRE RATED DOOR.
- THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS UNFINISHED ATTIC AREAS BY A MINIMUM 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. WHERE UNFINISHED ATTIC AREAS ARE ABOVE THE GARAGE, THE SUPPORTING COLUMNS AND BEAMS SHALL ALSO BE PROTECTED WITH 1/2" GYPSUM BOARD OR EQUIVALENT.
- GARAGE DOOR AND FRAME (H-FRAME) FOR THE ATTACHMENT OF THE TRACK AND COUNTER BALANCE SHALL CONSIST OF THE FOLLOWING: 2x6 VERTICAL JAMBS RUNNING FROM THE FLOOR TO CEILING ATTACHED WITH 1 3/4"x0.120" NAILS @ 7" O.C. STAGGERED WITH (7) 3 1/4"x.102" NAILS THRU THE JAMB INTO THE HEADER, MINIMUM 2x8 HEADER FOR ATTACHMENT FOR COUNTER BALANCE SYSTEM.
- PROVIDE CARBON MONOXIDE DETECTORS PER 2018 IRC SEC. R315 AND NFPA 720.
- THE BUILDING SHALL BE IN COMPLIANCE FOR WATER-RESISTIVE EXTERIOR WALL COVERINGS PER 2018 IRC R703.2.
- CHIMNEY CAPS AND SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY-BUILT CHIMNEYS, EXCEPT WHERE SUCH CAPS AND SHROUDS ARE LISTED AND LABELED FOR MANUF. INSTALL INSTRUCTIONS PER 2018 IRC 1004.3

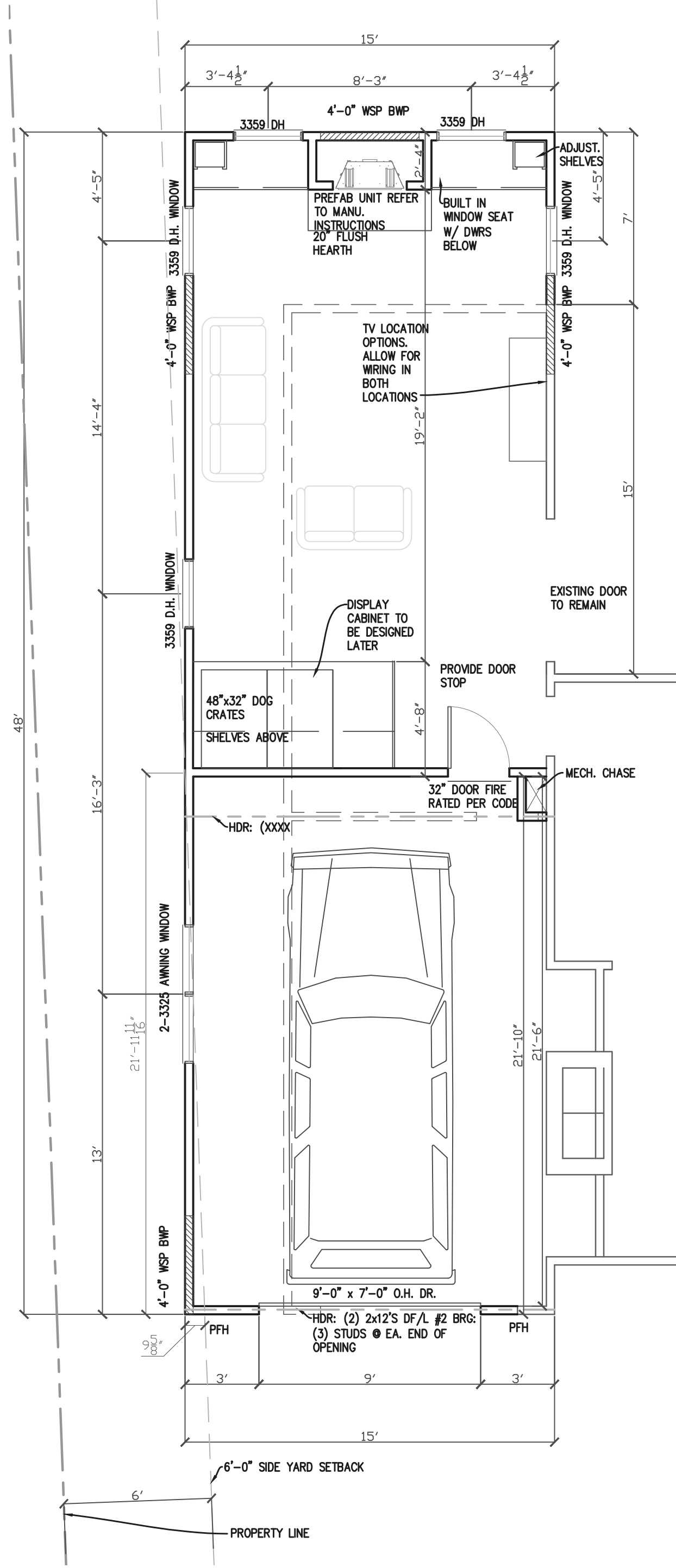
STRUCTURAL NOTES:

- ALL LUMBER SIZES ARE FOR DOUGLAS FIR-LARCH UNLESS OTHERWISE NOTED.
- ALL HEADERS ARE (2) 2x10'S DF/L #2 FOR 2x4 WALLS AND (3) 2x10'S DF/L #2 FOR 2x6 WALLS UNLESS OTHERWISE NOTED.
- ALL HEADERS TO BEAR ON A MINIMUM (2)2x4 STUDS UNLESS OTHERWISE NOTED.
- TRIMMER STUDS ARE DOUBLED FOR ALL HEADER SPANS EXCEEDING 4'-0".
- FLOOR SHEATHING SHALL BE NO LESS THAN 4'-0"x8'-0" 3/8" APA RATED T&G SHEATHING, INSTALLED PERPENDICULAR TO FLOOR JOIST W/ STAGGERED ENDS AND ATTACHED W/ GLUE AND 6d RING OR SCREW SHANK OR 8d COMMON NAILS @ 12" O.C. PER 2018 IRC TABLE R602.3 OR MANUFACTURERS SPECIFICATIONS, WHICHEVER IS MORE CONSERVATIVE.
- FRAME ALL FLOOR OPENINGS WITH MIN. DOUBLE FLOOR JOISTS, U.O.N.
- PROVIDE 3/4" APA RATED SHEATHING TO ALL EXTERIOR WALLS W/8d NAILS @ 6" O.C.
- DOUBLE FLOOR JOISTS UNDER PARTITIONS PARALLEL TO JOISTS SPAN
- ALL SILLS @ SLEEPERS SUPPORTED ON CONCRETE AND FURRING ATTACHED TO CONCRETE SHALL BE ON DECAY RESISTANT MATERIALS.
- WOOD FRAMED WALLS SHALL BE BRACED IN ACCORDANCE WITH 2018 IRC SEC.R602.10-R602.10.8 AND R602.10.10.
 WHERE BRACED PANEL SHEATHING IS USED
 -VERTICAL JOINTS SHALL OCCUR OVER STUDS.
 -HORIZONTAL JOINTS SHALL OCCUR OVER 1 1/2" BLOCKING
 -TOP PLATES SHALL BE CONNECTED TO FRAMING ABOVE
 -BOTTOM PLATES OF BRACE WALL LINE SHALL BE CONNECTED TO FRAMING BELOW
 EXTERIOR WOOD FRAMED WALLS:
 USE 3/4" APA RATED SHEATHING WITH 8d NAILS @ 6" O.C. @ PANEL EDGES AND 12" O.C. IN THE FIELD
 INTERIOR BRACED WALL PANELS
 SEE 2018 IRC SEC.S R602.10.1,R602.8 AND 602.10-10 FOR ACCEPTABLE METHODS AND DETAILS
- JOISTS AT SUPPORTS SHALL BE SUPPORTED Laterally AT THE ENDS BY FULL-DEPTH SOLID BLOCKING NOT LESS THAN 2" NOMINAL THICKNESS, OR BY ATTACHMENT TO HEADER BAND OR RIM JOIST, OR TO AN ADJOINING STUD OR OTHERWISE PROVIDED WITH LATERAL SUPPORT TO PREVENT ROTATION.
- JOISTS FRAMING INTO A WOOD GIRDER OR BEAM SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OR ON A MINIMUM 2x2 LEDGER STRIPS.
- ISOLATE LOWER LEVEL INTERIOR NON-LOAD BEARING WALLS FRO FLOOR FRAMING ABOVE UNLESS THEY BEAR DIRECTLY ON A FOOTING.
- WHERE FLOOR JOIST ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED Laterally AT THE TOP BY SOLID BLOCKING IN LINE W/ ANCHOR BOLTS. NOT MORE THAN 3'-0" O.C.FOR A MIN. OF (3) JOIST SPACES. WHERE A DUCT RUN OCCURS IN ONE OF THE FIRST THREE JOIST BAYS, PROVIDE 2x BLOCKING BELOW DUCT AT 3'-0" O.C. AND BLOCK SOLID ONE ADDITIONAL JOIST BAY.
- JOIST FRAMING FROM OPPOSITE SIDES OVER BEARING SUPPORTS SHALL LAP A MIN. 3" AND SHALL BE NAILED TOGETHER WITH A MIN. 10d FACE NAILS.
- USE 2x6 EXTERIOR WALLS FOR LOWER LEVEL IF THERE ARE 2 OR MORE LEVELS ABOVE.
- ROOF FRAMING:**
 RIDGE BEAMS, VALLEY AND HIP RAFTERS SHALL HAVE A MINIMUM THICKNESS OF NOMINAL 2" AND MINIMUM DEPTH NOT LESS THAN THE END CUT OF THE RAFTER. HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT THE RIDGE BY 2x6 "TEE" BRACES TO A BEARING PARTITION WHERE ROOF BRACING IS USED TO PERMIT LONGER RAFTER SPANS. USE 2x6 "TEE" BRACES AT 4'-0" O.C. WITH A CONTINUOUS PURLIN UNDER THE RAFTERS. "TEE" BRACES TO BEAR ON BEARING PARTITIONS. PROVIDE 2x4 COLLAR TIES IN THE UPPER 1/3 OF THE GABLE HEIGHT IN ATTIC AT 4'-0" O.C. WHERE RAFTERS FRAME IN A DIFFERENT DIRECTION THAN CEILING JOIST. INTERIOR PARTITIONS BUTTING EXTERIOR WALLS SHALL BE ANCHORED WITH FRAMING ANCHORS. PROVIDE CONTINUOUS STRONG-BACKS FOR CEILING JOIST SPANS 12'-0" OR GREATER. ALL HIP AND VALLEY RAFTERS SHALL BE PROVIDED WITH ADEQUATE BEARING AND/OR APPROVED HANGERS.
- ROOF SHEATHING:**
 TILE ROOFS-7/16" APA RATED ROOF SHEATHING (VERIFY THICKNESS W/ TILE MANUFACTURER)
 ASPHALT ROOFS- 5/8" APA RATED ROOF SHEATHING
 WOOD ROOFS-MINIMUM NOMINAL 1x4'S SPACED O.C. EQUAL TO WEATHER EXPOSURE TO COINCIDE WITH PLACEMENT OF FASTENERS IRC 2018 R803
- ATTIC VENTILATION SHALL COMPLY WITH THE 2018 IRC SEC. R806. THE TOTAL NET FREE VENTILATING AREA WILL NOT BE LESS THAN A RATIO OF 1 TO 150 OF THE AREA OF SPACE VENTILATED.



PARTIAL ROOF PLAN
1"=1'-0"

"SIMPSON" JOIST HANGER LOAD TABLE		
HEADER SIZE	MODEL #	ALLOW. LOAD(16dNAILS)
(2) 2x10'S DF/L #2	LUS28-2	1315#
(3) 2x10'S DF/L #2	LUS210-3	1830#
(2) 2x12'S DF/L #2	LUS210-2	1830#
(3) 2x12'S DF/L #2	HU212-3	3275#
(2) 1 3/4"x9 1/2" LVL'S	U410	2015#
(3) 1 3/4"x9 1/2" LVL'S	HU610	2680#
(2) 1 3/4"x11 7/8" LVL'S	HUS412	2660#
(3) 1 3/4"x11 7/8" LVL'S	HU612	3275#



PARTIAL PLAN
1"=1'-0"



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BURGER RESIDENCE
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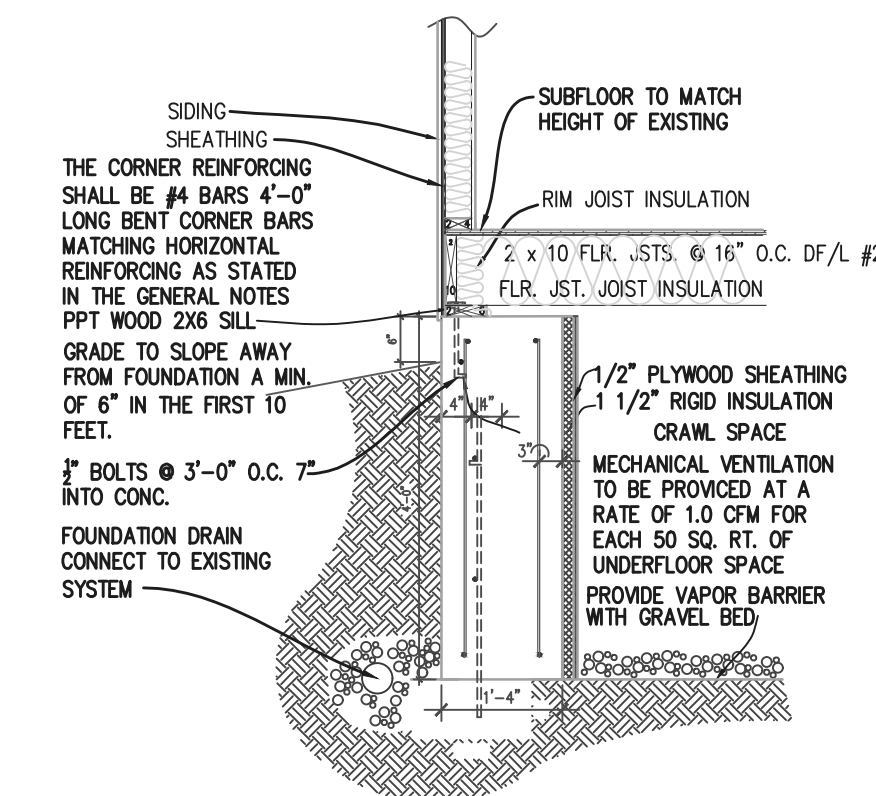
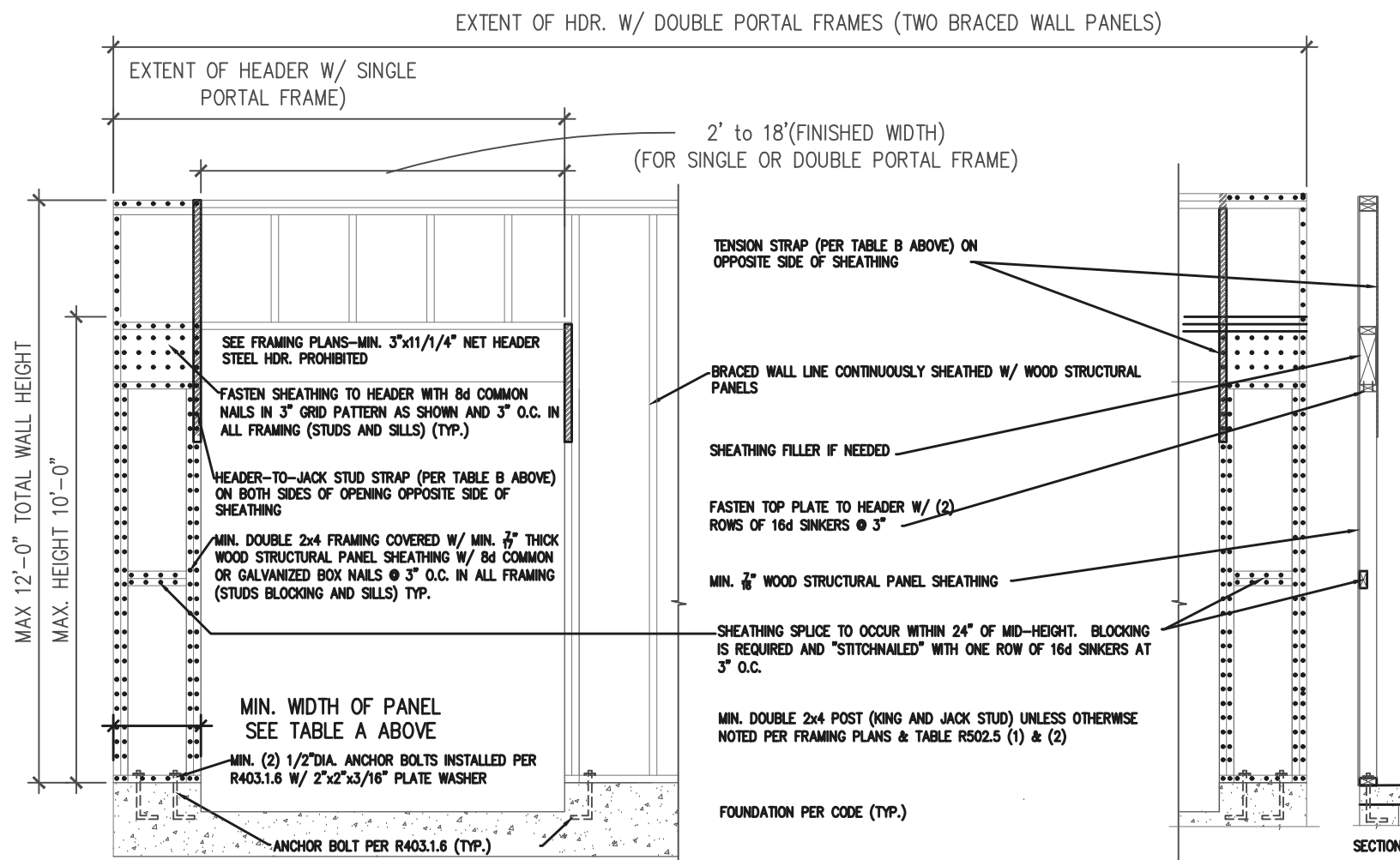
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WALL HEIGHT	8'-0"	9'-0"	10'-0"	11'-0"	12'-0"
MIN. PANEL WIDTH IN INCHES	16"	18"	20"	22"	24"

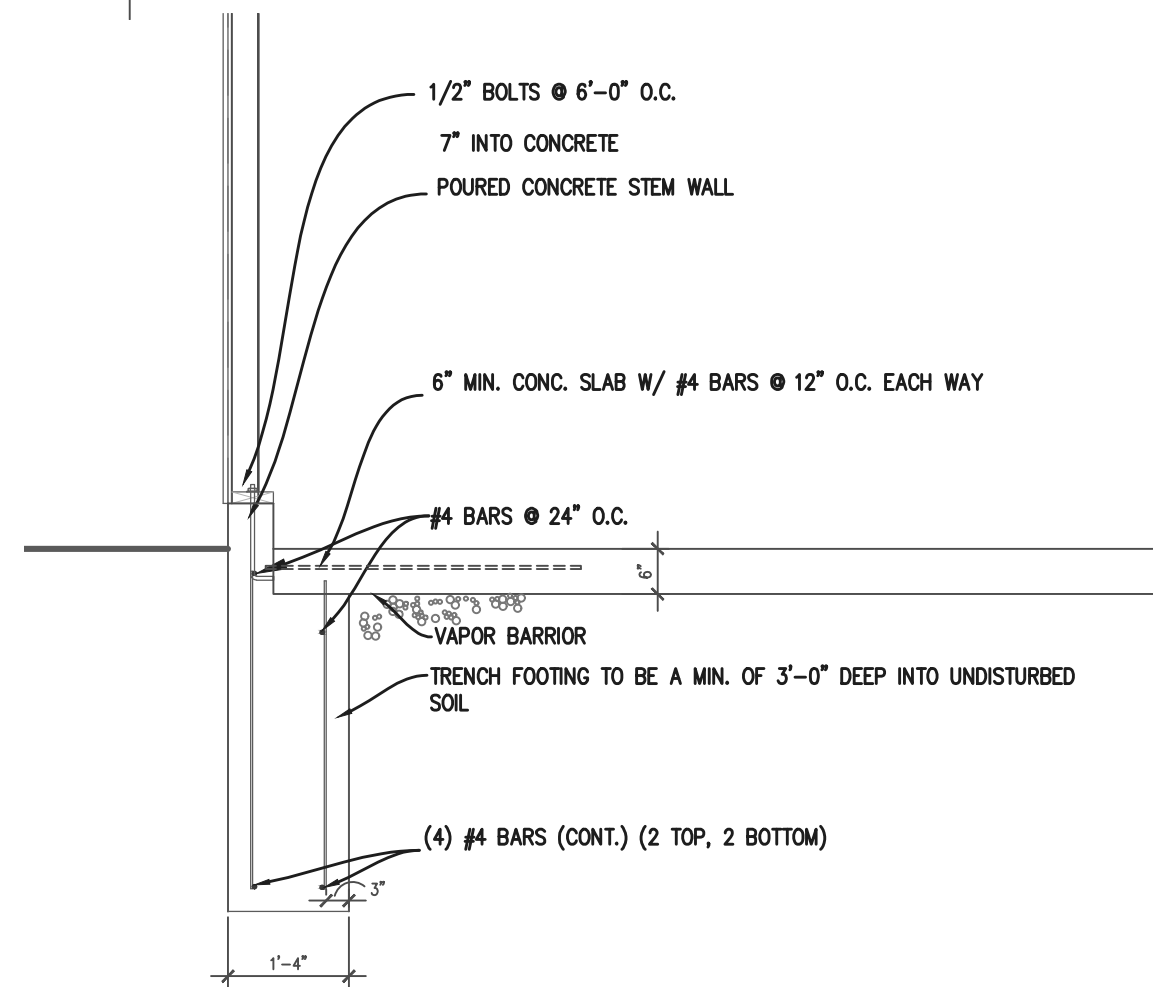
MIN. WALL STUDS PER FT.	MIN. WALL HEIGHT (ON FEET)	MAX. WALL HEIGHT (ON FEET)	MAX. OPENING WIDTH (ON FEET)	CAPACITY REQUIRED (ON POUNDS)
2x4 STUD GRADE	0	10	18	1000
	1	10	15	1000
	2	10	12	1000
	2	12	9	2100
2x6 STUD GRADE	0	12	18	2350
	1	12	15	2350
	2	12	12	2350
	2	12	9	2350

FOUNDATION NOTES:

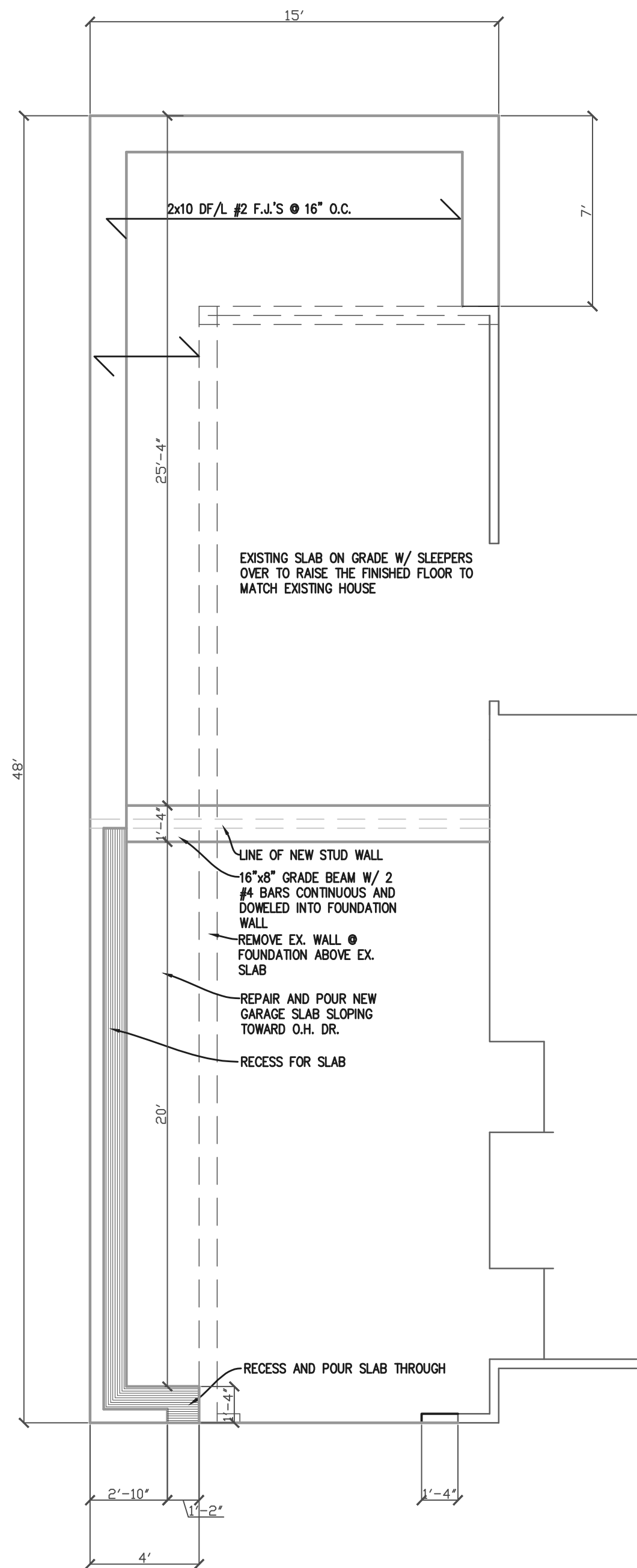
- FOUNDATION DESIGN STANDARD: JOHNSON COUNTY RESIDENTIAL FOUNDATION GUIDELINE. (JCRFG) SITUATIONS NOT ADDRESSED BY JCRFG SHALL FOLLOW THE PRESCRIPTIVE REQUIREMENTS OF THE 2018 IRC.
- ASSUMED SOIL BEARING CAPACITY - 1500 PSF MINIMUM, CONTRACTOR TO VERIFY.
- CONCRETE SHALL BE AIR ENTRAINED WITH A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS - 2,500 PSI FOR BASEMENT AND INTERIOR FLOOR SLABS - 3,000 PSI FOR FOOTINGS, BASEMENT AND FOUNDATION WALLS - 3,500 PSI FOR PORCHES, CARPORT AND GARAGE FLOOR SLABS ON UNDISTURBED GRADE - 3,500 PSI FOR STRUCTURAL SLABS OR PER ENGINEERED DESIGN, WHICHEVER IS GREATER - WALL WILL NOT ACHIEVE FULL STRENGTH UNTIL A BASEMENT SLAB AND FIRST FLOOR DECK HAVE BEEN PROPERLY PLACED.
- FOR 8"x4"-0" OR 8"x5"-0" WALLS PROVIDE #4 BARS AT 24" O.C. (HORIZ. AND VERTICAL)
- REINFORCEMENT SHALL BE A MINIMUM OF GRADE 40 UNLESS OTHERWISE NOTED. LAP FND. WALL CORNERS, SPLICES AND END BARS 24" MINIMUM.
- FOR FOUNDATION WALL FOOTINGS, PROVIDE (2) #4 BARS (CONTINUOUS) AND LAP CORNER BARS 24" (MINIMUM).
- FOOTINGS SHALL BE POURED CONTINUOUS AT FOOTING STEPS (SOLID JUMPS) EXCEPT FOR STEPS FROM GARAGE.
- ANY FILL THAT IS INSTALLED UNDER BASEMENT OR GARAGE FLOOR SLABS SHALL BE PROPERLY COMPACTED TO PREVENT SETTLEMENT OF FILL MATERIAL, UNLESS NOTED OTHERWISE. AT THE CONTRACTOR'S OPTION, A PROPERLY DESIGNED STRUCTURAL SLAB MAY BE INSTALLED OVER FILL THAT HAS NOT BEEN COMPACTED.
- CONTROL JOINTS IN THE FLOOR SLAB SHALL BE INSTALLED AS TO MINIMIZE THE AMOUNT OF RANDOM CRACKING. THESE JOINTS SHALL BE SAW-CUT WITHIN 18 HOURS OF POURING THE SLAB OR MAY BE TOOLED INTO THE SLAB.
- THE BUILDER SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE STEPS TO MINIMIZE THE EFFECTS OF THE EXPANSIVE SOIL ON THE FOUNDATION, SLAB AND WOOD FRAME PORTIONS OF THE BUILDING. THIS INCLUDES ISOLATING THE FLOOR SLAB AT ALL COLUMNS AND AT THE FOUNDATION WALLS. ALSO, ANY NON-LOAD BEARING PARTITION WALLS IN THE BASEMENT SHALL NOT BE CONSTRUCTED TIGHT AGAINST THE FRAMING ABOVE.
- STEP FOOTING AS REQUIRED BY GRADE TO MAINTAIN MINIMUM 36" FROST COVERAGE AND ADEQUATE BEARING AS REQUIRED BY CODE.
- FLOOR SLABS ARE A MINIMUM OF 4" THICK OVER A MINIMUM 4" BASE OF 1/2" OR 3/4" CLEAN GRADE ROCK, UNLESS OTHERWISE NOTED OR IF SITE CONDITIONS REQUIRE OTHERWISE.
- FLOOR SLABS SUPPORTED BY MORE THAN 24" OF GRANULAR FILL OR 8" OF EARTH SHALL REQUIRE REINFORCING. SEE PAGE N2 FOR STRUCTURAL DESIGN DETAILS. FOR SITUATIONS NOT ADDRESSED BY DETAILS CONTACT ARCHITECTS OFFICE FOR ADDITIONAL DESIGN.
- PROVIDE A MINIMUM 4" PERFORATED DRAIN AROUND USABLE SPACE BELOW GRADE OR OTHER EQUIVALENT MATERIALS. THE PIPE SHALL BE COVERED WITH NOT LESS THAN 6" OF WASHED GRAVEL OR CRUSHED ROCK. THE DRAIN SHALL DAYLIGHT TO THE EXTERIOR BELOW FLOOR LEVEL, OR TERMINATE IN A MINIMUM 20 GALLON SUMP.
- UFER GROUND, (NEC 250.52 (3) CONCRETE-ENCASED ELECTRODE) WITH NO SMALLER THAN A 4 AWG BARE COPPER CONDUCTOR CONNECTED TO A REBAR THAT IS BENT UP OUT OF THE FOOTING. THIS REBAR SHALL BE CONNECTED TO ONE OR MORE BARS TIED TOGETHER WITHIN THE FOOTING TO PROVIDE A MINIMUM OF 20 FEET OF CONTINUOUS DIRECT CONTACT WITH THE EARTH. THIS UFER GROUND IS IN ADDITION TO ALL OTHER ELECTRODES WITHIN THE BUILDING BEING BONDED TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM THE SEC SHALL BE PROTECTED FROM PHYSICAL DAMAGE.
- PROVIDE MIN. 6 MIL VAPOR RETARDER BETWEEN FLOOR SLAB AND BASE COURSE.
- BASEMENT FOUNDATION SILL PLATES SHALL BE BOLTED TO THE FOUNDATION WITH A MINIMUM OF 1/2" DIA. ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO THE CONCRETE AND SPACED NOT MORE THAN 3'-0" O.C. AND WITHIN 12" OF EACH END PLATE SECTION.
- ALL EARTH RETAINING STRUCTURES ON THE SITE GREATER THAN 4'-0" TALL (EXCLUDING FOUNDATION WALLS RESTRAINED AT BOTH TOP AND BOTTOM) SHALL REQUIRE A SEPARATE ENGINEERED DESIGN. (i.e. RETAINING WALLS, WING WALLS, ETC)



FOOTING DETAIL UNDER FAMILY ROOM
1/2"=1'-0"



GARAGE FOOTING DETAIL
1/2"=1'-0"



PARTIAL FOUNDATION PLAN
1/2"=1'-0"

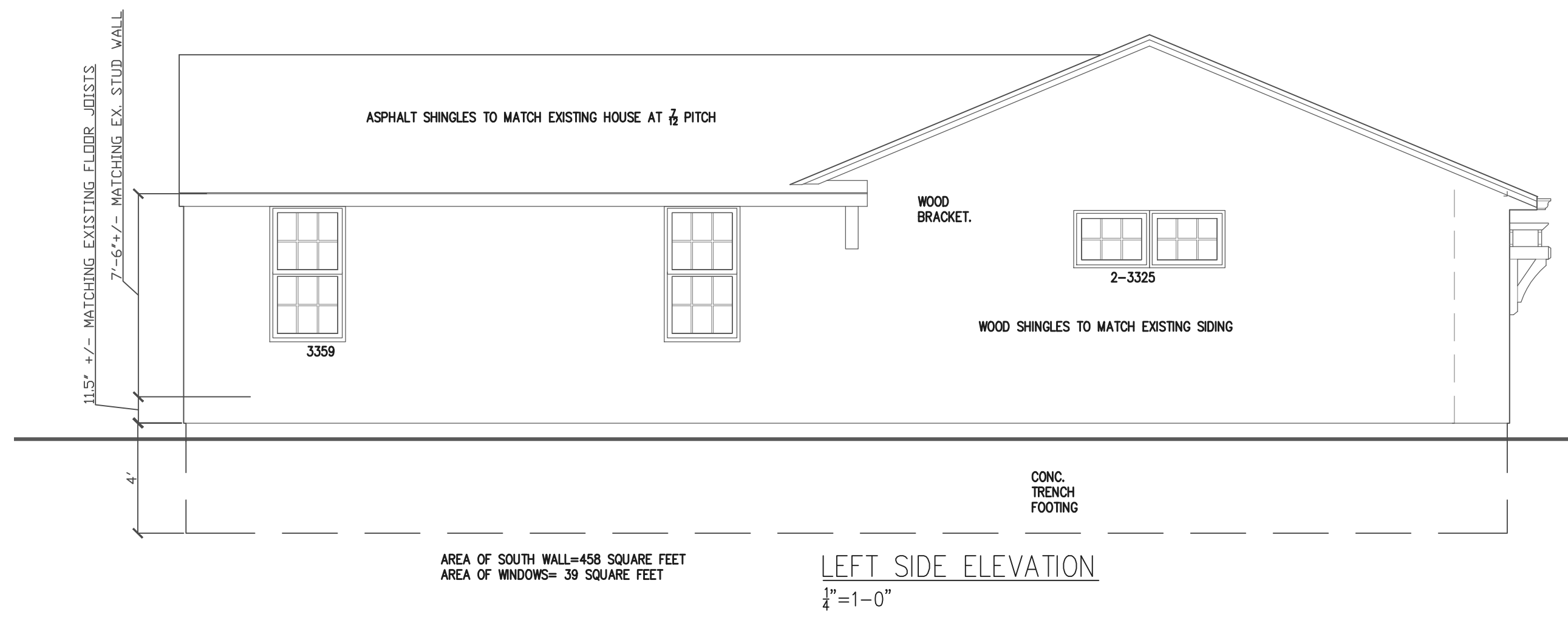
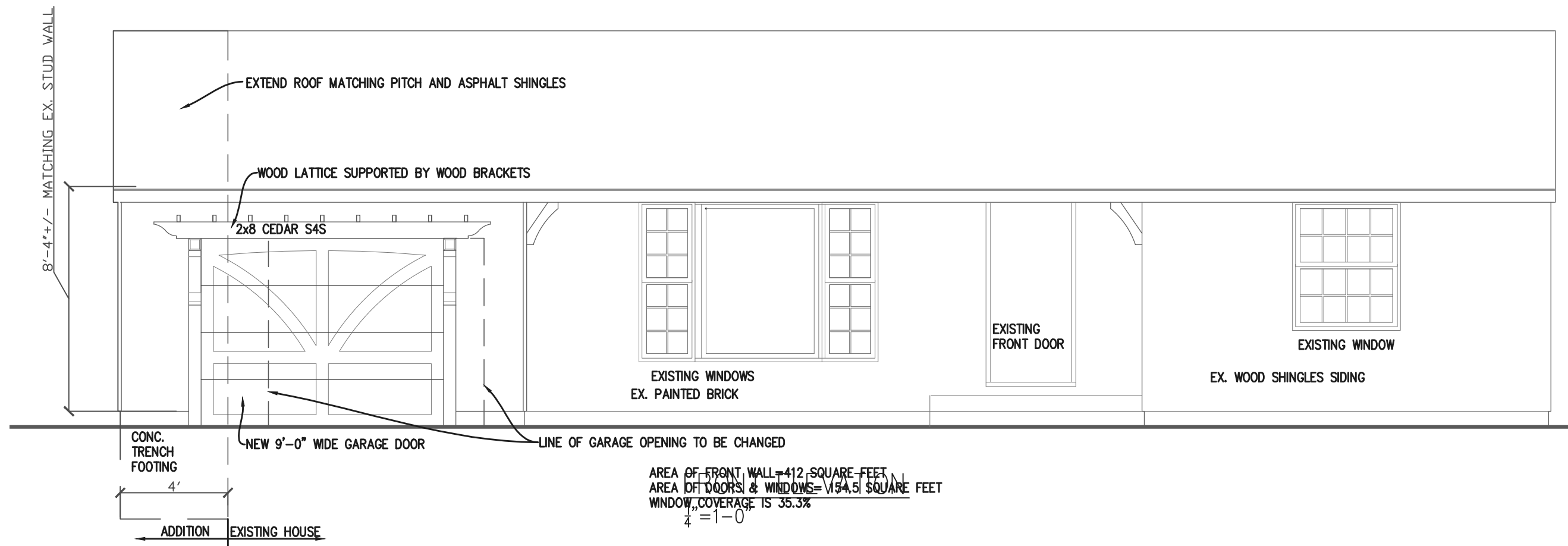


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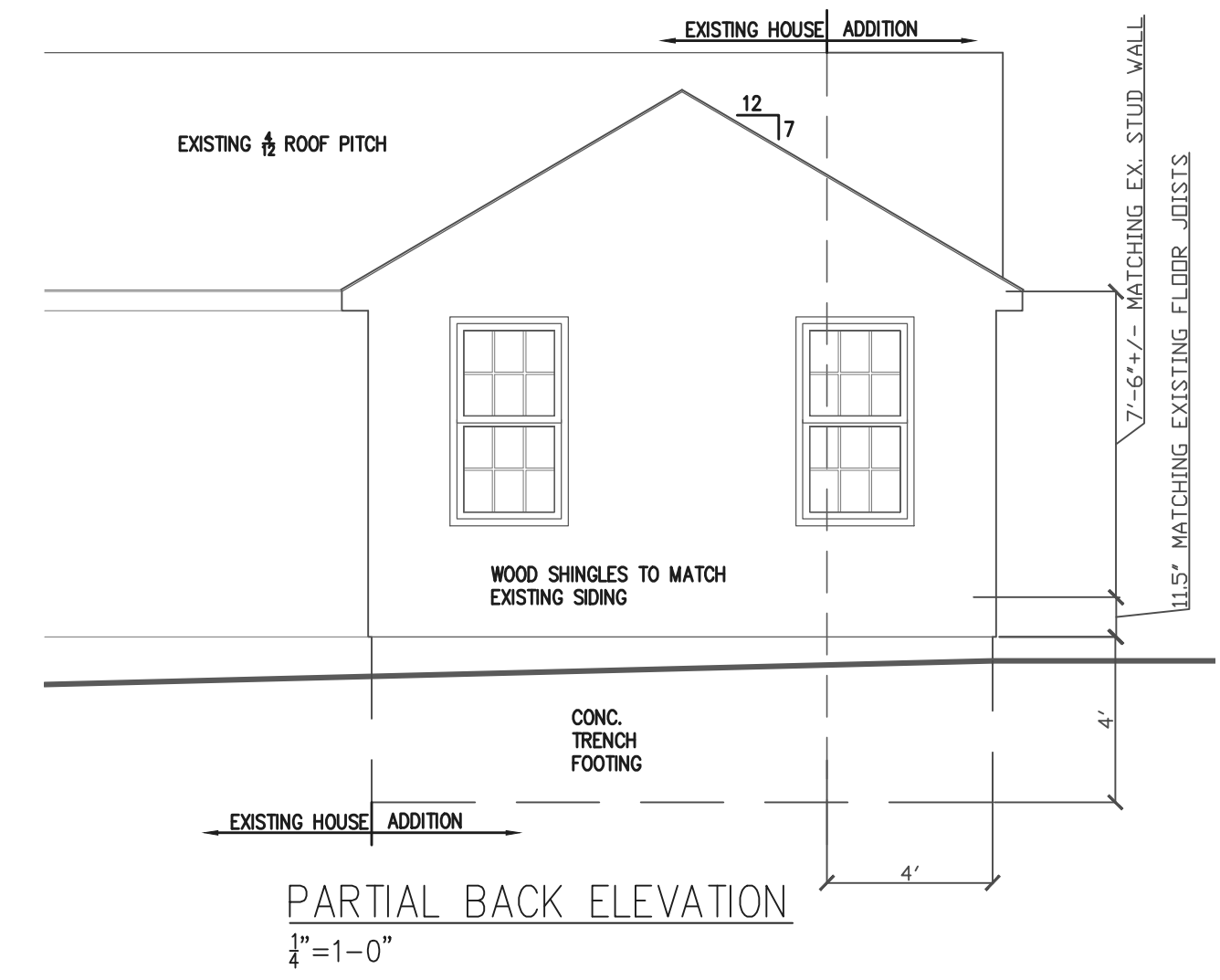
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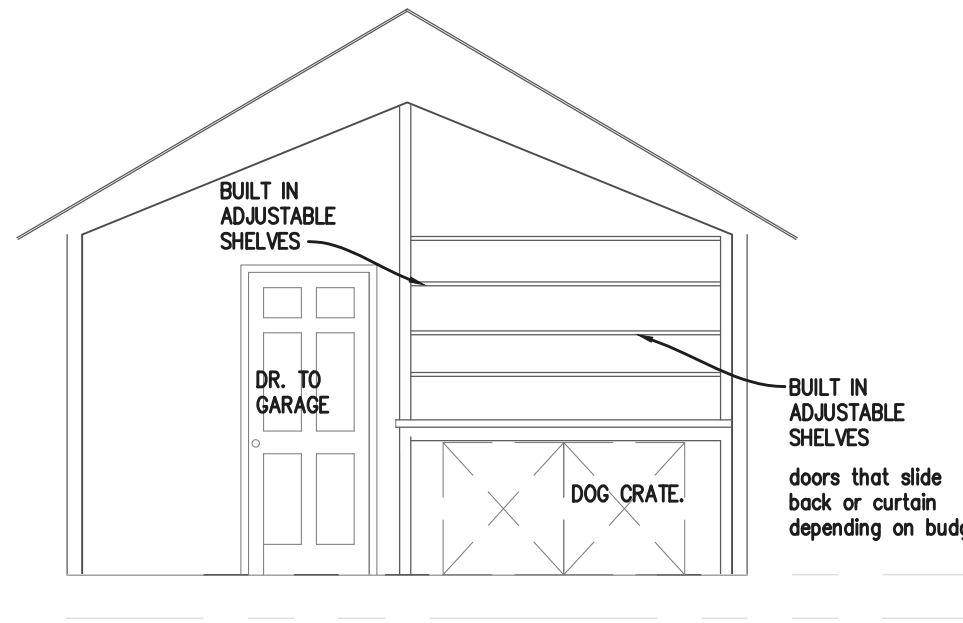
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT - PER 2018 IRC TABLE N1102.1(1)		
COMPONENT	VALUE CLIMATE ZONE 4	
FENESTRATION	U ≤ .35	
SKYLIGHT	U ≤ .35	(B)
GLAZED FENESTRATION	U ≤ .40	(B)
CEILING	R = 49	(C)
CATHEDRAL CEILING	R = 30/R-38	(C)
WOOD FRAME WALL	R = 13	(I)
MASS WALL	R-8/R-13	(F)
FLOOR OVER UNHEATED SPACE	R-19	(A)
FLOOR OVER OUTSIDE AIR	R-30	
DUCTS OUTSIDE OF THE CONDITIONED SPACE	SUPPLY AND RETURN R-8 IN FLR. & CLG. ASSEMBLY R-6	
BASEMENT WALL	R-10/R-13	(C)
SLAB (R VALUE /DEPTH)	NOT REQUIRED	(D)
CRAWLSPACE WALL W/ FLOOR INSULATION	R-10/R-13	(C)
CRAWLSPACE WALL W/O FLOOR INSULATION	R-19	(I)

(A) R-VALUES ARE MINIMUMS. U- FACTORS AND SHGC ARE MAXIMUMS WHEN INSULATION IS INSTALLED IN A CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION. THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.
 (B) THE FENESTRATION U-FACTOR EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION.
 (C) "15/19" MEANS R-15 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL. "15/19" SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME. "10/13" MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.
 (D) R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS. INSULATION DEPTH SHALL BE THE DEPTH OF THE FOOTING OR 2 FEET, WHICHEVER IS LESS IN ZONES 1-3 FOR HEATED SLABS.
 (E) THERE ARE NO SHGC REQUIREMENTS IN THE MARINE ZONE.
 (F) BASEMENT WALL INSULATION IS NOT REQUIRED IN WARM-HUMID LOCATIONS AS DEFINED BY FIGURE N1101.10 AND TABLE N1101.10
 (G) OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM.
 (H) THE FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE IS CONTINUOUS INSULATION, SO "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION.
 (I) THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF OTH INSULATION IS ON THE INTERIOR OF THE MASS WALL.

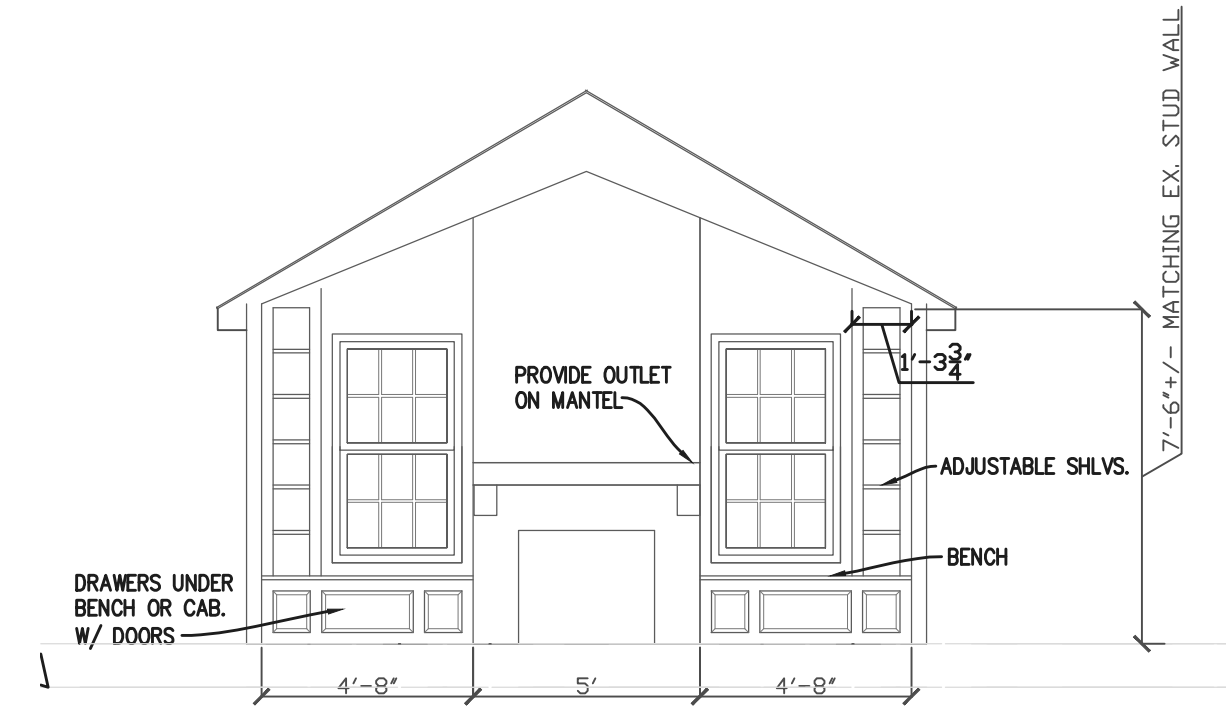


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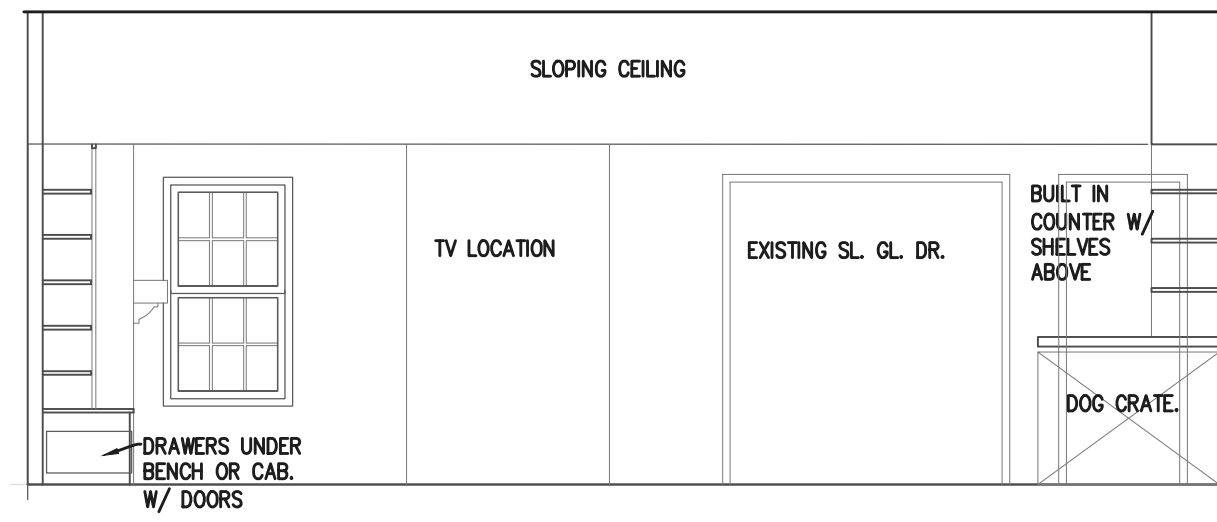
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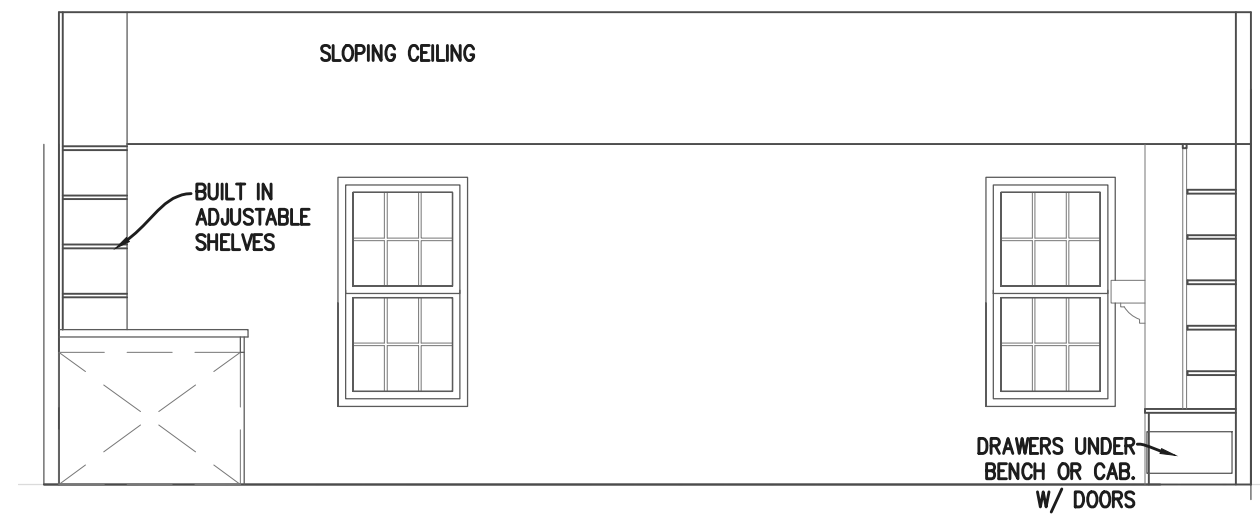
INTERIOR LOOKING TOWARDS EAST WALL



INTERIOR LOOKING TOWARDS WEST WALL



INTERIOR LOOKING TOWARDS NORTH WALL



INTERIOR LOOKING TOWARDS SOUTH WALL



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 5 OF 5

Garry Calvin Contracting, L.L.C.

5910 Reinhardt Drive
Fairway, KS 66205
garrycalvin8@gmail.com
816-985-8923

February 14, 2024

Mary Burger
Tim Swanson
7328 Cherokee Dr

Dear Neighbor,

I am writing to make you aware of plans to add on to an existing garage and family room at the residence of Mary Burger and Tim Swanson, 7328 Cherokee Dr. As building contractor for Mary and Tim, I have requested a variance from the City of Prairie Village Board of Zoning Appeals and Planning Commission to allow for building an addition to widen the garage at the referenced address by 4 feet. This addition would place the new corner of the garage less than 1 foot past the side lot building setback line.

The Planning Commission requires me to provide an opportunity for the neighbors to raise any questions or concerns regarding this garage addition.

This letter is to make you aware of a meeting to be held on Thursday, February 22nd at 5pm in front 7328 Cherokee Dr. You are invited, but NOT required, to attend and to express any concerns you may have. We will submit a record of the meeting to the Prairie Village Planning Commission. This record will identify attendees and will document any comments or concerns.

Regards,

Garry Calvin
Garry Calvin Contracting, LLC
816-985-8923

Meeting Summary: BZA2024-02
2/22/2024 – 5:00 p.m.

Attendees:

Jack and Val Rusgis, 7321 Cherokee Drive: no objections to the project.

Garry Calvin
816-985-8923