

**City of Prairie Village – 7700 Mission Road – Prairie Village KS 66208  
913-385-4604 (phone) 913-385-4654 (fax)**

**New Home Construction Plan Submittal**

The following guidelines are provided to assist in the development of drawings for issuance of permits for new construction.

**Zoning**

- ❖ Minimum setback requirements can be based upon the zoning code, covenants, platted lot setbacks and/or averaging established setbacks (PVMC 14.44.010). Do not assume zoning code provisions are the only requirements.
- ❖ Municipal Code 107.1.1 Plans shall be sealed by a Kansas Registered Design Professional.

**Site Plan**

A site plan prepared by a professional/licensed surveyor shall be required for all new construction and shall include, but not be limited to the following:

1. Name of project, address, legal description, zoning district, boundaries, date, north arrow, and scale of the plan.
2. All existing lot lines, easements, and rights-of-way to include lot area in square feet.
3. The exact location of the new home on the lot, with all dimensions provided to include distances from property lines and adjacent neighboring structures 25 feet out from property line. Also, include the location of any proposed accessory buildings i.e., storage buildings or detached garage.
4. All dimensions of height and floor area, and all exterior entrances.
5. Projected roof area in square feet.
6. Typical building elevations, to include the top of foundation wall elevation of the existing structure prior to demolition, and the proposed top of foundation wall elevation of the new structure, top of curb elevation, basement elevation, and garage elevation.
7. The location of all present and proposed driveways, sidewalks, ramps, curbs and fences.
8. Existing and proposed topography shown at not more than 2-foot contour intervals. Indicate if project is in a flood plain or not.
9. Location and elevation of any drainage inlet, pipe, or channel on the site.
10. Locations of down spouts and flow patterns.
11. Nearest upstream and downstream manhole top elevations, flow lines of sewer at manholes and stub line from main sewer.
12. Location and method of sump pump discharge.
13. Submit (2) copies of the site plan to the Codes Department for review.
14. Submit (1) site plan to the Public Works Department for drainage permit review:  
Public Works – 3535 Somerset Dr, Prairie Village KS 66208 – 913-385-4647

### **Building**

Building Construction Plans shall include, but not be limited to the following:

1. Submit (2) complete sets of building construction plans to the Building Codes Department for review. Plans shall be sealed by a Kansas Registered Design Professional.
2. Provide footing/foundation details.
3. Provide wall framing details, to include wood species and lumber grade, size and spacing of studs, size and span of beams and/or headers for openings over 4 feet wide, all load bearing points, and garage separation details.
4. Provide framing details of the floor/ceiling assembly, to include size, spacing, and span of floor joists, and ceiling joists. Provide load bearing points.
5. Provide framing details of the roof assembly, to include size and span of rafters, size and span of ridge beam, location and size of attic access opening, and all load bearing points.
6. Provide location and size of all emergency escape and rescue openings.
7. Provide location and size of required exit door.
8. Provide all room dimensions, corridor/hallway widths, and ceiling heights, to include basement.
9. Provide location and details for all stairways, to include handrails/guardrails.

### **Plumbing**

1. Provide a permit or waiver for sewer from Johnson County Wastewater.
2. Provide static/residual water delivery pressure. PSI in excess of 80 will necessitate installation of a pressure reducing valve and thermal expansion tank.
3. A backwater valve will be required to protect the lower plumbing fixtures if their elevations are below the nearest manhole. Provide elevations.
4. Showers require anti-scald valves.
5. Provide minimum fixture clearances.
6. Bath exhaust fan shall be vented directly to the outside.

### **Electrical**

1. Provide size and location of electrical service.
2. Provide location of all smoke and carbon monoxide alarms.
3. Provide location of receptacles and lighting fixtures.
4. Provide GFCI protection as per the current NEC.
5. Provide AFCI (arc-fault circuit interrupter) protection as per the current NEC.

### **Miscellaneous**

1. Each construction site shall display a placard indicating permit number, contractor and address of new construction.
2. Each construction project shall provide a trash enclosure.
3. Each construction project shall provide sanitary port-a-john.

4. 50' of gravel or crushed stone shall be provided from the street onto each lot for vehicle access and parking.
5. A \$5,000 mud (surety) bond is required prior to permit issuance. Bond will be returned, if requested, when the Certificate of Occupancy is issued for final inspection approval.
6. All devices or equipment installed in the right-of-way shall be shown on drawings and first submitted to the Director of Public Works for approval. This includes, but not limited to, lawn irrigation, gas lamps, mail boxes, etc.
7. Obtain a permit from Public Works (3535 Somerset Dr, 913-385-4647) for any work in the right-of-way.
8. Provide on the site plan, the direction and method of drainage from swimming pools (if applicable).
9. Provide the green copy from Johnson County Wastewater which indicates a permit has been issued for reconnection to their lines.

**B O N D**

**KNOW ALL MEN BY THESE PRESENTS:**

That we,  
\_\_\_\_\_, of  
\_\_\_\_\_, (hereinafter  
called the Principal), and  
\_\_\_\_\_, (hereinafter  
called the Surety), are held and firmly bound unto the City of Prairie  
Village, Kansas, (hereinafter called the obligee), in the penal sum of  
Five Thousand Dollars (\$5000.00), lawful money of the United States,  
to the payment of which sum, well and truly to be made, the Principal  
herein firmly binds himself (themselves), their heirs, executors,  
administrators, and assigns, and the said Surety bonds themselves,  
their successors, assigns, executors and administrators, jointly and  
severally, firmly by these presents.

**WHEREAS, the Principal intends to perform  
demolition/construction according to Section 16 of the Prairie Village  
Municipal Code; and**

**WHEREAS, to obtain a license or permit for said  
demolition/construction the Principal must guarantee that the streets  
and sidewalks in the area shall remain free and clear of dirt, mud,  
gravel and other debris; and**

**WHEREAS, the Principal has guaranteed that the streets and  
sidewalks in the areas shall remain free and clear of dirt, mud, gravel  
and other debris.**

**NOW THEREFORE, the condition of this obligation of such, that  
if the said Principal shall faithfully observe the provisions of the  
Laws, Ordinances, and Resolutions, governing the issuance of this  
License or Permit, then this obligation shall be null and void,  
otherwise to remain in full force and effect.**

**PROVIDED FURTHER, that if said Principal shall not faithfully observe the provisions and conditions of the Laws, Ordinances, and Resolutions, or in any way fail to keep the streets or sidewalks in the area free and clear of dirt, mud, gravel and other debris, then the Surety shall pay the costs and damages for such failure and such other expenses accruing there from, directly to the City of Prairie Village, Kansas.**

**PROVIDED FURTHER, that liability under this bond shall terminate as of the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, as to any acts subsequent thereto, unless said bond is continued in force from year to year by the issuance of a continuation certificate signed by the Surety.**

**IN WITNESS WHEREOF, we have hereunto set our hands and seals this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.**

\_\_\_\_\_  
**PRINCIPAL**

**BY** \_\_\_\_\_

**Surety**

**BY** \_\_\_\_\_

**Attorney-in-fact**

# City of Prairie Village

## Zoning Code Definitions

### **19.02.100 Building Height.**

“The vertical distance from finished grade to the average height of the highest roof surface, except where more specifically described otherwise in these regulations.” In interpreting allowed height, the Building Official may accept up to a 3% tolerance from the height on any approved site plan or building elevation to account for field conditions or normal construction practices.” (Ord. 2350, Sec. I, 2016; Ord. 2026, Sec. II, 2002; Ord. 2187, Sec. II, 2009)

### **19.02.254 Grade.**

“A reference plane representing the average of finished ground level adjoining the building at exterior walls. Where the finished ground level slopes away from the exterior walls, the reference plane shall be established by the lowest points within the area between the building and the lot line or, where the lot line is more than six feet from the building, between the building and a point six feet from the building.” (Ord. 2019 Sec. I, 2001; Ord. 2187, Sec. II, 2009)

### **19.02.435 Story**

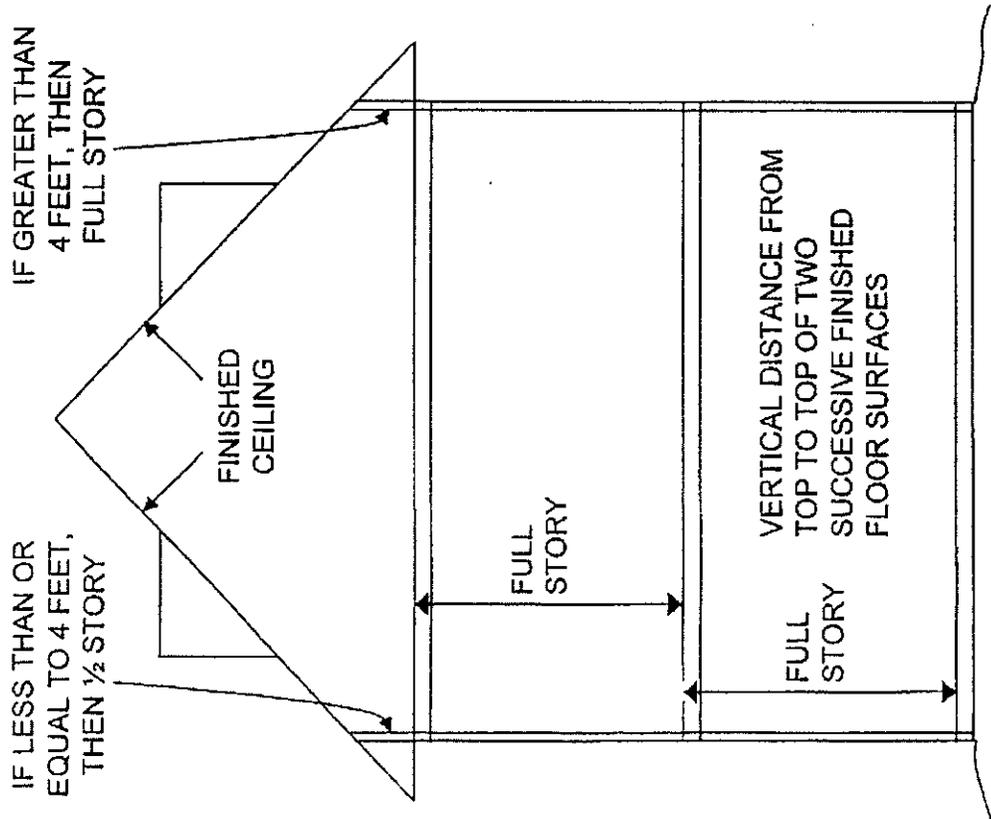
"Story" that portion of a building included between the upper surface of a floor and the upper surface of the floor or roof next above. It is measured as the vertical distance from top to top of two successive tiers of beams or finished floor surfaces and for the topmost story, from the top of the floor finish to the top of the ceiling joists or, where there is not a ceiling, to the top of the roof rafters.” (Ord. 2187, Sec. II, 2009)

### **19.02.436 Story Above Grade Plane.**

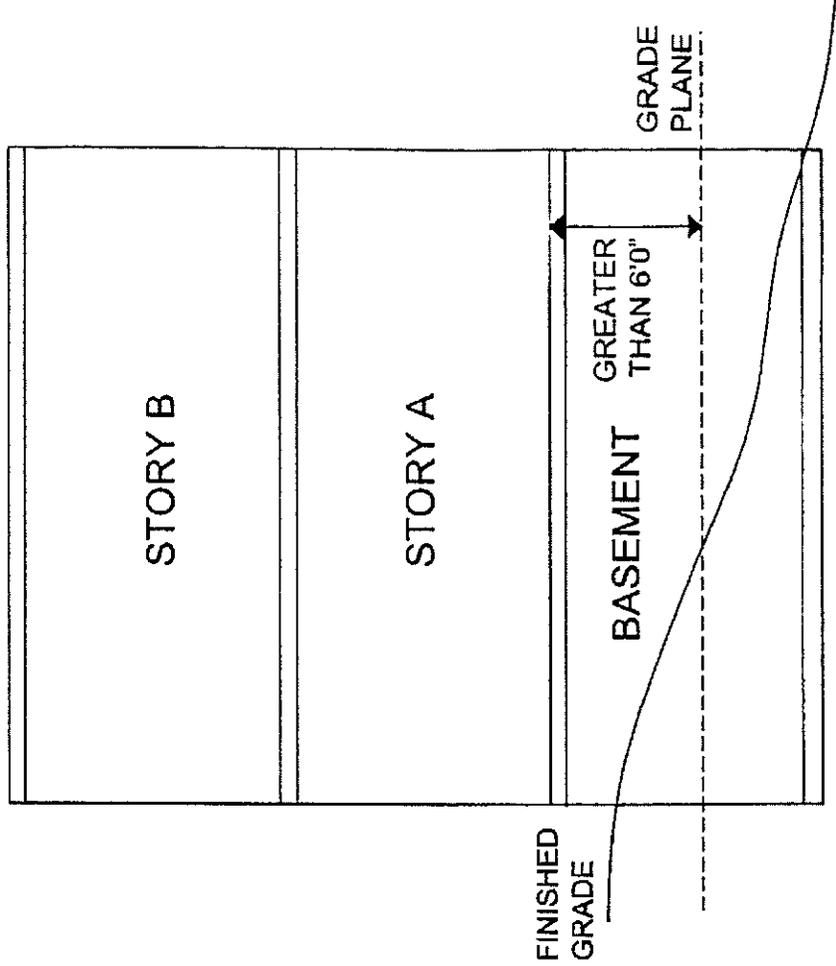
“Any story having its finish floor surface entirely above grade plane, except that a basement shall be considered a story where the finished surface of the floor above the basement is:

1. More than six feet above grade plane; or
2. More than 12 feet above the finished ground level at any point. (Ord. 2187, Sec. II, 2009)

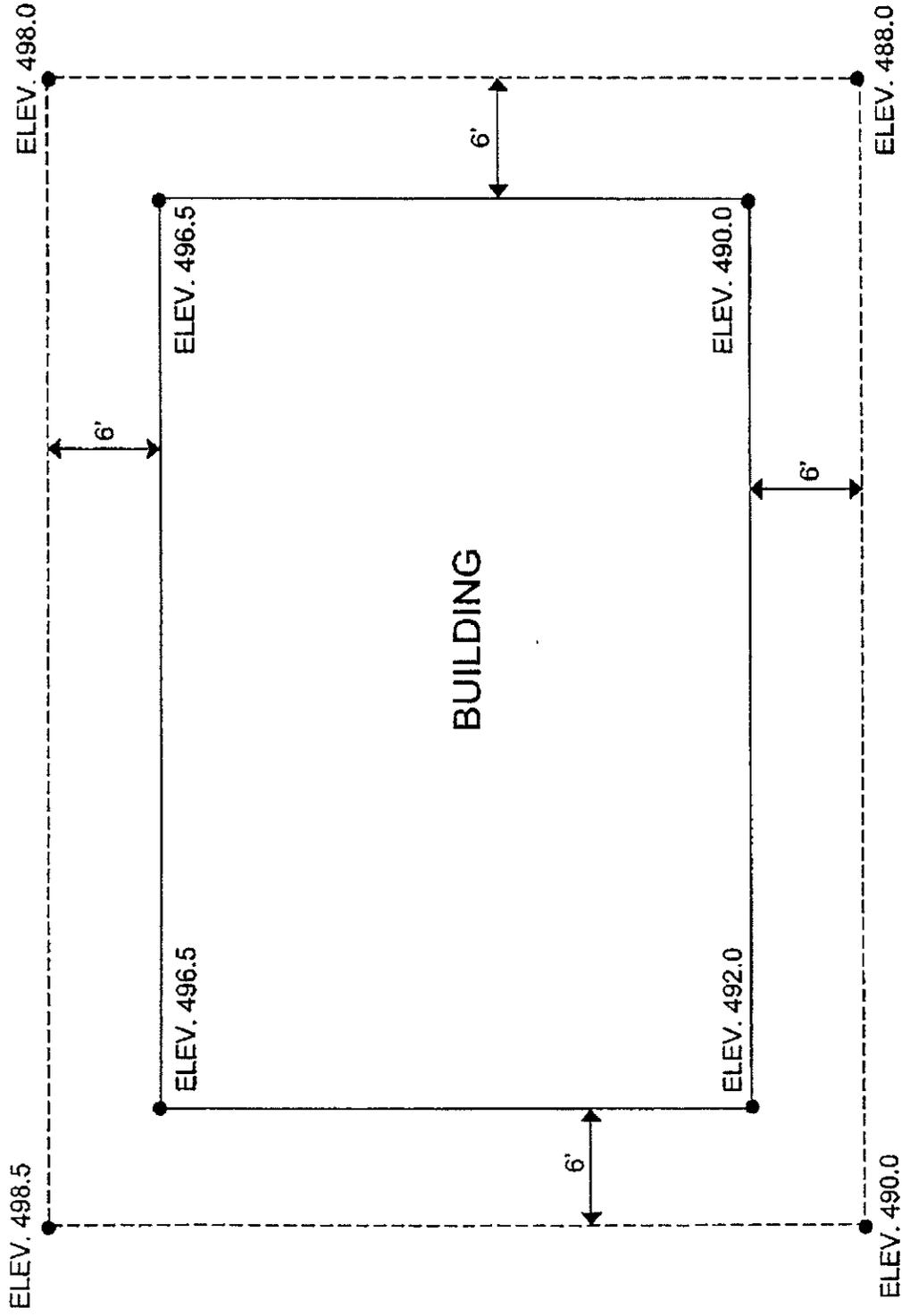
# How to determine "Story"



In this example the basement is a "story above grade plane" because the floor of "Story A" is more than 6' above grade plane.



# How to determine "Grade Plane"

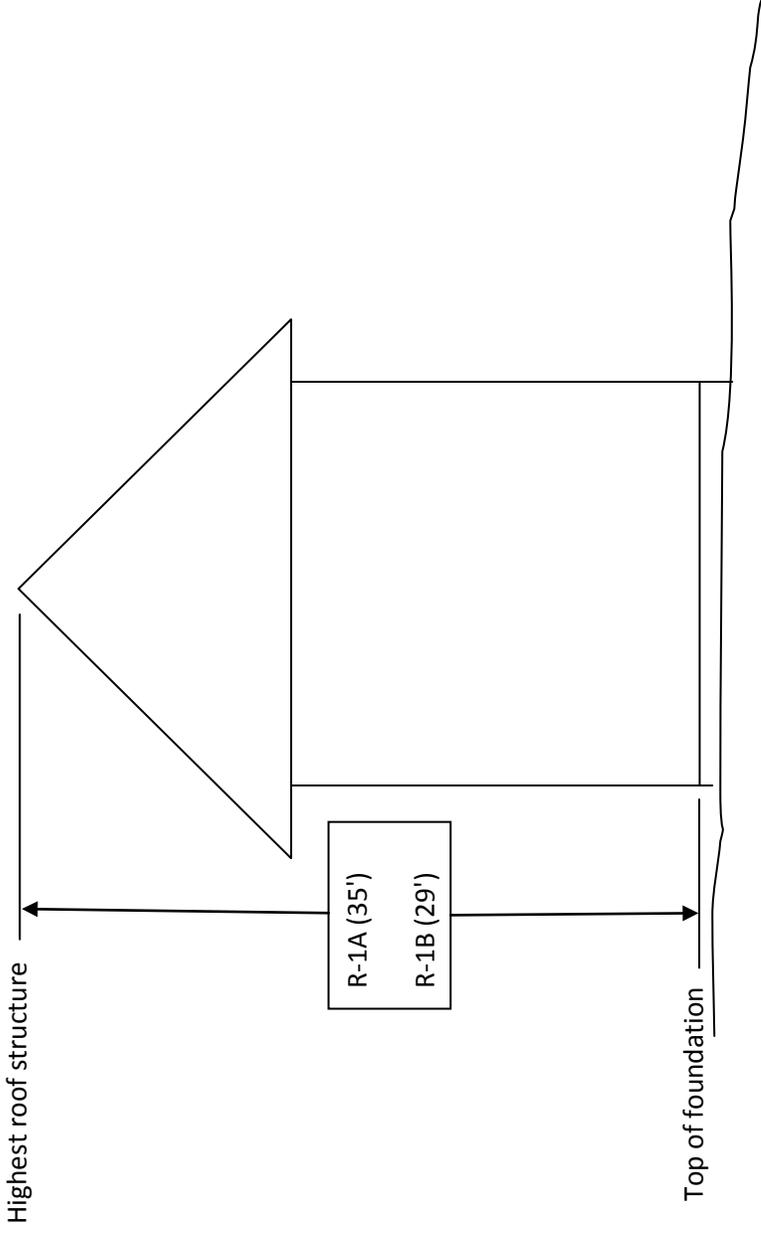


AVERAGE GRADE ELEVATION AT EACH EXTERIOR WALL:

- NORTH:  $(496.5 + 496.5) / 2 = 496.5$
- WEST:  $(496.5 + 490.0) / 2 = 493.25$
- SOUTH:  $(490.0 + 488.0) / 2 = 489.0$
- WEST:  $(496.5 + 488.0) / 2 = 492.25$

$$\frac{1971.00}{4} = 492.75 = \text{"GRADE PLANE"}$$

# Building Height – R1-A and R1-B



Reference sections: 19.02.100, Definitions, Building Height; 19.06.015, Height (R-1A); 19.08.015, Height(R-1B); 19.44.030, Building Elevations.

## Zoning Changes to the City of Prairie Village Municipal Code 7-12-2016

Summary of the new ordinance requirements:

### **Residential structures Zoned R-1A**

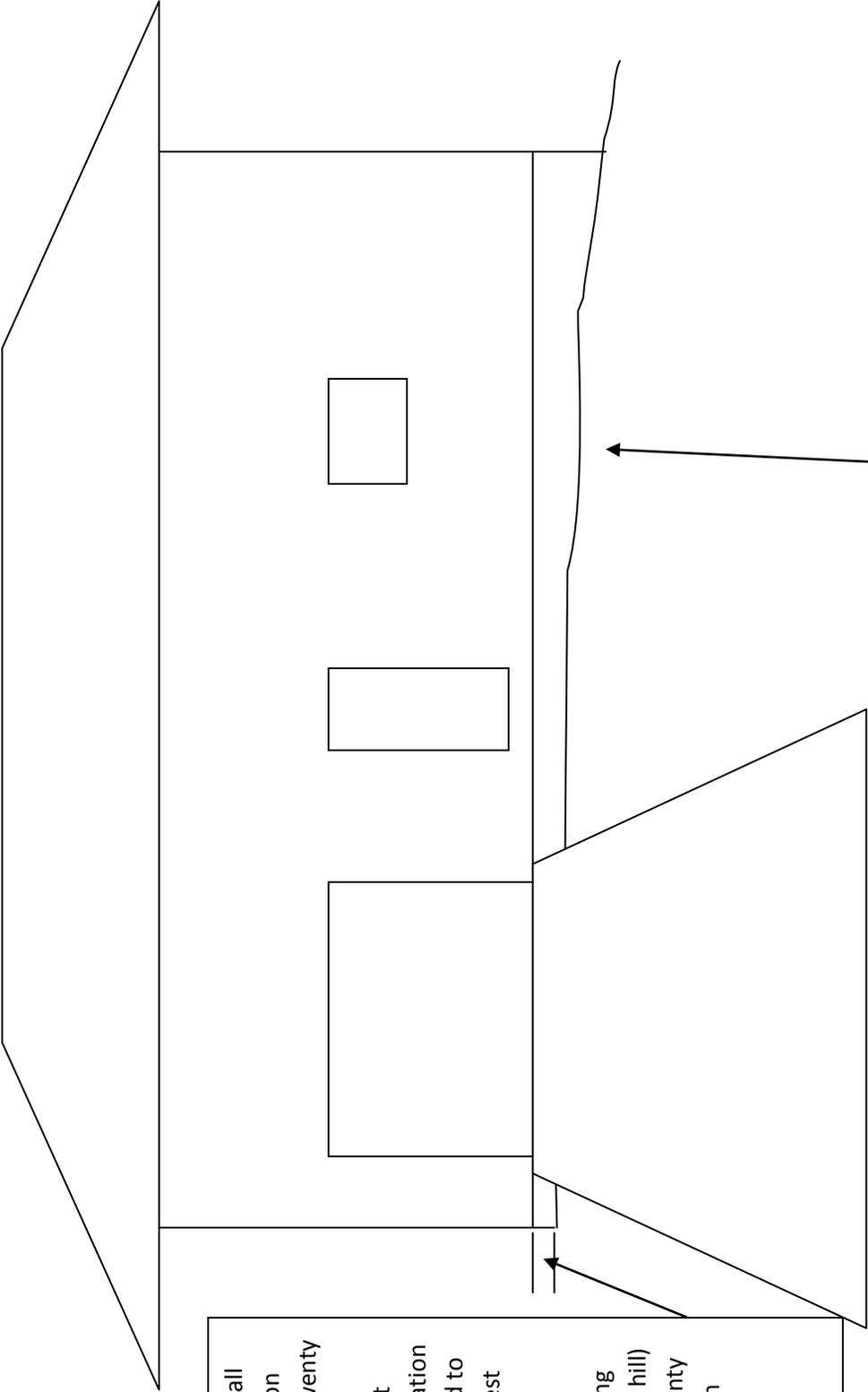
- Height thirty five (35) feet maximum where measured from the top of foundation to the highest point of the roof structure; nor shall the structure contain more than two and one half (2-1/2) stories.
- Front yard not less than thirty (30) feet.
- Side yard 20% of lot width where measured at the front build line with a minimum seven (7) foot setback to the property line. New structures may not be built to within fourteen (14) feet of neighboring structures.
- Rear Yard twenty five (25) feet minimum.
- Lot Coverage of buildings and structures 30%.
- Lot size eighty (80) feet wide by one hundred twenty five (125) feet in depth minimum.
- Parking Regulations minimum of two (2) parking spaces, not less than one shall be within a garage or carport.

### **Residential Structures Zoned R-1B**

- Height twenty nine (29) feet maximum where measured from top of foundation to the highest point of the roof structure; nor shall the structure contain more than two (2) stories.
- Front Yard not less than thirty (30) feet.
- Side yard 20% of lot width where measured at the front build line with a minimum six (6) foot setback to the property line. New structures may not be built to within twelve (12) feet of neighboring structures.
- Rear Yard twenty five (25) feet minimum.
- Lot Coverage of buildings and structures 30%.
- Lot size sixty (60) feet wide by one hundred feet deep minimum.
- Parking Regulations minimum of two (2) parking spaces, not less than one shall be within a garage or carport.

**19.44.030** New Residential Structures shall establish the top of foundation between six (6) inches and twenty four (24) inches above the finished grade along the front facade. The top of foundation measurement shall be limited to six (6) inches above the highest point of the finished grade in situations where there is significant grade changes along the front facade (i.e. slope or hill) that result in more than twenty four (24) inches of foundation exposure at any point,

# 19.44.030 Building Elevations



New residential structures shall establish the top of foundation between six (6) inches and twenty four (24) inches above the finished grade along the front facade. The top of the foundation measurement shall be limited to six (6) inches above the highest point of the finished grade in situations where there is significant grade changes along the front facade (i.e. slope or hill) that results in more than twenty four (24) inches of foundation exposure at any point.

19.02.260 Grade, Finished. "Finished grade" means the completed surfaces of lawns, walks and roads brought to grades as shown on official plans or designs relating thereto.



# DRAINAGE PERMIT

## PUBLIC WORKS DEPARTMENT

3535 Somerset Drive

Prairie Village, KS 66208

Phone: (913)385-4647 – Fax: (913)642-0117

Email: publicworks@pvkansas.com

COMPANY \_\_\_\_\_ TELEPHONE # \_\_\_\_\_

**\*CONTACT** \_\_\_\_\_ E-MAIL \_\_\_\_\_

ADDRESS \_\_\_\_\_

PROPERTY OWNER \_\_\_\_\_ TELEPHONE # \_\_\_\_\_

PROPERTY ADDRESS \_\_\_\_\_

DESCRIPTION OF WORK \_\_\_\_\_

**ATTACH ONE COPY OF PLAN SHOWING: (11" x 17" max plan size)**

- |   |  |
|---|--|
| <input type="checkbox"/> House/building address with street name        | <input type="checkbox"/> North Arrow   |
| <input type="checkbox"/> Existing/proposed building outline             | <input type="checkbox"/> Square footage of proposed building ( <input type="text"/> SQ FT) |
| <input type="checkbox"/> Right-of-Way Line/Sidewalk location            | <input type="checkbox"/> Concrete spoils pit   |
| <input type="checkbox"/> Outline and square footage of land disturbed   | <input type="checkbox"/> Contour lines at 2 foot intervals (min)                           |
| <input type="checkbox"/> Existing and proposed drain inlets             | <input type="checkbox"/> Existing and proposed drain outlets (inc. downspouts)             |
| <input type="checkbox"/> Existing channel/stream and distance from work | <input type="checkbox"/> Erosion control measures  |
| <input type="checkbox"/> Location of existing/proposed driveway         | <input type="checkbox"/> Square footage of driveway ( <input type="text"/> SQ FT)          |

**TEAR DOWN / REBUILD ADDITIONAL REQUIREMENTS: (see attachment)**

- |   |  |
|---|--|
| <input type="checkbox"/> Drainage Study | <input type="checkbox"/> Field Survey for Final Grading (PRIOR TO SOD) |
| <input type="checkbox"/> Grading Plan   |  |

I have read or have knowledge of the provisions of Chapter XIV and Public Works Standard Details as it pertains to stormwater.

\_\_\_\_\_  
Applicant

\_\_\_\_\_  
Date

**NOTE: 1. Changes may be made to the erosion control at any time during construction per City inspections. (City inspections occur every 2 weeks and after a rain event greater than 0.5 inches)**

**2. Downspouts locations shall not negatively impact neighboring properties (during and post construction conditions).**

DRAINAGE PERMIT IS GRANTED FOR THE ABOVE LOCATION WITH THE FOLLOWING PROVISIONS:

\_\_\_\_\_  
\_\_\_\_\_

PERMIT NO. \_\_\_\_\_

DATE WORK ACCEPTED \_\_\_\_\_

APPLICATION NO. \_\_\_\_\_

FINAL APPROVED COPY SENT TO BUILDING OFFICIAL \_\_\_\_\_

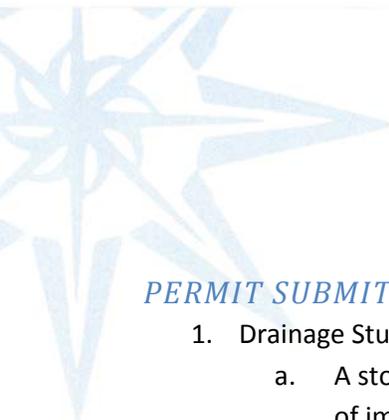
DATE ISSUED \_\_\_\_\_

FEE \_\_\_\_\_

\_\_\_\_\_  
Director of Public Works or Authorized Agent

**\*Contact will receive e-mails or calls with questions during permit review. Please plan accordingly.**

- Public Works     Accounting     Applicant     Building Official



# THE CITY OF PRAIRIE VILLAGE

## STAR OF KANSAS

### Drainage Permit Requirements for Tear Down / Rebuild

(Significantly sized additions may be fall under these guidelines.)

#### PERMIT SUBMITTAL

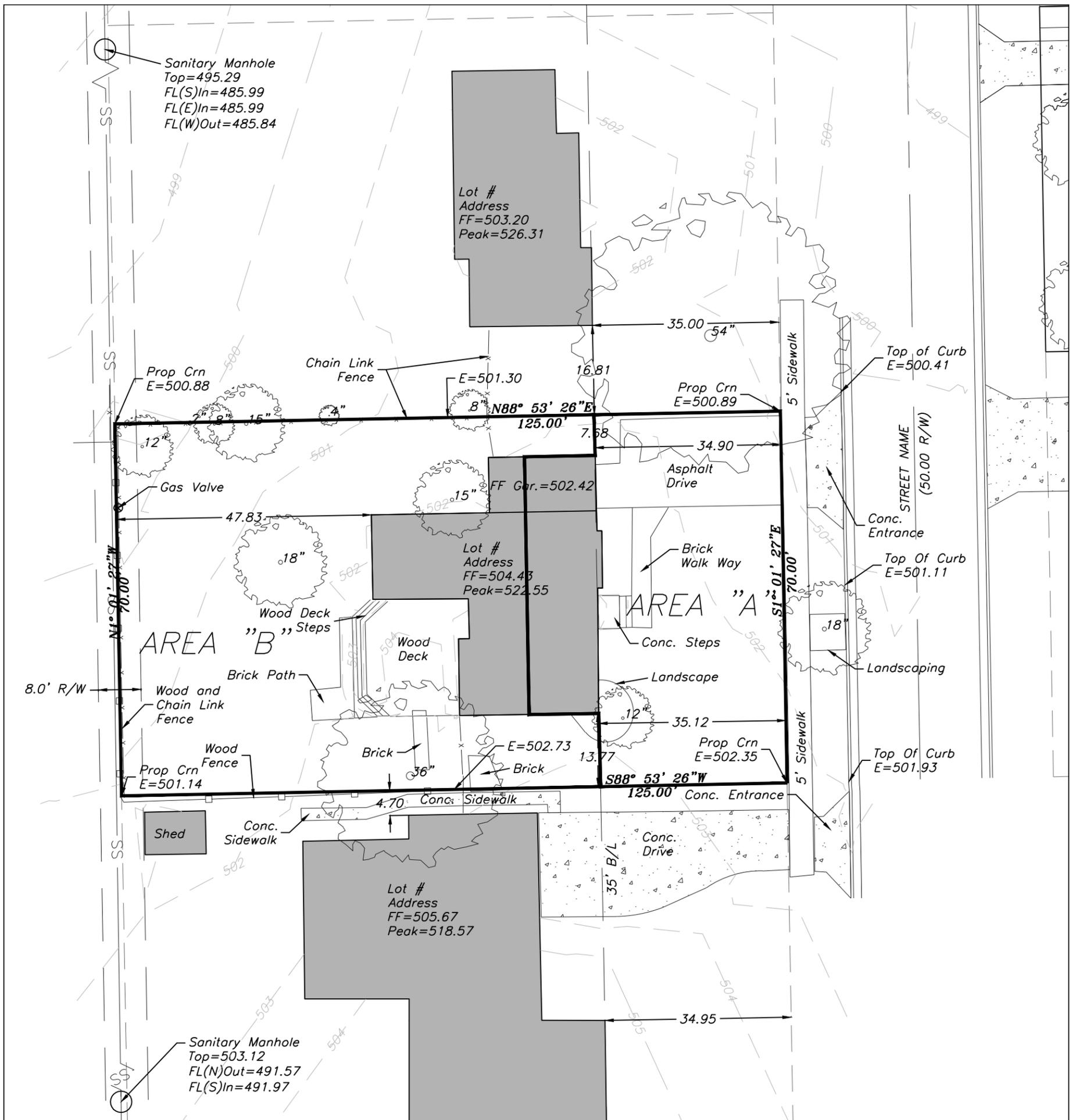
1. Drainage Study submitted for the subject property with drainage permit/plans:
  - a. A storm water study sealed by a Kansas licensed professional engineer addressing the increase of impervious area and the potential for drainage problems or flooding of adjacent properties. The storm water study should include solutions to contain water on the subject property or by some other means to eliminate water problems on adjacent properties. **The study shall also delineate drainage areas on the property pre- and post- development, see examples.**
  - b. Provide a grading plan (this can be incorporated into the plot plan) prepared by a Kansas licensed engineer or land surveyor depicting the grading on the subject lot. The existing contour lines must extend into adjacent lots at least 25 feet.
  - c. Downspouts (buried or directed) shall not negatively impact neighboring properties. Indicate downspout locations (including pop-up locations) on grading plans.
  - d. Grading plan shall show all structures impacting the plan (i.e. patios, sidewalk, **egress windows** and window wells).

#### DURING CONSTRUCTION

1. Erosion Control:
  - a. Shall be properly installed silt fence.
  - b. Shall be installed along the perimeter of the property (**do not impede sidewalk**).
  - c. Must be installed prior to any demolition activities.
  - d. Changes may be made to the erosion control at anytime during construction per City inspections (Inspections occur every 2 weeks and after a storm event equally 0.5 inches).
2. If the property has sidewalk:
  - a. Sidewalks are to remain in place and ADA compliant during construction.
  - b. Any damage to the sidewalk must be fixed by permit holder within 3 days notice.
  - c. Permit holder is responsible for removal of debris, snow and ice from sidewalk.
  - d. If the sidewalk needs to be closed for any reason during the construction, the permit holder is responsible for the sidewalk closure and providing the appropriate signage.
3. If changes are made to the driveway:
  - a. Existing driveway apron (in the right-of-way) shall remain in place until a separate right of way permit is secured (per #4 below).
  - b. If driveway (beyond right-of-way) is removed at any time during construction, the permit holder is responsible for the installation of an aggregate construction entrance.
4. Removal of any infrastructure within the City right-of-way (*driveways or sidewalks*) or City infrastructure in easement (*concrete channels*) requires:
  - a. Right-of-Way Permit,
  - b. Bond and Certificate of Insurance,
  - c. Replacement specifications (KCMMB concrete),
  - d. Inspections.

#### FINAL INSPECTIONS

1. Final grading shall be documented by field survey to match proposed grading plan and submitted prior to sod installation. Any changes to final grading plan shall be made by the surveyor and resubmitted.



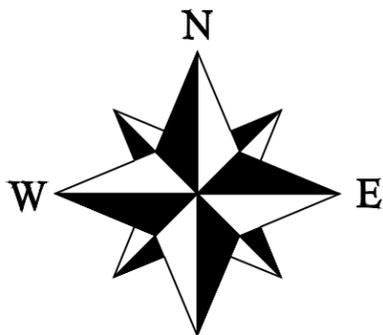
**Lot Info**

	Existing	Proposed
Lot Size	10,500 sq. ft.	10,500 sq. ft.
Impervious Area	38.9% of site	43.8% of site
Building	1,460 sq. ft. (13.9% of site)	2,199 sq. ft. (20.9% of site)
Hard Surface (including 1/2 of street)	2,622 sq. ft. (25.0% of site)	2,403 sq. ft. (22.9% of site)

\* Do not include 1/2 of street in comps as street does not impact lot drainage

**Storm Drainage Information**

	A	B
Drainage Area ID		
Drainage Area Size	3,092 sq. ft.	5,657 sq. ft.
High Point	503.40	503.40
Low Point	500.89	500.88
Drainage Length	69	129
Runoff Coefficient	0.56	0.44
Impervious Area	1,330 sq. ft.	1,361 sq. ft.
Tc (min)	7.2	9.8
Receiving System	Road R/W	Adjacent Lot
Flow Rates (c.f.s.)		
1 Year	0.14	0.19
10 Year	0.26	0.35
25 Year	0.32	0.42
100 Year	0.40	0.53



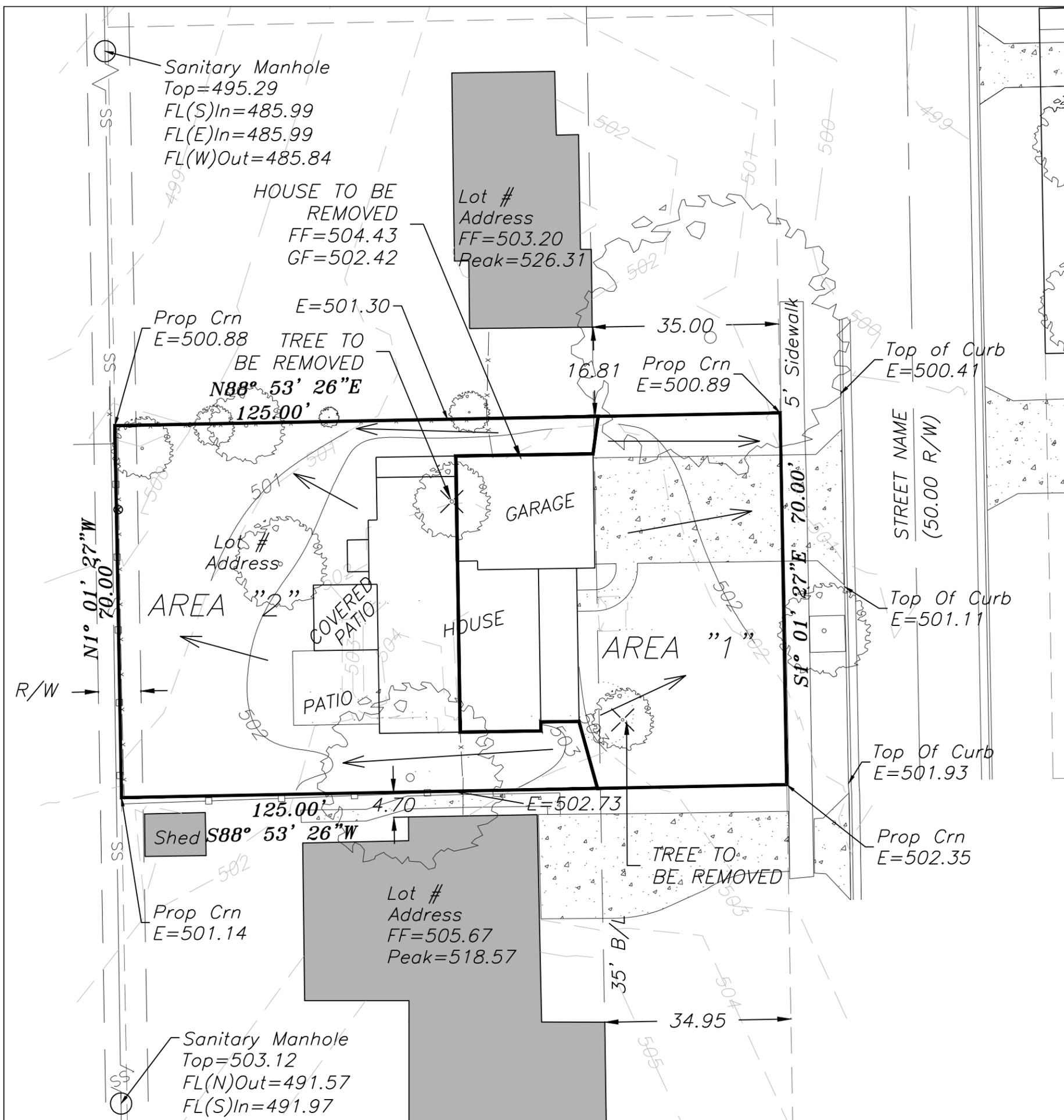
**DRAINAGE MAP  
PRE DEVELOPMENT  
ADDRESS  
PRAIRIE VILLAGE, KS**

12-09-15

Date of Original Preparation

**ENGINEERING SOLUTIONS**  
ENGINEERING & SURVEYING

50 SE 30TH STREET  
LEE'S SUMMIT, MO 64082  
P:(816) 623-9888 F:(816)623-9849



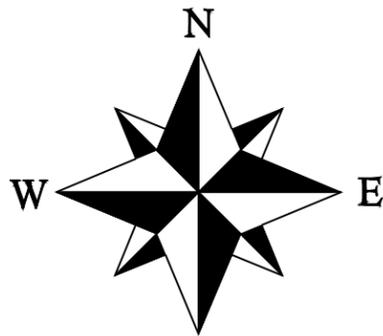
**Lot Info**

	Existing	Proposed
Lot Size	10,500 sq. ft.	10,500 sq. ft.
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Hard Surface (including 1/2 of street)	2,622 sq. ft. (25.0% of site)	2,403 sq. ft. (22.9% of site)

\*Do not include 1/2 of street in comps as street does not impact lot drainage

**Storm Drainage Information**

	1	2
Drainage Area ID	1	2
Drainage Area Size	3,814 sq. ft.	4,935 sq. ft.
High Point	503.40	503.40
Low Point	500.89	500.88
Drainage Length	69	129
Runoff Coefficient	0.61	0.45
Impervious Area	1,984 sq. ft.	1,202 sq. ft.
Tc (min)	6.5	9.7
Receiving System	Road R/W	Adjacent Lot
Flow Rates (c.f.s.)		
1 Year	0.21	0.16
10 Year	0.38	0.30
25 Year	0.46	0.36
100 Year	0.58	0.46



**DRAINAGE MAP  
POST DEVELOPMENT  
ADDRESS  
PRAIRIE VILLAGE, KS**

12-09-15

Date of Original Preparation

**ENGINEERING SOLUTIONS**  
ENGINEERING & SURVEYING

50 SE 30TH STREET  
LEE'S SUMMIT, MO 64082  
P:(816) 623-9888 F:(816)623-9849